



Council Meeting Agenda

2024/CM09

Monday, 22 July 2024



THE COUNCIL MEETING

Welcome to this Meeting of the Frankston City Council

The Council appreciates residents, ratepayers and other visitors taking their places in the Public Gallery, as attendance demonstrates an interest in your Council and community affairs. Community spirit is encouraged.

This information sheet is designed to help you to understand the procedures of Council and help you to gain maximum value from your attendance.

The law regarding the conduct of Council meetings enables the public to observe the session. However, to ensure the manageability of Council meetings, opportunities for public participation are limited to Question Time and registered submissions in accordance with Council's guidelines, which are available from Council's Councillors Office (call 9768 1632) and on our website, www.frankston.vic.gov.au. It is not possible for any visitor to participate in any Council debate unless specifically requested by the Chairperson to do so.

If you would like to have contact with Councillors or Officers, arrangements can be made for you to do so separately to the meeting. Call the Councillors Office on 9768 1632 and ask for the person you would like to meet with, to arrange a time of mutual convenience.

When are they held?

Generally speaking, the Council meets formally every three (3) weeks on a Monday and meetings start at 7.00 pm, unless advertised otherwise. **This Council Meeting will be held in the Council Chambers, Frankston Civic Centre, 30 Davey Street (entry via Young Street).** Livestream footage can be viewed via our website, www.frankston.vic.gov.au.

Council meeting dates are posted at Young Street entrance to the Civic Centre (upper level) and also on our website, www.frankston.vic.gov.au.

Frankston City Council Governance Rules (adopted 31 August 2020 and amended 5 September 2022)

25. Chair's Duty

Any motion which is determined by the *Chair* to be:

- 25.1 *defamatory of or embarrassing to any Councillor, member of Council staff or other person;*
- 25.2 *abusive or objectionable in language or nature;*
- 25.3 *a direct negative of the question before the Chair;*
- 25.4 *vague or unclear in intention;*
- 25.5 *outside the powers of Council; or*
- 25.6 *irrelevant to the item of business on the agenda and has not been admitted as*

79. Chair May Remove

79.1 *The Chair may order and cause the removal of any person, including a Councillor, who disrupts any meeting or fails to comply with a direction given under sub-Rule 78.2, or cause the removal of any object or material that is deemed by the Chair as being objectionable or disrespectful.*

79.2 *Any person removed from the meeting under sub-Rule 79.1 must not return to the meeting without the approval of the Chair or Council.*

It is intended that this power be exercisable by the Chair, without the need for any Council resolution. The Chair may choose to order the removal of a person whose actions immediately threaten the stability of the meeting or wrongly threatens his or her authority in chairing the meeting.

The Governance Local Law 2020 creates the following offences in relation to behaviour at Council meetings:

- Refusing to leave a meeting when requested to do so by the Chair (following improper or disorderly conduct)
- Failing to comply with a direction of the Chair

Each of these offences carries a penalty of 2 penalty units.

Live Streaming of Council Meetings

Frankston City Council is now Live Streaming its Council Meetings.

Council is encouraging residents to view the meetings via the live streaming.

Live Streaming allows you to watch and listen to the meeting in real time, giving you greater access to Council decision making and debate and improving openness and transparency.

Every care will be taken to maintain privacy and, as far as practically possible, it is not intended that there be either live or recorded footage of the public or Media personnel, however, there might be incidental capture; for example footage of a person exiting the building depending on which camera is being used at the time, or audio recording of a person who interjects the meeting. Council officers who address Council will be heard on the live audio stream, and audio of them speaking will be recorded.

As per Council's Governance Rules 77.2 – the proceedings will be live streamed and recordings of the proceedings will be retained and will be published on Council's website within 24 hours from the end of the meeting.

Council will make every reasonable effort to ensure that a live stream and recording is available. However technical difficulties may arise in relation to live streaming or access to Council's website.

Appropriate signage will be placed at the entrance to the meeting location notifying all attendees that the meeting will be streamed live and recorded. Please note that it is not intended that public speakers will be visible in a live stream of a meeting and care is taken to maintain a person's privacy as an attendee in the gallery, however they may be unintentionally captured in the recording. If public speakers do not wish to be audio recorded they will need to contact the Councillors Office on telephone (03) 9768 1632 or via email councillors.office@frankston.vic.gov.au to discuss alternative options prior to the meeting.

The Council Meeting cont.....

In the event Council encounters technical issues with the livestreaming, the meeting will be adjourned for up to 30 minutes until the matter is resolved. If the matter cannot be resolved, the meeting will be postponed to another evening.

The Formal Council Meeting Agenda

The Council meeting agenda is available for public inspection immediately after it is prepared, which is normally on the Thursday afternoon two (2) business days before the meeting. It is available from the Reception desk at the Civic Centre (upper level), on our website www.frankston.vic.gov.au or a copy is also available for you in the chamber before the meeting.

The following information is a summary of the agenda and what each section means:-

- **Items Brought Forward**

These are items for discussion that have been requested to be brought forward by a person, or a group of people, who have a particular item on the Agenda and who are present in the Public Gallery.

- **Presentation of Written Questions from the Gallery**

Question Time forms are available from the Civic Centre and our website, www.frankston.vic.gov.au.

“Questions with Notice” are to be submitted before 12 noon on the Friday before the relevant Ordinary Meeting either in person at the Frankston Civic Centre, online using the Question Time web form or via email to questions@frankston.vic.gov.au.

“Questions without Notice” are to be submitted between 12 noon on the Friday before the relevant Ordinary Meeting up until 4pm on the day of the relevant Council Meeting either in person via the designated Question Time box located at the Frankston Civic Centre front reception or the after-hours mail box or via email to questions@frankston.vic.gov.au.

A maximum of 3 questions may be submitted by any one person at one meeting. There is no opportunity to enter into debate from the Gallery.

More detailed information about the procedures for Question Time is available from Council’s Councillors Office (call 9768 1632) and on our website, www.frankston.vic.gov.au.

- **Presentation of Petitions and Joint Letters**

These are formal requests to the Council, signed by a number of people and drawing attention to matters of concern to the petitioners and seeking remedial action from the Council. Petitions received by Councillors and presented to a Council meeting are usually noted at the meeting, then a report is prepared for consideration at the next available meeting.

- **Presentation of Reports**

Matters requiring a Council decision are dealt with through officer reports brought before the Council for consideration. When dealing with each item, as with all formal meeting procedures, one Councillor will propose a motion and another Councillor will second the motion before a vote is taken. If the members of the public wish to clarify any of the items on the Agenda, please contact the relevant manager by phoning 1300 322 322.

- **Presentation of Delegate Reports**

A Councillor or member of Council staff who is a delegate may present to Council on the deliberations of the external body, association, group or working party in respect of which he or she is a delegate or an attendee at a Council approved conference / seminar.

- **Urgent Business**

The Council Meeting cont.....

These are matters that Councillors believe require attention and action by Council. Before an item can be discussed, there must be a decision, supported by the majority of Councillors present, for the matter to be admitted as "Urgent Business".

- **Closed Meetings**

Because of the sensitive nature of some matters, such as personnel issues, contractual matters or possible legal action, these matters are dealt with confidentially at the end of the meeting.

Opportunity to address Council

Any person who wishes to address Council must pre-register their intention to speak before 4.00pm on the day of the meeting, by telephoning Council's Councillors Office (call 9768 1632) or by submitting the online web form or by using the application form both available on the website, www.frankston.vic.gov.au.

The submissions process is conducted in accordance with guidelines which are available from Council's Councillors Office and on our website. All submissions will be limited to 3 minutes in duration, except for Section 223 submitters, who have a maximum of 5 minutes. No more than ten (10) members of the public are to be permitted to address the Council. Further speakers will be permitted to address the meeting at the discretion of the Chair. All speakers need to advise if they are speaking on behalf of an organisation and it is deemed that they have been appropriately authorised by that said organisation.

Public submissions and any subsequent discussion will be recorded as part of the meeting. The proceedings will be live streamed and recordings of Council meetings will be made available to members of the public within 24 hours of the meeting.

Members of the public who address the Council will be heard on the live stream and audio of them speaking will be recorded. It is not intended that submitters or members of the public in the gallery will be visible in the live streaming or recording of the meeting. If a submitter does not wish to be recorded they must advise the Chair at the commencement of their public submission or prior to the Council Meeting.

Disclosure of Conflict of Interest

If a Councillor considers that they have, or might reasonably be perceived to have, a direct or indirect interest in a matter before the Council or a special committee of Council, they will declare their interest and clearly state its nature before the matter is considered. This will be done on every occasion that the matter is considered by the Council or special committee.

If a Councillor has an interest in a matter they will comply with the requirements of the Local Government Act, which may require that they do not move or second the motion and that they leave the room in which the meeting is being held during any vote on the matter and not vote on the matter.

If a Councillor does not intend to be at the meeting, he or she will disclose the nature of the interest to the Chief Executive Officer, Mayor or Chairperson prior to the meeting commencing.

MAYOR



NOTICE PAPER

ALL COUNCILLORS

NOTICE is hereby given that a Council Meeting of the Council will be held at the Civic Centre, Davey Street, Frankston, on 22 July 2024 at 7:00 PM.

COUNCILLOR STATEMENT

All members of this Council pledge to the City of Frankston community to consider every item listed on this evening's agenda:

- *Based on the individual merits of each item;*
- *Without bias or prejudice by maintaining an open mind; and*
- *Disregarding Councillors' personal interests so as to avoid any conflict with our public duty.*

Any Councillor having a conflict of interest in an item will make proper, prior disclosure to the meeting and will not participate in the debate or vote on the issue.

OPENING WITH PRAYER

Almighty God, we ask for your blessing upon this Council. Direct and prosper its deliberations to the advancement of your glory and the true welfare of the people of Frankston City. Amen.

ACKNOWLEDGEMENT OF TRADITIONAL OWNERS

I acknowledge the Traditional Custodians of the land on which we meet today, the Bunurong People of the Kulin Nation, and pay my respect to Elders past, present and future. I would like to extend that respect to Elders of other communities who may be here today.

BUSINESS

- 1. APOLOGIES**
- 2. COUNCILLOR APPRECIATION AWARDS**
- 3. CONFIRMATION OF MINUTES OF PREVIOUS MEETING**
Council Meeting No. CM8 held on 24 June 2024.
- 4. DISCLOSURES OF INTEREST AND DECLARATIONS OF CONFLICT OF INTEREST**
- 5. PUBLIC QUESTIONS**
- 6. HEARING OF SUBMISSIONS**
- 7. ITEMS BROUGHT FORWARD**
- 8. PRESENTATIONS / AWARDS**
- 9. PRESENTATION OF PETITIONS AND JOINT LETTERS**
- 10. DELEGATES' REPORTS**
- 11. CONSIDERATION OF CITY PLANNING REPORTS**
 - 11.1 Planning Application 39/2024/P - 13 McMahons Road Frankston 3199 - To use and develop the land for a rooming house in a Mixed Use Zone (MUZ) To construct buildings and works in a Design and Development Overlay Schedule 13 (DDO13) and Special Building Overlay (SBO) To create/alter access to a road in a Transport Zone 2 (TRZ2).....3
 - 11.2 Planning Application 492/2017/P/D - 424-426 Nepean Highway, Frankston - Amend the planning permit to allow for the use and development of a fourteen storey building in a Commercial 1 Zone and Design and Development Overlay, Schedule 14 for retail and dwellings and the deletion of the serviced apartments.....56
 - 11.3 250 Wedge Road, Skye - Planning Scheme Amendment C158fran (Deletion of Public Acquisition Overlay - Schedule 3) - Consideration of Planning Panel Report..... 156
 - 11.4 Statutory Planning Progress Report for May 2024 189
- 12. CONSIDERATION OF REPORTS OF OFFICERS**
 - 12.1 Governance Matters Report for 22 July 2024234
 - 12.2 Chief Executive Officer's quarterly report - April to June 2024291
 - 12.3 Municipal Early Years Plan (MEYP) Year 3 Update336
 - 12.4 Urban Forest Action Plan Update341

12.5	Adoption of Coastal and Marine Management Plan 2024 - 2034	378
12.6	Community Satisfaction Survey 2024	505
13.	RESPONSE TO NOTICES OF MOTION	
	Nil	
14.	NOTICES OF MOTION	
14.1	2024/NOM15 - Seaford Foreshore Significance.	536
15.	REPORTS NOT YET SUBMITTED	
	Nil	
16.	URGENT BUSINESS	
17.	CONFIDENTIAL ITEMS	
C.1	South East Metropolitan Advanced Waste Project (SEMAWP).....	614

Phil Cantillon

CHIEF EXECUTIVE OFFICER

17/07/2024

Frankston City

Executive Summary**11.1 Planning Application 39/2024/P - 13 McMahons Road Frankston 3199 - To use and develop the land for a rooming house in a Mixed Use Zone (MUZ) To construct buildings and works in a Design and Development Overlay Schedule 13 (DDO13) and Special Building Overlay (SBO) To create/alter access to a road in a Transport Zone 2 (TRZ2)**

Enquiries: (Sam Clements: Communities)

Council Plan

Level 1:	4. Well Planned and Liveable City
Level 2:	4.1 Integrate land use planning and revitalise and protect the identity and character of the City

Purpose

This report considers the merits of the planning application to use and develop the land for a rooming house in a Mixed Use Zone (MUZ), to construct buildings and works in a Design and Development Overlay Schedule 13 (DDO13) and Special Building Overlay (SBO) and to create/alter access to a road in a Transport Zone 2 (TRZ2).

Recommendation (Director Communities)

That Council resolves to issue a Planning Permit to Planning Application 39/2024/P, subject to the conditions contained in the officers' assessment.

Key Points / Issues

- It is proposed to use and develop the land for a rooming house.
- A planning permit is required for the rooming house as the exemption is not met (floor area and number of bedroom requirements exceeded).
- The rooming house will contain 16 bedrooms over three levels.
- Communal kitchen, dining and lounge area and external terrace are provided on the first floor, along with a kitchenette and laundry. A communal sitting area is provided at second floor.
- The rooming house will feature four car parking spaces (including one disabled space) and ten bicycle parking spaces.
- The building typology is appropriate in an area designated for denser development, located on a main road and close to amenities.
- The proposed development is consistent with Planning Policy to provide for an increase in diversity and supply of housing stock within the municipality, which increases housing choice for residents.
- The proposal responds appropriately to the neighbourhood character policy, Built Form Guidelines FMAC Precincts 8 & 9 and ResCode,
- Public notice of the application was given with no objections received to date.
- This application is being reported to Council as it is for a rooming house.

For further information, please refer to the officer's assessment contained within this report.

Financial Impact

There are financial costs, however, these costs can be accommodated within existing budgets. Details are provided in the Summary table in the Officers Assessment section of this report.

11.1 Planning Application 39/2024/P - 13 McMahons Road Frankston 3199 - To use and develop the land for a rooming house in a Mixed Use Zone (MUZ) To construct buildings and works in a Design and Development Overlay Schedule 13 (DDO13) and Special Building Overlay (SBO) To create/alter access to a road in a Transport Zone 2 (TRZ2)**Executive Summary****Consultation**

Details of the consultation undertaken is provided in the Summary table in the Officers Assessment section of this report.

Analysis (Environmental / Economic / Social Implications)

The proposal will have a minimal impact on the environment. There will be adequate space for substantial landscaping including planting of canopy trees within the site.

The proposal will have a beneficial economic impact. In the short-term it will create employment opportunities during the construction phase and in the longer-term new residents will utilise local business.

The proposal will have a net social benefit to the community. It adds to the City's diversity of housing stock to meet housing demands by creating more affordable housing.

Legal / Policy / Council Plan ImpactCharter of Human Rights and Responsibilities

The Charter of Human Rights and Responsibilities has been considered in the preparation of this report but is not relevant to the content of the report.

Legal

Council has complied with Sections 52, 58, 60, 61 and 62 of the *Planning and Environment Act 1987* in processing the planning application.

Policy Impacts

Council officers have assessed the planning permit application in accordance with the applicable Planning Policy provisions, zones, overlays, particular and general provisions of the Frankston Planning Scheme.

Gender Impact Assessments

No gender impact assessment was required. As above, Council is required under the *Planning and Environment Act 1987* to assess the proposal against the Frankston Planning Scheme.

Officer's Declaration of Interests

In accordance with *Local Government Act 2020* and Council's Governance Rules, officers providing advice or a report to Council must disclose any direct or indirect interest they have in a matter.

Council officers involved in the preparation of this report have no Conflict of Interest in this matter.

Risk Mitigation

There are no particular risks associated with the planning application.

11.1 Planning Application 39/2024/P - 13 McMahons Road Frankston 3199 - To use and develop the land for a rooming house in a Mixed Use Zone (MUZ) To construct buildings and works in a Design and Development Overlay Schedule 13 (DDO13) and Special Building Overlay (SBO) To create/alter access to a road in a Transport Zone 2 (TRZ2)

Executive Summary

Conclusion

Overall, through the inclusion of conditions the proposal is generally consistent with the relevant objectives and decision guidelines of the Scheme.

ATTACHMENTS

Attachment A:[↓](#) Aerial Locality Map

Attachment B:[↓](#) Locality Map

Attachment C:[↓](#) Advertised Plans

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Officers' Assessment

Summary

Reason for Reporting to Council	Rooming House		
APPLICATION			
Address	13 McMahons Road Frankston 3199		
Proposal	To use and develop the land for a rooming house in a Mixed Use Zone (MUZ) To construct buildings and works in a Design and Development Overlay Schedule 13 (DDO13) and Special Building Overlay (SBO) To create/alter access to a road in a Transport Zone 2 (TRZ2).		
PLANNING REQUIREMENTS			
Zoning	Mixed Use Zone (MUZ)		
Overlays	Design and Development Overlay Schedule 13 (DDO13) Special Building Overlay (SBO) Parking Overlay Schedule 1 (PO1)		
Particular Provisions	Clause 52.06 Car Parking Clause 52.23 Rooming House Clause 52.29 Land Adjacent to the Principal Road Network Clause 52.34 Bicycle Facilities Clause 55 Two or more dwellings on a lot and residential buildings		
Permit Trigger(s)	Clause 32.04-2 (MUZ) To use the land for a rooming house. Clause 32.04-7 (MUZ) To construct a residential building. Clause 43.02-2 (DDO13) To construct buildings and works. Clause 44.05-3 (SBO) To construct buildings and works. Clause 52.29-2 To create/alter access to a road in a TRZ2		
PROCESS			
Notification of Proposal	Notification of the planning application was given pursuant to the requirements of Section 52 of the <i>Planning and Environment Act 1987</i> . Notification was given in the form of: <ul style="list-style-type: none"> • Mail to adjoining owners and occupiers. • Sign erected on the site frontage. 		
Objection(s)	Nil		
S. 52 Referrals	Nil	S.55 Referrals	Melbourne Water & Head, Transport for

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Officers' Assessment

		Victoria
Internal Referrals	Waste Services, ESD, Landscape, Arborist, Drainage, Traffic & Social Planning	
LEGISLATIVE		
Title Restrictions	Nil	
Application Fees	\$4,872.55 The average cost to process a planning application is \$3,091.99	

Background

Subject Site



Aerial Photography of Subject Site (Source: NearMap, dated 28 April 2024)

The subject site is regular in shape and is located on the western side of McMahons Road in Frankston.

The site has front and rear boundaries with a width of 15.09 metres, side boundaries of 40.23 metres and an overall area of 607 square metres. There are no easements on the site.

The subject site currently contains a single storey brick dwelling with two Leyland Cypress along the northern side boundary and a double crossover on the southern side of the frontage.

11.1 Planning Application 39/2024/P - 13 McMahons Road Frankston 3199 - To use and develop the land for a rooming house in a Mixed Use Zone (MUZ) To construct buildings and works in a Design and Development Overlay Schedule 13 (DDO13) and Special Building Overlay (SBO) To create/alter access to a road in a Transport Zone 2 (TRZ2)**Officers' Assessment*****Locality***

Surrounding development is characterised by an area of varied dwelling eras and styles, representing continuity of development from Victoria times to the present. The area has streetscapes of mixed garden and front fence treatment, dwelling size and style, position on the site, presence of street trees and width of nature strip.

The common and unifying characteristics is an openness of the street created by the low-level garden planting, the space around the dwellings and visibility of front gardens from the street. Streets nearer the Frankston commercial area, particularly those with larger blocks, have been extensively redeveloped with units. Much of the street tree planting and some garden planting, is native.

The use and development of land surrounding the subject site is summarised as follows:

- North: Single dwelling
- South: Double storey residential building (rooming house)
- East: McMahons Road & Monash University
- West: Vacant

Public Transport (bus routes) in proximity to the site include:

- 772 Frankston - Eliza Heights.
- 774 Frankston - Delacombe Park.
- 775 Frankston - Lakewood via Heatherhill Road.
- 776 Frankston - Pearcedale via Baxter.
- 782 Frankston - Flinders via Coolart Road & Hastings; and
- 783 Frankston - Hastings via Coolart Road.

Site History

Previous planning permit applications for the site include:

- Planning Permit 189/2022/P was issued on 15 November 2022 to use and develop the land for Student Accommodation in a Mixed Use Zone (MUZ) To construct buildings and works in a Design and Development Overlay Schedule 13 (DDO13) and Special Building Overlay (SBO) To create/alter access to a road in Transport Zone 2.

The permit is active and expires on 15 November 2024, if the development allowed under the permit has not commenced.

The development authorised under the permit is almost identical to that proposed under this application.

11.1 Planning Application 39/2024/P - 13 McMahons Road Frankston 3199 - To use and develop the land for a rooming house in a Mixed Use Zone (MUZ) To construct buildings and works in a Design and Development Overlay Schedule 13 (DDO13) and Special Building Overlay (SBO) To create/alter access to a road in a Transport Zone 2 (TRZ2)

Officers' Assessment

Proposal



ARTIST'S IMPRESSION - FRONT FACADE

Development

- It is proposed to construct a triple storey building to be used for a rooming house.
- The ground level comprises an entrance hallway via a porch, three rooms, stairwell and lift along with a rear entry from the car park.
- The first floor comprises eight rooms (including one accessible room), a communal kitchen/dining/lounge area, communal terrace, kitchenette, and laundry.
- The second floor comprises five rooms (including one accessible room) and a communal sitting area.
- Each room includes a private ensuite, bed, sitting area, desk, a sink and refrigerator.
- The car park is located behind the ground floor, underneath the upper levels.
- Vehicle access is proposed via a crossover and driveway located along the south side boundary.
- Bicycle parking and waste storage is along the south boundary, opposite parking spaces.
- A separate pedestrian path provides access to the building from the street, along with another pedestrian path along the northern side of the building, connecting to the car park.
- The landscape plan provides for 10 new trees (mature heights between 6-8 metres) and complimentary planting of 183 shrubs and 186 ground covers.
- The building has a maximum height of 11.735 metres.
- Site coverage is 58% and permeable area is 31%.
- Materials are nominated as a mixture of Colorbond© cladding, face brickwork, concrete look cladding and powder coated battens.

Use

- The rooming house is proposed to accommodate a maximum of 16 residents at any one time.

11.1 Planning Application 39/2024/P - 13 McMahons Road Frankston 3199 - To use and develop the land for a rooming house in a Mixed Use Zone (MUZ) To construct buildings and works in a Design and Development Overlay Schedule 13 (DDO13) and Special Building Overlay (SBO) To create/alter access to a road in a Transport Zone 2 (TRZ2)**Officers' Assessment**

- The applicant has provided the below description of the proposed use:
It is intended this rooming house will offer a mixture of short and long-term accommodation for future residents, with a focus on housing professionals and contractors associated with the nearby medical and higher education facilities. Students seeking accommodation form a secondary catchment of suitable tenants. Individuals seeking residential accommodation outside of these parameters are considered on a case-by-case basis at the discretion of the Rooming Provider/ Building Manager.
- The Rooming House is proposed to be run and maintained by the Building Manager.

Planning Provisions**Frankston Planning Scheme Purpose and Vision**

- Clause 02: Municipal Planning Strategy
- Clause 02.01 Context
- Clause 02.02 Vision
- Clause 02.03 Strategic Directions
- Clause 02.04 Strategic Framework Plans

Planning Policy Framework

Planning Policy Framework relevant to this application are summarised as follows:

- Clause 11 Settlement
- Clause 13 Environmental Risks and Amenity
- Clause 15 Built Environment and Heritage
- Clause 16 Housing

Planning Scheme Controls

A Planning Permit is required pursuant to:

- Clause 32.04-2 (MUZ) To use the land for a rooming house.
- Clause 32.04-7 (MUZ) To construct a residential building.
- Clause 43.02-2 (DDO13) To construct buildings and works.
- Clause 44.05-3 (SBO) To construct buildings and works.
- Clause 52.29-2 To create/alter access to a road in a TRZ2

Particular Provisions

- Clause 52.06 Car Parking
- Clause 52.23 Rooming House
- Clause 52.29 Land Adjacent to the Principal Road Network
- Clause 52.34 Bicycle Facilities
- Clause 55 Two or more dwellings on a lot and residential buildings

Notification of Proposal

In response to public notification, no objections were received.

Internal Referrals

The application was referred internally to Waste Services, ESD, Landscape, Arborist, Drainage, Traffic and Social Planning.

11.1 Planning Application 39/2024/P - 13 McMahons Road Frankston 3199 - To use and develop the land for a rooming house in a Mixed Use Zone (MUZ) To construct buildings and works in a Design and Development Overlay Schedule 13 (DDO13) and Special Building Overlay (SBO) To create/alter access to a road in a Transport Zone 2 (TRZ2)**Officers' Assessment**

A brief summary of the relevant comments is provided below.

Waste Services

- The waste management plan (WMP) indicates that this development will be a private waste collection.
- The waste generation rates are sufficient.
- There will be smaller bins in each unit for collection of all four waste streams within units and the resident is then to transfer waste to appropriate large bins in bin storage area accordingly.
- The bin allocation and collection schedule are sufficient.
- As there is a communal bins area all bins are to be cleared marked with signage
- Building management is to ensure that appropriate waste disposal is taking place and correct education is provided to residents.

ESD

The development achieves a BESS score of 52%, Best Practice, 100% STORM score including 1x5000L rainwater tank, heat pump solar hot water system and 10 secure, accessible bicycle spaces.

No objection subject to a condition requiring the 'water' section of the Sustainable Design Assessment to be updated to remove reference to 'bathtub' of which there are none in the development.

Landscape

No objection subject to conditions.

Arborist

An arborist report has been provided by Stem Arboriculture dated 13 August 2022. Adequate for this site and the trees, however, is missing key information such as a site plan. Development plan is adequate but could be clearer. Fair quality.

Trees on site are 1, 2, 3, 5, 6, 7, 11, 16 and G15. All are of lesser value. No high value trees on the site.

Neighbouring trees are 4, 8, 9, 10, 12, 13 and 14. There are no major tree protection zone (TPZ) encroachments.

Tree 16 not considered a woody plant (tree).

Tree 9 although dead requires protection from a risk potential perspective.

No objection subject to conditions including the preparation of a Tree Protection Management Plan.

Drainage

Stormwater point of discharge to pit along rear boundary (within neighbouring property) near NW site corner.

Site within Melbourne Water (MW) SBO and must comply with MW conditions in relation to proposed FFLs, overland flow paths, etc.

On-site detention, WSUD etc. will be required as per conditions.

11.1 Planning Application 39/2024/P - 13 McMahons Road Frankston 3199 - To use and develop the land for a rooming house in a Mixed Use Zone (MUZ) To construct buildings and works in a Design and Development Overlay Schedule 13 (DDO13) and Special Building Overlay (SBO) To create/alter access to a road in a Transport Zone 2 (TRZ2)**Officers' Assessment****Traffic**

The submitted documents have been reviewed included the Traffic Impact Assessment (TIA) report prepared by SALT Consultants, dated April 2024.

A review of the traffic related items regarding access way, crossover, vehicle, and waste swept path analysis, car parking provision and dimensions and bicycle parking are all satisfactory.

Social Planning

Social Policy and Planning notes that there is unmet demand for affordable housing in Frankston City, which includes typologies suitable for students and key workers and requires an increase in the supply in social and affordable housing. Social and affordable housing dwellings are best managed by registered community housing organisations who are regulated by the Victorian Government and have expertise in housing and managing the diverse range of tenants that require social and affordable housing, and whom cap rent at an affordable rate for tenants below the market rate to ensure tenants don't go into rental stress. Poorly managed rooming houses have been found to impact the safety, health, and wellbeing of its tenants. For example, the Tenants Victoria submission to the tenancy legislative reforms in 2022, "Rooming Houses Lived Experiences Project", reported that:

- Rooming house residents regularly report living with other people who have a mix of complex mental health and physical health issues, histories of trauma, alcohol and other drug dependence and histories of incarceration;
- Workers observe non-compliance with minimum standards and unsafe living conditions; and
- Rooming houses are not affordable for people on lower incomes and place tenants at risk of rental stress.

Social Policy and Planning notes that as of May 2024, there were 96 registered rooming houses within Frankston City, with the largest rooming house having 12 bedrooms. Rooming houses within proximity to the proposed development have 7 bedrooms (Nursery Ave) and 10 bedrooms (Cranbourne Road).

Officers are concerned about the number of bedrooms in the proposed development and the size of the communal spaces (i.e. kitchen, dining, and living room) being insufficient to service the number of residents.

Social Policy and Planning recommends that the proposed rooming house management plan incorporates the following:

- A Code of Conduct for resident behaviour discouraging anti-social behaviour such as excessive noise emissions, littering, property damage, and compliance with designated smoking areas. All residents are to agree to abide by the Code of Conduct.
- The Rooming House Management Plan is required to be permanently displayed in the common area and accessible to all residents.
- The process of managing the maintenance and cleanliness of the building, grounds, and landscaping.

To ensure the proposed development provides safe, secure and affordable homes. Social Policy and Planning recommends that either:

11.1 Planning Application 39/2024/P - 13 McMahons Road Frankston 3199 - To use and develop the land for a rooming house in a Mixed Use Zone (MUZ) To construct buildings and works in a Design and Development Overlay Schedule 13 (DDO13) and Special Building Overlay (SBO) To create/alter access to a road in a Transport Zone 2 (TRZ2)**Officers' Assessment**

- The proposed rooming house is managed by a registered community housing organisation to ensure that it is accommodated with suitable tenants who are well supported, maintain minimum standards, and offer subsidised rent at a rate the tenant can afford without going into rental stress; or
- The proposed development reverts to the original proposal of student accommodation.

External Referrals

The application was referred externally to Melbourne Water and Department of Transport and Planning.

A summary of the relevant comments is provided below.

Melbourne Water

No objection subject to conditions.

Head, Transport for Victoria (TV)

No objection subject to conditions.

Discussion***Land Use Definition***

A recent VCAT decision *The Casley Empire Pty Ltd v Frankston CC [2024] VCAT 151 (21 February 2024)* relating to a proposal in Frankston City Council for a rooming house provides a useful assessment of the land use definition of rooming house.

Rooming House is defined in Clause 73.03 of the Frankston Planning Scheme: Land used for a rooming house as defined in the Residential Tenancies Act 1997 (Vic) ('RT Act').

The RT Act defines a rooming house as: *rooming house means a building, other than an SDA enrolled dwelling,[5] in which there is one or more rooms available for occupancy on payment of rent—*

(a) *in which the total number of people who may occupy those rooms is not less than 4; or*

(b) *in respect of which a declaration under section 19(2) or (3) is in force.*

The RT Act defines 'room' as follows:

room means a room in a building, where the room is occupied or intended to be occupied for the purpose of a residence by a person having a right to occupy the room together with a right to use in common with others any facilities in the building but does not include a self-contained apartment.

The RT Act defines a 'self-contained apartment' as follows:

self-contained apartment means a portion of a building which forms a self-contained residence, including kitchen and bathroom and toilet facilities, under the exclusive possession of the occupier.

11.1 Planning Application 39/2024/P - 13 McMahons Road Frankston 3199 - To use and develop the land for a rooming house in a Mixed Use Zone (MUZ) To construct buildings and works in a Design and Development Overlay Schedule 13 (DDO13) and Special Building Overlay (SBO) To create/alter access to a road in a Transport Zone 2 (TRZ2)**Officers' Assessment**

In terms of the Scheme, a rooming house is included in the land use term 'residential building', along with the land use terms 'community care accommodation', 'residential hotel' and 'rural worker accommodation'.

To be a 'rooming house' for the purposes of clause 73.03 of the Scheme, the land use must meet the definition of the term 'rooming house' contained in the RT Act because this is what is referred to in the Scheme definition.

The proposed development will contain 16 bedrooms, intended to be occupied for the purpose of a residence by a person having a right to occupy the bedroom. The bedrooms are all accessed from within the building.

The common facilities available to all residents of the land include a kitchen, dining and lounge area, terrace, sitting area, kitchenette, and laundry.

Given a 'room' does not include a self-contained apartment, the question is whether the bedrooms are self-contained apartments as defined in the RT Act.

Each bedroom in the development contains a place to sleep, store possessions, bathroom, and toilet facilities and 'tea making facilities' (sink and fridge). Each bedroom is a portion of the larger building. Each bedroom will be under the exclusive possession of the occupier of that bedroom.

There are no kitchens within the rooms. Therefore, the residents will need to use the shared kitchen facilities within the building. A condition has been included to highlight that cooking facilities must only be provided within the communal areas of the building (and not within bedrooms), see recommended condition 7.

Accordingly, it is considered that the proposal is properly characterised as rooming house as the planning scheme definition is met.

If kitchens were to be installed in the rooms, this would result in the building not being considered a rooming house and the property owner/operator would be liable to planning enforcement action.

Planning Policy Framework

The proposal is consistent with Planning Policy which seeks to provide opportunities for residential development increasing in density within the municipality as well as providing a diverse range of housing including affordable housing for low income and disadvantaged persons. This policy has an emphasis on facilitating high quality affordable housing that is integrated with infrastructure and services. The proposal is suitably located relative to key services and infrastructure which helps support Planning Policy.

It is considered that this proposal will appropriately respond to the Planning Policies.

Frankston Housing Strategy 2013 and Housing Framework Plan

The proposal is consistent with the Frankston Housing Strategy 2013. The subject site is located within an Activities Structure Plan area and therefore the proposed intensity of development is considered acceptable.

The subject site is located within an area that performs a significant role in the provision of housing, retail, service, and leisure facilities. Higher density residential development is encouraged within the Frankston MAC. Section 4.4 (Housing) of the Structure Plan discusses:

11.1 Planning Application 39/2024/P - 13 McMahons Road Frankston 3199 - To use and develop the land for a rooming house in a Mixed Use Zone (MUZ) To construct buildings and works in a Design and Development Overlay Schedule 13 (DDO13) and Special Building Overlay (SBO) To create/alter access to a road in a Transport Zone 2 (TRZ2)

Officers' Assessment

Opportunities for broadening the diversity and range of housing types, including higher density mixed use developments, will improve as streets and precincts become revitalised through public realm improvements and an increase in lifestyle-based land uses such as cafes and restaurants.

The objectives include:

To provide a range of housing types in close proximity to shops, services and transport for people of all ages and circumstances by encouraging:

- A mix of well-located dwelling types and sizes which provide housing for a range of people with diverse needs.
- Residential uses above retail and commercial premises, to enable more people to live within the city centre and to facilitate greater surveillance of streets.
- Student accommodation in suitable locations.

Clause 15.01-5L Neighbourhood Character

Council's Neighbourhood Character Policy seeks to ensure that development is responsive to the preferred future character of the area.

The subject site is located within the Frankston 5 Neighbourhood Character Precinct.

It is considered that the proposal is consistent with the relevant strategies and policy guidelines as outlined below.

Strategies	Policy Guidelines	Officer Comments
Strengthen the garden setting	Providing low maintenance vegetation species as part of development Retaining substantial, established trees as part of development	The submitted landscape plan provides for 10 new trees with varying heights of between 7 and 8 metres. This is a net increase of trees on site. The new trees are complimented by 183 shrubs and 183 ground covers. Overall, the new landscaping will strengthen the garden setting.
Preserve the rhythm of existing dwelling spacing	Providing setbacks on at least one side boundary	The building proposes setbacks to both side boundaries.
Preserve the openness of the streetscape.	Providing no front fences, or low, open style fences, other than along heavily trafficked roads.	No front fencing is proposed.

Clause 15.01-2L-01 Environmentally Sustainable Development

This policy applies to residential and non-residential development, excluding subdivision, in accordance with the thresholds detailed in this policy.

11.1 Planning Application 39/2024/P - 13 McMahons Road Frankston 3199 - To use and develop the land for a rooming house in a Mixed Use Zone (MUZ) To construct buildings and works in a Design and Development Overlay Schedule 13 (DDO13) and Special Building Overlay (SBO) To create/alter access to a road in a Transport Zone 2 (TRZ2)**Officers' Assessment**

In accordance with Clause 15.01-2L-01, a Sustainable Design Assessment has been provided with the application. Council's ESD Officer has reviewed the application and has no objection subject to conditions.

The report includes a BESS assessment which indicates the development achieves an overall score of 52%, comprising water use score of 50%, energy use score of 65%, stormwater quality score of 100% and IEQ of 51%. It is noted that the key commitments within the BESS report include:

- 100% STORM score including 1x5000L Rainwater tank.
- Heat pump solar hot water system.
- 10 secure, accessible bicycle spaces.

The applicant has submitted a STORM Report that details the on-site stormwater treatment measures proposed which include one rainwater tank with capacity of 5,000L. The tank will collect rainwater from the building's roof catchment area.

The plans are annotated to confirm all toilets are to be connected to the rainwater storage system.

The proposed stormwater treatment measures achieve a STORM rating of 102% which meets best practice requirements and the objectives of Clause 15.01-2L-01 and Clause 53.18.

Clause 32.04 Mixed Use Zone (MUZ)

The subject site is located within the Mixed Use Zone where a permit is required to use and develop the land for a rooming house where the exemptions in Clause 52.23 are not met.

The purpose of the Mixed Use Zone is:

- To provide for a range of residential, commercial, industrial, and other uses which complement the mixed-use function of the locality.
- To provide for housing at higher densities.
- To encourage development that responds to the existing or preferred neighbourhood character of the area.
- The relevant decision guidelines are:
 - The Municipal Planning Strategy and the Planning Policy Framework.
 - The impact of overshadowing on existing rooftop solar energy systems on dwellings on adjoining lots in a Mixed Use Zone or Residential Growth Zone.
 - For two or more dwellings on a lot, dwellings on common property and residential buildings, the objectives, standards, and decision guidelines of Clause 55. This does not apply to an apartment development of five or more storeys, excluding a basement.

The proposal is consistent with the MUZ as it provides housing at higher densities, consistent with the preferred neighbourhood character of the area.

The proposal supports the Planning Policy Framework by providing affordable housing in an appropriate location and adding to the diversity of housing types particularly in a location offering good access to employment, services, and transport.

11.1 Planning Application 39/2024/P - 13 McMahons Road Frankston 3199 - To use and develop the land for a rooming house in a Mixed Use Zone (MUZ) To construct buildings and works in a Design and Development Overlay Schedule 13 (DDO13) and Special Building Overlay (SBO) To create/alter access to a road in a Transport Zone 2 (TRZ2)**Officers' Assessment**

The proposed use is appropriately located as it is residential in nature and would take place in a residential zone.

While Council's Social Planning Officers have sought a condition requiring the building to be managed by a registered community housing organisation, it is not open to Council to require this where it has not been agreed with the applicant. It is considered that the conditions recommended to be included on the permit, in particular the management plan will address concerns relating to the operation of the building.

Through the inclusion of an amended management plan and inclusion of amenity conditions the proposal should not unreasonably impact on the amenity of the area.

The adjoining site to the south, 11 McMahons Road features an existing rooftop solar energy system. The applicant has provided shadow diagrams, including sectional diagrams, demonstrating shadows cast by the proposed development will fall on the roof of 11 McMahons Road at 9am 21 June. This date is the worst-case scenario for the year. By 10am the shadow is no longer cast over the roof and the panels are not impacted for the remainder of the day. Accordingly, the impact is considered acceptable.

An assessment against Clause 55 is undertaken later in this report.

Overlays**Special Building Overlay (SBO)**

This section of the scheme aims to encourage development that is compatible with flood hazard and local drainage conditions. Development must maintain a free passage, minimise potential flood damage, and will not cause any significant rise in flood level or flow velocity.

It is considered that this application satisfies the flood hazard objectives and will not result in development that is inappropriate for the flood prone area.

Melbourne Water have provided conditions to be placed on any permit issued to ensure the application meets the intention of this overlay.

It is therefore considered that the proposal meets meet the purpose and objectives of the SBO.

Design and Development Overlay Schedule 13 (DDO13)

The DDO13 design objectives include:

- Ensure the design of new development is consistent with the objectives of the Built Form Guidelines – Frankston Metropolitan Activity Centre Precinct 8 Health and Education, and Precinct 9 Cranbourne Road Office and Commercial, July 2018.
- Encourage development along Hastings and Cranbourne Roads that is responsive to their roles as gateways to the City Centre, consistent with the visions and objectives of the Frankston Metropolitan Activity Centre Structure Plan, May 2015 and strengthens Frankston's role as a major health and education hub through the location of complimentary health, medical and educational services.
- Provide for a range of commercial and residential uses that complement the mixed-use and commercial function of the precinct including the development of office suites along Cranbourne Road, increased housing densities on upper levels of new

11.1 Planning Application 39/2024/P - 13 McMahons Road Frankston 3199 - To use and develop the land for a rooming house in a Mixed Use Zone (MUZ) To construct buildings and works in a Design and Development Overlay Schedule 13 (DDO13) and Special Building Overlay (SBO) To create/alter access to a road in a Transport Zone 2 (TRZ2)

Officers' Assessment

development and the integration of health and education uses as part of mixed use development.

- Encourage building interfaces that promotes surveillance of adjoining streets through activated frontages.
- Ensure that the location and design of car parks, loading bays and services areas promotes active street frontages, does not dominate public spaces, and supports safe use and access.

The DDO13 sets out several buildings and works requirements, a response is provided to each applicable requirement in turn.

DDO13 Requirement	Officer Comment
Buildings should be constructed to a preferred maximum height of 14 metres.	The building has a maximum height of 11.735 metres. Complies.
Street setbacks should be a minimum of 3 metres.	The building has a 3 metre front setback. Complies.
Buildings should be setback by at least 1 metre from each side boundary for the first 5 metres of the buildings that front to the street	Side setbacks are greater than 1 metre. Complies.
A 4.5 metre wide deep soil zones should be provided adjacent to side boundaries for a minimum of 4.5 metres in length. Side boundary deep soil zones are not to encroach into the front street setback areas	A 4.5 x 4.5m deep soil zone is adjacent to the north side boundary. Complies.
For buildings of more than two storeys above natural ground level, the wall/s of the storey/s above the second storey should be setback from the wall/s of the storey below a minimum of 2.5 metres along the front and rear elevations. Balconies may encroach into this setback,	<p>The front elevation of the second floor is setback 2.99 metres from the storey below.</p> <p>The rear elevation of the second storey is setback 2.5 metres from the storey below.</p> <p>There are no balconies at this upper level that cause encroachment. Complies.</p>
Where a neighbouring development includes residential use, separation between buildings should utilise a 9 metre distance where possible to avoid overlooking between habitable rooms.	<p>Neighbouring lots contain residential uses (single and double storey dwellings).</p> <p>North</p> <p>The adjoining dwelling has two habitable windows orientated towards the subject site.</p> <ul style="list-style-type: none"> • The separation at ground level varies between 7.15 and 9.65 metres between habitable windows. The existing 1.8m high Colorbond fence prevents views.

11.1 Planning Application 39/2024/P - 13 McMahons Road Frankston 3199 - To use and develop the land for a rooming house in a Mixed Use Zone (MUZ) To construct buildings and works in a Design and Development Overlay Schedule 13 (DDO13) and Special Building Overlay (SBO) To create/alter access to a road in a Transport Zone 2 (TRZ2)

Officers' Assessment

	<ul style="list-style-type: none"> • The separation at first level varies between 7.15 and 9.6 metres. • The separation at second level varies between 8.39 and 9.95 metres. • Upper-level habitable windows feature screens to prevent overlooking. <p>South</p> <p>The adjoining dwelling has seven habitable windows (between ground and upper level) orientated towards the subject site.</p> <ul style="list-style-type: none"> • The separation at ground level is 7.11 metres. There are no habitable windows at ground level facing south. • The separation at first level varies between 4.91 and 7.11 metres. the outdoor deck is within this setback and is setback 4.91 to adjoining habitable windows. • The separation at second level varies between 6.16 and 8.37 metres. • Upper-level habitable windows and balcony feature screens to prevent overlooking
<p>Building facades should be articulated through the design of openings, balconies, varied materials, recessed and projected elements, and revealing structural elements such as columns and beams. Lighter and less detailed materials should generally be used on upper levels.</p>	<p>The front façade has a variation in materials, surveillance through proportioned windows and recessed entrance. Complies.</p>
<p>Building entries should directly front the street and be clearly defined and legible from the public realm.</p>	<p>The building entrance directly fronts the street and is clearly legible from the public realm. The entrance is also demarcated by a clearly defined pedestrian path.</p>
<p>Buildings should maximise solar access by orientating buildings and associated open space areas to the north.</p>	<p>Many rooms within the building have a northern orientation. Complies.</p>
<p>Larger developments should incorporate</p>	<p>Communal space is located within the</p>

11.1 Planning Application 39/2024/P - 13 McMahons Road Frankston 3199 - To use and develop the land for a rooming house in a Mixed Use Zone (MUZ) To construct buildings and works in a Design and Development Overlay Schedule 13 (DDO13) and Special Building Overlay (SBO) To create/alter access to a road in a Transport Zone 2 (TRZ2)

Officers' Assessment

communal outdoor space for staff, residents, and visitors.	building and externally. Complies.
At grade car parking areas should be located away from street interfaces and not within front setbacks. Appropriate landscaping should be incorporated within at grade car parking areas.	Car parking is located away from the street interface and is not within the front setback, rather screened to the rear of the building. Complies.
Utilities and services should not be located within the street frontage and should be screened.	The service box is at the street edge however it is designed to complement the architecture of the building. The bin storage is located to the rear of the lot. Complies.
A minimum of 30% of the site area should be permeable unless on-site stormwater runoff is managed through alternative methods such as green roofs, raingardens and on-site bio-retention, to the satisfaction of the responsible authority.	The permeable area is 31%. Complies.

The relevant decision guidelines in the DDO13 are:

- Whether development is consistent with the Built Form Guidelines – Frankston Metropolitan Activity Centre Precinct 8 Health and Education, and Precinct 9 Cranbourne Road Office and Commercial, July 2018.
- Building height, building setback, and building form and design requirements specified in Section 2 of this schedule.
- Whether the use of materials, finishes and colours is appropriate.
- Whether compliance with the requirements of this schedule is achievable having regard to the size, shape, orientation and topography of the site.
- The amenity impacts on any adjoining land particularly with respect to overshadowing, overlooking and visual bulk.
- The layout and appearance of areas set aside for car parking, ingress and egress, loading and unloading, and that the layout provides for the separation of vehicle and pedestrian movement.
- Whether appropriate passive surveillance of the streetscape and public spaces is achieved through building design and placement.
- Whether the layout provides for the safe ingress/egress to and from the site and that the layout provides for the separation of vehicle and pedestrian movement.
- Whether the development provides for adequate access to each building for emergency services and the pickup of waste.
- Whether appropriate landscaping opportunities can be achieved.
- Whether the proposal presents the potential for underdevelopment of site through buildings that achieve a significantly lower built form than encouraged.
- Whether land should be consolidated to facilitate the creation of viable development sites.
- Whether the development has proper regard to the development potential of adjoining sites and the ability for future development to obtain reasonable solar access.

11.1 Planning Application 39/2024/P - 13 McMahons Road Frankston 3199 - To use and develop the land for a rooming house in a Mixed Use Zone (MUZ) To construct buildings and works in a Design and Development Overlay Schedule 13 (DDO13) and Special Building Overlay (SBO) To create/alter access to a road in a Transport Zone 2 (TRZ2)

Officers' Assessment

The development is consistent with the built form guidelines and is consistent with the DDO13 requirements as outlined above.

The use of materials, finishes and colours is appropriate.

Amenity impacts of the development are acceptable and discussed further in the assessment against Clause 55 below.

The parking layout is acceptable, located behind the building with separation of vehicle and pedestrian movement.

Appropriate passive surveillance of the street, pedestrian access, front and rear entry, and parking area is achieved by maximised clear glazing to these areas.

The development allows for adequate access to the building for emergency services. Council's Traffic Engineers have reviewed the waste swept paths and confirmed they are acceptable.

Appropriate landscaping opportunities are proposed in the submitted landscape plan which provides for 10 new trees with varying heights of between 7 and 8 metres. This is a net increase of trees on site. The new trees are complimented by 183 shrubs and 183 ground covers.

The proposal does not present as an underdevelopment of the site.

The development does not unreasonably prejudice the development of adjoining sites.

Particular Provisions

Clause 52.06 Car Parking

Under the Parking Overlay Schedule 1 which applies to the land, the parking rate for residential building is varied.

Use	Rate	Measure
Residential Building	0.3	Car spaces to each bedroom.

Sixteen (16) bedrooms are proposed and therefore four (4) car spaces are required to be provided.

Four (4) car spaces (including one (1) disabled spaces) have been provided to comply with the requirements of the clause.

The proposal also complies with the Design Standards for Car Parking Detailed within Clause 52.06-8.

Clause 52.23 Rooming House

This Clause provides an exemption from planning approval for the use and development of a small-scale rooming house, where certain requirements are met.

The proposal does not satisfy these exemptions as the proposal is contains sixteen bedrooms and the total floor area of the proposal exceeds 300 square metres.

This Clause therefore does not provide an exemption from planning approval.

11.1 Planning Application 39/2024/P - 13 McMahons Road Frankston 3199 - To use and develop the land for a rooming house in a Mixed Use Zone (MUZ) To construct buildings and works in a Design and Development Overlay Schedule 13 (DDO13) and Special Building Overlay (SBO) To create/alter access to a road in a Transport Zone 2 (TRZ2)

Officers' Assessment

Clause 52.29 Land Adjacent to the Principal Road Network

The purpose of this clause is:

- To ensure appropriate access to the Principal Road Network or land planned to form part of the Principal Road Network.
- To ensure appropriate subdivision of land adjacent to Principal Road Network or land planned to form part of the Principal Road Network.

Pursuant to the provisions of this clause, a permit is required to (amongst other things): create or alter access to a road in a Transport Zone 2, and an application must be referred to the Department of Transport (DoT).

The application has been referred to the DoT and is supported subject to conditions.

Clause 52.34 Bicycle Facilities

Table 1 to Clause 52.34 sets out the required number of bicycle spaces for rooming house.

Use		Rate for Resident	Rate for Visitor
Residential Building		In developments of four or more storeys, 1 to each 10 lodging rooms	In developments of four or more storeys, 1 to each 10 lodging rooms

As the development is for three storeys, no bicycle spaces are required.

However, the proposal includes ten bicycle spaces within the under-croft parking area.

Clause 55 Two or more dwellings on a lot and residential buildings

Neighbourhood character and infrastructure

The proposal is consistent with Council's Neighbourhood Character Policy as previously discussed.

The proposal provides for dwelling diversity in an established area that takes advantage of existing infrastructure.

The proposed development remains street facing with the entry having direct views to the street and therefore the integration into the existing streetscape is satisfactory.

Site layout and building massing

The DDO13 provides guidance in relation to development siting, including front setbacks, building height and permeable area.

Where the development does not achieve the ResCode front setback, it is consistent with the DDO13 as discussed previously. In terms of building height, as there is no maximum building height in the zone, the development is deemed to comply with the building height requirement. The permeable area is consistent with the DDO13.

The development site coverage is 58% which is deemed to comply with the site coverage requirement.

ESD initiatives have been addressed in the proposal as discussed previously.

11.1 Planning Application 39/2024/P - 13 McMahons Road Frankston 3199 - To use and develop the land for a rooming house in a Mixed Use Zone (MUZ) To construct buildings and works in a Design and Development Overlay Schedule 13 (DDO13) and Special Building Overlay (SBO) To create/alter access to a road in a Transport Zone 2 (TRZ2)**Officers' Assessment**

Communal open space is provided in the form of the 18m² communal terrace. The area is functional with direct access to the adjoining common kitchen, dining and lounge and is integrated into the layout and exterior design of the development and includes an outlook to the street.

The development incorporates the following design features that provide for the safety and security of residents and property:

- A clearly identifiable and secure entry lobby that is directly accessible from the street.
- Upper-level windows and communal terrace that offer passive surveillance of the street and driveway entry.
- Security lighting is nominated within the undercroft parking area and northern pedestrian pathway.

As previously discussed, the landscape outcome provides for a net increase in canopy trees and a substantial amount of shrub and ground cover planting.

The proposal avoids introducing any additional crossovers to the street, thus preserving available street parking and the existing pattern of crossovers in the street.

Car parking is located at the rear of the site, in an under-croft parking and services area. This area is conveniently accessible from the street and from the development itself (via a rear entry lobby) and avoids impact on any proposed noise sensitive areas such as bedrooms.

Amenity impacts

The side boundary setbacks are comfortably satisfied at the ground and first floor levels, with parts of the walls of the second-floor level sitting outside the envelope.

The rear boundary setbacks of Standard B17 are comfortably satisfied at the ground floor level, and generally satisfied for most of the first and second floor levels, except for the top of the west facing gable ended walls / roof.

The variation is acceptable as:

- The development remains well set back from buildings on adjoining lots given the separation provided by adjoining driveways and the deep rear yard of the site to the rear; and
- There will be no adverse impact on the amenity of residents of the adjoining lots by way of unreasonable overshadowing, loss of daylight, or visual bulk.
- Under the DDO13 it can reasonably be expected that adjoining sites could also be developed for more intense development than currently exists, including a potential development height of 14m.

There are no walls on boundary.

The development will not restrict daylight to other dwellings. Existing habitable room windows will have a light court of at least 3 metres, with 1 metre being clear to the sky.

Setbacks to neighbouring north facing windows have been adequately provided.

Shadow impacts to neighbouring properties are consistent with the overshadowing requirement.

11.1 Planning Application 39/2024/P - 13 McMahons Road Frankston 3199 - To use and develop the land for a rooming house in a Mixed Use Zone (MUZ) To construct buildings and works in a Design and Development Overlay Schedule 13 (DDO13) and Special Building Overlay (SBO) To create/alter access to a road in a Transport Zone 2 (TRZ2)**Officers' Assessment**

Overlooking from habitable room windows and the communal terrace has been addressed by obscure glazing and external screens.

On site amenity and facilities

The proposal provide appropriate access by a ramp to the building entry, internal lift to all levels, two accessible rooms and an accessible parking space.

The building entry is clearly identifiable from McMahons Road and provides a sheltered transitional space. The lobby/foyer and corridors provide clear sightlines to the stairs, communal areas, and room entries.

All habitable room windows are provided with appropriate light courts.

There is no secluded private open space which is acceptable given the nature of the accommodation.

The rooms are provided with sufficient internal storage to suit the needs of the future occupants.

The plans nominate all habitable room windows to be double glazed which will provide noise attenuation.

Detailed design

The proposed design response is contemporary and includes façade articulation, roof forms and window proportions consistent with other development in the area. The first floors have been well setback from the ground floor providing for a visually recessive upper storey and overall development.

No front fence is proposed.

Shared areas are appropriately delineated and will be managed by the building manager in accordance with the approved management plan.

The proposal includes a screened services area/cupboard adjoining the front pedestrian path that is designed to integrate with the development, and mailboxes conveniently located within the front entry porch where they are weather protected, accessible and integrated into the development.

Cultural Heritage Management Plan (CHMP)

As the land is within an area of Aboriginal Cultural Heritage, a CHMP has been prepared and approved by the Bunurong Land Council.

Conclusion

On balance, it is considered that the proposal satisfies the requirements of the Policy Framework and the purpose of the applicable zone and overlays and other relevant provisions of the Frankston Planning Scheme and warrants support.

Recommendation (Director Communities)

That Council resolves to issue a Planning Permit in respect to Planning Permit Application number 39/2024/P to use and develop the land for a rooming house in a Mixed Use Zone (MUZ) to construct buildings and works in a Design and Development

11.1 Planning Application 39/2024/P - 13 McMahons Road Frankston 3199 - To use and develop the land for a rooming house in a Mixed Use Zone (MUZ) To construct buildings and works in a Design and Development Overlay Schedule 13 (DDO13) and Special Building Overlay (SBO) To create/alter access to a road in a Transport Zone 2 (TRZ2)**Officers' Assessment**

Overlay Schedule 13 (DDO13) and Special Building Overlay (SBO) to create/alter access to a road in a Transport Zone 2 (TRZ2) at 13 McMahons Road Frankston 3199 subject to the following conditions:

Amended Plans

1. Before the use and development starts, amended plans to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. When approved, the plans will be endorsed and will then form part of the permit. The plans must be drawn to scale with dimensions. The plans must be generally in accordance with the plans submitted with the application Job Number 23123 prepared by ArchSign 15 sheets dated March 2024 Revision B, but modified to show:
 - a. All trees growing on the site and on the adjoining properties within 3m of the boundaries clearly illustrated on all relevant plans to demonstrate canopy width, trunk location and clearly labelled in accordance with the Tree Assessment Report prepared by Stem Arboriculture dated 13 August 2022 stating whether the tree is to be retained or removed.
 - b. The Tree Protection Zone (TPZ), Structural Root Zone (SRZ) and the tree protection locations for all trees to be retained illustrated on all relevant plans.
 - c. Tree protection conditions noted on all relevant plans in accordance with Conditions 16 and 17.
 - d. Notation that all bins and the bin area is to be clearly marked with signage.
 - e. Proposed landscaping removed from development plans for clarity.
 - f. Development plans to reflect all sustainability features that are required as part of a submitted and approved SDA.
 - g. Management Plan in accordance with Condition 9.
 - h. Landscape Plan in accordance with Condition 12.
 - i. Tree Protection Management Plan in accordance with Condition 15.
 - j. Amended Sustainable Design Assessment (SDA) in accordance with Condition 26.
 - k. Waste Management Plan in accordance with Condition 29.

No Alterations

2. The use and development as shown on the endorsed plans must not be altered without the prior written consent of the Responsible Authority.

Completion of Works

3. Once the development has started it must be continued and completed to the satisfaction of the Responsible Authority.

Use

4. No more than 16 residents may be accommodated within the building at any one time.
5. The communal area at first and second floor and terrace must only be accessible to

11.1 Planning Application 39/2024/P - 13 McMahons Road Frankston 3199 - To use and develop the land for a rooming house in a Mixed Use Zone (MUZ) To construct buildings and works in a Design and Development Overlay Schedule 13 (DDO13) and Special Building Overlay (SBO) To create/alter access to a road in a Transport Zone 2 (TRZ2)**Officers' Assessment**

persons who are residents or guests of the residents. It is the responsibility of the management to ensure access is restricted to persons registered to stay on the premises and their guests who hold a security pass or key to a room on the relevant date.

6. The communal areas must be furnished generally as shown on the endorsed plans. Any damaged or broken furniture must be repaired or replaced to the satisfaction of the Responsible Authority.
7. Cooking facilities must only be provided in communal areas to the satisfaction of the Responsible Authority.
8. The amenity of the area must not be adversely affected by the use or development because of:
 - a. Transport of materials, goods, or commodities to or from the land.
 - b. Appearance of any building, work, stored goods, or materials.
 - c. Emission of noise, artificial light, vibration, smell, fume, smoke, steam, soot, ash, dust, wastewater, waste products or oil; or
 - d. The presence of vermin.

To the satisfaction of the Responsible Authority.

Management Plan

9. Before the development starts a management plan must be submitted to and approved by the Responsible Authority. When approved, the management plan will be endorsed and form part of this permit. The Management Plan must include:
 - a. Permanent display of the Management Plan in the common lounge area.
 - b. The nature of the management of the complex and the contact details of the building manager.
 - c. The role of the building manager.
 - d. Provision that management arrangements be enacted when the manager is not on the site.
 - e. Details of the terms of accommodation and the maximum number of persons accommodated onsite.
 - f. The contact details of a suitably responsible person who is available 24 hours per day, seven days per week that are displayed in a manner that is visible to any person entering the site to enable a prompt response to any operational complaint which may arise that require immediate attention.
 - g. Building management to ensure that appropriate waste disposal is taking place and correct education is provided to residents.
 - h. Provision of information on community and education services, including health, counselling, and cultural services.
 - i. Provision of information to residents regarding public transport and other non-car-based transport modes.
 - j. Provisions to ensure that the rooming house does not cause unreasonable

11.1 Planning Application 39/2024/P - 13 McMahons Road Frankston 3199 - To use and develop the land for a rooming house in a Mixed Use Zone (MUZ) To construct buildings and works in a Design and Development Overlay Schedule 13 (DDO13) and Special Building Overlay (SBO) To create/alter access to a road in a Transport Zone 2 (TRZ2)**Officers' Assessment**

impacts on the amenity of surrounding residential properties.

- k. Incorporation of a Code of Conduct for residents which discourages anti-social behaviour such as excessive noise emissions, littering, property damage, and compliance with designated smoking areas. All residents are to agree to abide by the Code of Conduct.
 - l. House rules regarding occupancy and behaviour of students and visitors, and grievance procedures.
 - m. Hours of use of the communal outdoor terrace.
 - n. A procedure for dealing with complaints from residents and from persons not residing on the site.
 - o. The means by which car and bicycle spaces are allocated to residents and a register that documents the allocation of these spaces.
 - p. Critical Incident Management and Emergency & Evacuation Procedures.
 - q. Protocols relating to rubbish bin storage and collection.
 - r. Maintenance and cleaning schedule for all common areas, including all landscaped areas, which is the responsibility of the Building Manager.
 - s. The re-use of furniture and other domestic items, and provisions for the collection of hard waste when tenants change.
10. The use must operate in accordance with the endorsed Management Plan to the satisfaction of the Responsible Authority.
11. A copy of this permit and the Management Plan must always be displayed in a prominent location within the building to the satisfaction of the Responsible Authority.

Landscape

12. Before the development starts, a detailed landscape plan consistent with Frankston City Council's Landscape Plan Guidelines (2020) must be submitted to and approved by the Responsible Authority. When approved, the plan will be endorsed and will then form part of the permit. The plan must be prepared by a suitably qualified landscape designer, drawn to scale with dimensions. The plan must be consistent with the development plans and generally in accordance with the concept landscape plan, prepared by Etched dated 10 August 2022, but modified to show:
- a. a survey (including botanical names) of all existing vegetation on the site and those located within 3m of the site boundary on adjoining properties, accurately illustrated to represent canopy width and labelled with botanical name, height and whether the tree is proposed to be retained and/or removed.
 - b. Tree Protection Zone (TPZ) and Structural Root Zone (SRZ) of all retained trees illustrated with notations regarding protection methods during construction.
 - c. Planting along the southern boundary replaced with screen planting (minimum mature height of 1.5m).
 - d. A planting theme of a minimum 40% indigenous and 40% native
 - e. All existing environmental weed species must be removed from the site and

11.1 Planning Application 39/2024/P - 13 McMahons Road Frankston 3199 - To use and develop the land for a rooming house in a Mixed Use Zone (MUZ) To construct buildings and works in a Design and Development Overlay Schedule 13 (DDO13) and Special Building Overlay (SBO) To create/alter access to a road in a Transport Zone 2 (TRZ2)**Officers' Assessment**

environmental and noxious weeds found in the 'Frankston City Council Invasive Species Guide (2019)' must not be planted.

- f. Substitute the following proposed trees with indigenous/native species, with no reduction in minimum mature height.
 - i. Lagerstroemia indica 'Natchez'
 - ii. Olea europaea 'Tolley's upright'
- g. the provision of notes on the landscape plan regarding site preparation, including removal of all weeds, proposed mulch, soil types and thickness, subsoil preparation and any specific maintenance requirements.
- h. h. All tree stock used must be in accordance with AS2303-2015 Tree stock for Landscape Use.

13. The landscaping as shown on the endorsed landscape plan must be carried out and completed to the satisfaction of the Responsible Authority before the occupation of the development and/or commencement of the use.

14. The landscaping shown on the endorsed plans must be maintained to the satisfaction of the Responsible Authority, including that any dead, diseased or damaged trees are to be replaced.

Tree Protection Management Plan

15. Before works start (including any demolition, levelling of the site, excavations, tree removal, delivery of building/construction materials and/or temporary buildings), a Tree Protection Management Plan (TPMP) prepared in accordance with Frankston City Council's 'Arboricultural Report Writing Guide' must be submitted to and approved by the Responsible Authority. When approved, the plan will be endorsed and will form part of the permit. The TPMP must be prepared by a suitably qualified and experienced Arborist in relation to the management and maintenance of trees numbered 4, 8, 9, 10, 12, 13 and 14. The TPMP must make specific recommendations in accordance with AS4970: 2009 - Protection of Trees on Development Sites and detail the following where relevant but not limited to ensuring that the trees remain healthy and viable during and following construction:

- a. A site plan showing tree protection zones (TPZ) and structural root zones (SRZ), tree protection fence locations and any tree protection fence relocations required where ground protection systems will be used.
- b. A clear photograph of each tree.
- c. Any specific damage/faults evident within each tree prior to demolition or construction. These photographs must be supplied within the TPMP as a preliminary dilapidation report.
- d. Restricted activities in the TPZ.
- e. Key supervision and monitoring stages of the development including pre-demolition, pre-construction, and post construction stages.
- f. Details of any TPZ encroachments including if necessary.
- g. details of any ground protection requirements for neighbouring property trees

11.1 Planning Application 39/2024/P - 13 McMahons Road Frankston 3199 - To use and develop the land for a rooming house in a Mixed Use Zone (MUZ) To construct buildings and works in a Design and Development Overlay Schedule 13 (DDO13) and Special Building Overlay (SBO) To create/alter access to a road in a Transport Zone 2 (TRZ2)**Officers' Assessment**

- h. Methods for installation of services e.g., sewerage, storm water, telecommunications, electricity etc.
- i. Remedial pruning works as required including a detailed photographic diagram specifying what pruning will occur.
- j. Final Certification of Tree protection template.

Before the occupation of the development or at such later date as is approved by the Responsible Authority in writing, the Final Certification Report Template as required in the Tree Protection Management Plan must be completed and submitted to the satisfaction of the Responsible Authority.

16. Tree protection must be carried out in accordance with AS 4970-2009 Protection of trees on development sites and the endorsed TPMP to the satisfaction of the Responsible Authority.

Tree Pruning

17. Any tree pruning must be carried out by a qualified and experienced Arborist who has thorough knowledge of tree physiology and pruning methods. Pruning must be carried out in accordance with AS 4373-2007 Pruning of Amenity Trees and to the satisfaction of the Responsible Authority. Any pruning works must be undertaken before works start. Any pruning of trees located on a neighbouring property should be undertaken in consultation with the property owner.

Engineering Services

18. Before the development starts, detailed design plans and drainage computations of the internal stormwater drainage system including the method of connection to the existing Council drainage infrastructure to the satisfaction of the Responsible Authority must be submitted to and approved by Responsible Authority.
19. A stormwater detention system with a volume capable of retarding the 10% Annual Exceedance Probability (AEP) flow from the development site back to a 20% AEP pre-development value must be constructed to the satisfaction of the Responsible Authority.
20. Stormwater drainage must be connected to stormwater Legal Point of Discharge as nominated by and to the satisfaction of the Responsible Authority.
21. Water Sensitive Urban Design (WSUD) principles must be incorporated into the drainage design, which must include rainwater tanks plumbed in for re-use, and may include but not be limited to the following components or a combination thereof:
 - Permeable driveways and porous pavement
 - Rain gardens and bioretention basins
 - Gross pollutant traps.
 - On-site 'bio-treatment' to reduce dissolved contaminants and suspended solids.
22. The stormwater treatment system must be designed to meet the current best practice performance objectives for stormwater quality as contained in the Urban Stormwater – Best Practice Environmental Management Guidelines (Victorian

11.1 Planning Application 39/2024/P - 13 McMahons Road Frankston 3199 - To use and develop the land for a rooming house in a Mixed Use Zone (MUZ) To construct buildings and works in a Design and Development Overlay Schedule 13 (DDO13) and Special Building Overlay (SBO) To create/alter access to a road in a Transport Zone 2 (TRZ2)**Officers' Assessment**

Stormwater Committee, 1999) in compliance with Standard B9 Permeability and stormwater management objectives.

Parking Requirements

23. Before the occupation of the development or the use starts, areas set aside for parking vehicles and bicycles, access lane and paths as shown on the endorsed plans must be: -

- a. Constructed to the satisfaction of the Responsible Authority.
- b. Properly formed to such levels that they can be used in accordance with the plans.
- c. Surfaced with an all-weather sealcoat.
- d. Drained and maintained to the satisfaction of the Responsible Authority.
- e. Line-marked to indicate each car space, and if necessary, the direction in which vehicles are to travel to the satisfaction of the Responsible Authority.

Car spaces, bicycle spaces, access lane and driveway must be always kept available for these purposes.

24. Low intensity lighting must be provided to ensure that car park areas and pedestrian accessways are adequately illuminated without any loss of amenity to the surrounding area, to the satisfaction of the Responsible Authority.

25. Before the occupation of the development, new or altered vehicle crossing(s) servicing the development must be constructed to the satisfaction of the Responsible Authority (in accordance with SD310 – Frankston City Council Vehicular Crossings Notes & Specifications) and any existing disused or redundant crossing or crossing opening must be removed and replaced with footpath/nature strip/ kerb and channel, to the satisfaction of the Responsible Authority.

Environmentally Sustainable Development

26. Before the development starts, an amended Sustainable Design Assessment (SDA) to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. The plan will be endorsed and will then form part of the permit. The plan must be generally in accordance with the SDA prepared by Frater and dated 11/04/2024 but modified to include or show:

- a. Water: as there are no bathtubs in the development, remove reference to it from BESS and SDA.

27. All works must be undertaken in accordance with the endorsed Sustainable Design Assessment (SDA) to the satisfaction of the Responsible Authority. No alterations to the SDA may occur without the written consent of the Responsible Authority.

28. Before the occupation of any dwelling approved under this permit, a report from the author of the SDA, approved pursuant to this permit, or similarly qualified person or company, must be submitted to the Responsible Authority. The report must be to the satisfaction of the Responsible Authority and must confirm that all measures specified in the SDA have been implemented in accordance with the approved Plan.

Waste Management

11.1 Planning Application 39/2024/P - 13 McMahons Road Frankston 3199 - To use and develop the land for a rooming house in a Mixed Use Zone (MUZ) To construct buildings and works in a Design and Development Overlay Schedule 13 (DDO13) and Special Building Overlay (SBO) To create/alter access to a road in a Transport Zone 2 (TRZ2)**Officers' Assessment**

29. Before the use starts, the Waste Management Plan (WMP) prepared by Salt3 dated 12 April 2024 must be submitted to and endorsed by the Responsible Authority. When endorsed, the plan will form part of this permit. All waste generated by the uses must be collected by a Private Waste Management Agency and in accordance with the EPA Victoria Publication 1254.2 Noise Control Guidelines and the endorsed WMP at all times to the satisfaction of the Responsible Authority.

Urban Design

30. All works on or facing the boundaries of adjoining properties must be finished and surface cleaned to a standard that is well presented to neighbouring properties in a manner to the satisfaction of the Responsible Authority.
31. Mailboxes shall be provided to the satisfaction of the Responsible Authority and Australia Post.
32. All plumbing work, sewer pipes etc. (except for spouting and stormwater pipes) associated with the new building shall be concealed from general view.
33. All building plant and equipment on the roof is to be concealed to the satisfaction of the Responsible Authority. Noise emitting plant equipment such as air conditioners, must be shielded with acoustic screening to prevent the transmission of noise having detrimental amenity impacts.
34. Outdoor lighting must be provided, designed, baffled and located to the satisfaction of the Responsible Authority to prevent any adverse effect on neighbouring land.

Melbourne Water

35. The building ground floor areas (including lift area), with the exception of the transitional areas, must be constructed with finished floor levels set no lower than 28.05 metres to Australian Height Datum (AHD), which is 300mm above the applicable flood level of 27.75m to AHD.
36. The building setbacks shown to site boundaries must not be further reduced without the written approval of Melbourne Water, to ensure adequate open space areas to allow for the passage of overland flow.
37. Open space areas must be maintained at existing surface level.
38. Any proposed internal fencing or gates must be at least 50 percent permeable.

Head, Transport for Victoria

39. Prior to the occupation of the development, the crossover and driveway are to be constructed to the satisfaction of the Responsible Authority and at no cost to the Head, Transport for Victoria.
40. If applicable, any security boom, barrier, gate or similar device controlling vehicular access to the premises must be setback a minimum of 6m inside the property boundary to allow vehicles to store clear of the McMahons Road pavement and footpath.
41. Vehicles must enter and exit the site in a forward direction at all times.

Cultural Heritage Management Plan

42. The construction of the development hereby approved must be carried out in the

11.1 Planning Application 39/2024/P - 13 McMahons Road Frankston 3199 - To use and develop the land for a rooming house in a Mixed Use Zone (MUZ) To construct buildings and works in a Design and Development Overlay Schedule 13 (DDO13) and Special Building Overlay (SBO) To create/alter access to a road in a Transport Zone 2 (TRZ2)

Officers' Assessment

accordance with the approved Cultural Heritage Management Plan No. 18713 prepared by Heritage Insight and approved by the Bunurong Land Council on 24 August 2022.

Permit Expiry

43. This permit will expire if:

- a. The development has not started within two (2) years of the date of this permit; or
- b. The development is not completed within four (4) years of the date of this permit; or
- c. The use is not started within two (2) years of the date of this permit; or
- d. The use is discontinued for a period of two (2) years or more.

In accordance with Section 69 of the *Planning and Environment Act 1987*, an application may be submitted to the Responsible Authority for an extension of the periods referred to in this condition.

Permit Notes

A. Asset Protection Permit

Before the development starts the operator of this planning permit must obtain a non-refundable Asset Protection Permit from Council's Engineering Services Department.

B. Extension of Time

Section 69 of the Planning and Environment Act, 1987 provides that before the permit expires or within 6 months afterwards, the owner or occupier of the land to which the permit applies may ask the responsible authority for an extension of time. Please note, if a request is made out of time, the Responsible Authority cannot consider the request and the permit holder will not be able to apply to VCAT for a review of the matter.

Any extension of time request must be lodged with the relevant administration fee.

C. Variation to Planning Permit

Any request for a variation of this Permit shall be lodged with the relevant fee as determined under the Planning & Environment (Fees) Regulations 2016.

D. Building Work

An owner/occupier is required by law to ensure full compliance with the requirements of the Building Regulations 2018 and the Building Act 1993. Before any building work starts, the Building Act 1993 requires that a building permit is obtained and be available for inspection during all times of construction.

E. Head, Transport for Victoria

The proposed development requires the construction of a crossover. Separate approval under the Road Management Act 2004 for this activity may be required from the Head, Transport for Victoria. Please contact the Department of Transport prior to commencing any works.

11.1 Planning Application 39/2024/P - 13 McMahons Road Frankston 3199 - To use and develop the land for a rooming house in a Mixed Use Zone (MUZ) To construct buildings and works in a Design and Development Overlay Schedule 13 (DDO13) and Special Building Overlay (SBO) To create/alter access to a road in a Transport Zone 2 (TRZ2)

Officers' Assessment

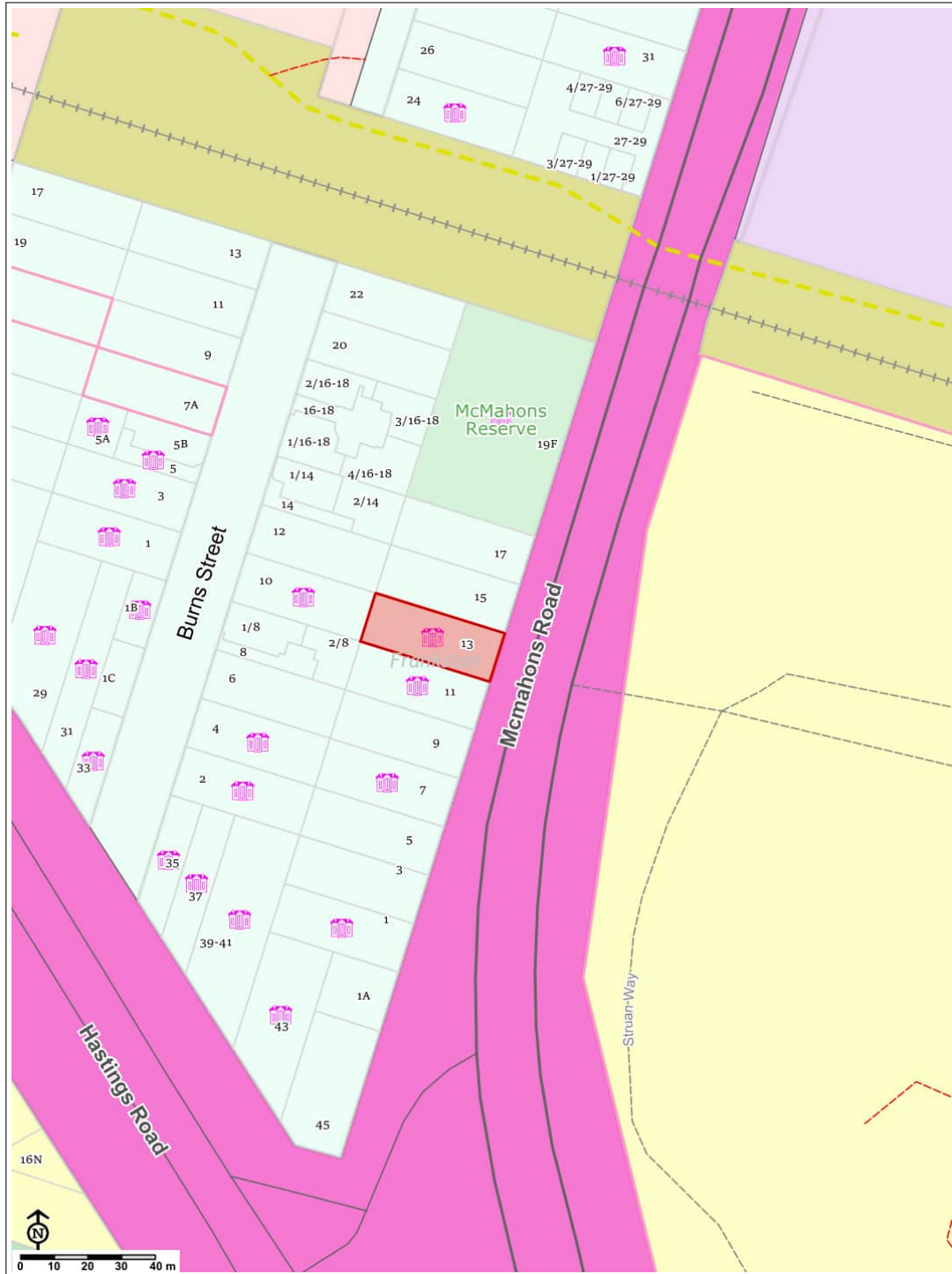


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Aerial Locality Map - Planning Application 39/2024/P - 13 McMahons Frankston City Council



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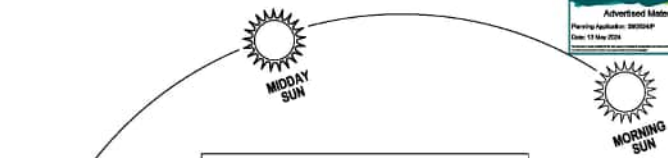
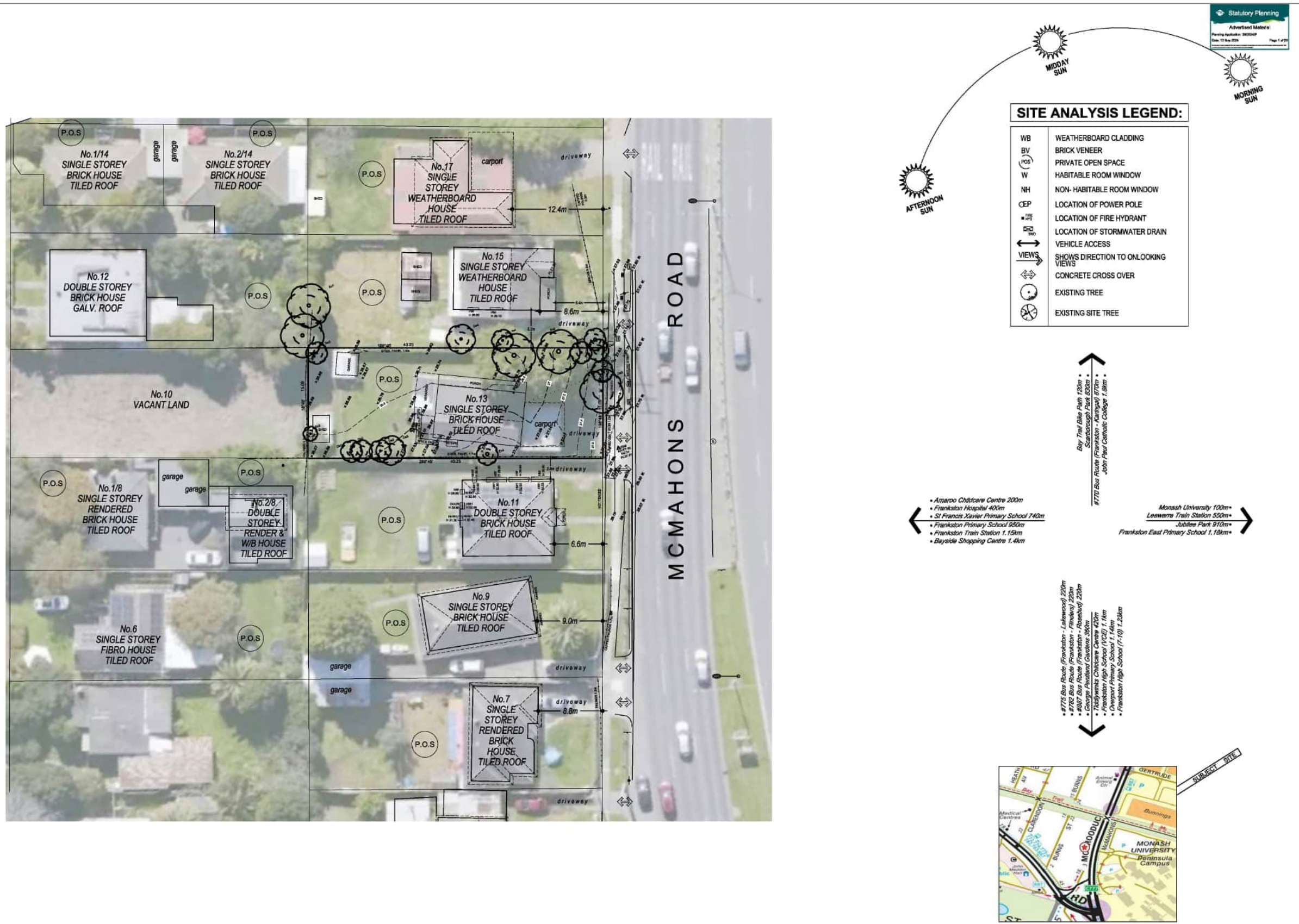


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Locality Map - Planning Application 39/2024/P - 13 McMahon's Road Frankston City Council



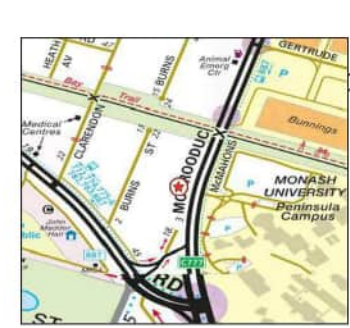
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SITE ANALYSIS LEGEND:

WB	WEATHERBOARD CLADDING
BV	BRICK VENEER
(P.O.S.)	PRIVATE OPEN SPACE
W	HABITABLE ROOM WINDOW
NH	NON-HABITABLE ROOM WINDOW
CEP	LOCATION OF POWER POLE
FD	LOCATION OF FIRE HYDRANT
SD	LOCATION OF STORMWATER DRAIN
VA	VEHICLE ACCESS
VIEW	SHOWS DIRECTION TO ONLOOKING VIEWS
CCO	CONCRETE CROSS OVER
ET	EXISTING TREE
EST	EXISTING SITE TREE

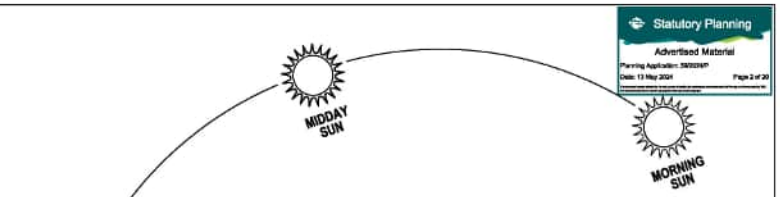
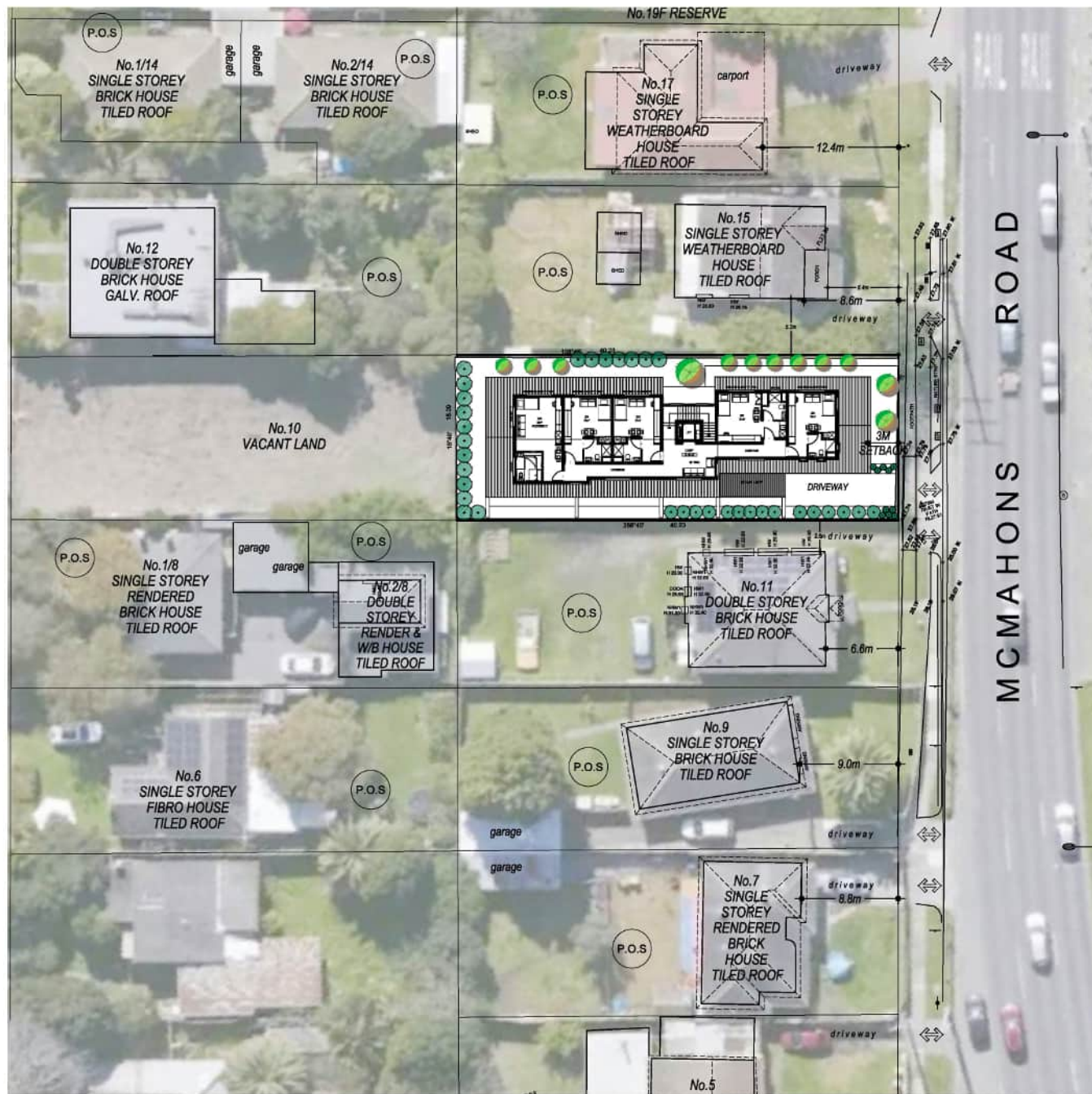
- Amaro Childcare Centre 200m
- Frankston Hospital 400m
- St Francis Xavier Primary School 740m
- Frankston Primary School 950m
- Frankston Train Station 1.15km
- Bayside Shopping Centre 1.4km
- Bay Train Bus Path 120m
- Scarborough Park 220m
- #770 Bus Route Frankston - Kangaroo 970m
- John Paul Catholic College 1.6km
- Monash University 100m
- Leaworth Train Station 530m
- Jubilee Park 910m
- Frankston East Primary School 1.18km
- #775 Bus Route (Frankston - Lalewood) 220m
- #782 Bus Route (Frankston - Frankston) 220m
- #887 Bus Route (Frankston - Rosebud) 230m
- George Peckham Centre 300m
- Tollywicks Childcare Centre 420m
- Frankston High School 1.1km
- Chesham Primary School 1.4km
- Frankston High School (7-19) 1.23km



LOCATION MAP

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<p>Revision Description: Revision Date: Rev. No.</p>				<p>Drawing Issue: TOWN PLANNING</p> <p>Date: AUG 2023</p> <p>Drawn By: JV.SL</p> <p>Checked By: VG</p>	

Issue No: 02, 2020 8:57:37 AM TOWN-GEN-DWG-2023-11-13 MCMAHONS RD FRANKSTON - DRAWING-11 TOWN PLANNING-11-13 CAD-CORRECTION REVISED, TP-BAL-2024



Statutory Planning
Advertised Material
Planning Application Number: 23123
Date: 13 May 2024 Page 2 of 28

DESIGN RESPONSE LEGEND:

WB	WEATHERBOARD CLADDING
BV	BRICK VENEER
POS	PRIVATE OPEN SPACE
W	HABITABLE ROOM WINDOW
NH	NON-HABITABLE ROOM WINDOW
CEP	LOCATION OF POWER POLE
FD	LOCATION OF FIRE HYDRANT
SD	LOCATION OF STORMWATER DRAIN
VA	VEHICLE ACCESS
VIEW	SHOWS DIRECTION TO ONLOOKING VIEWS
CCO	CONCRETE CROSS OVER
ET	EXISTING TREE
EST	EXISTING SITE TREE
PST	PROPOSED SITE TREE

Revision	Description	Date	By	Check
1	TP FURTHER INFORMATION	MAR 2024	B	
2	TOWN PLANNING LOGGEMENT	NOV 2022	A	



TOWN PLANNING
DESIGN RESPONSE

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23123

Scale:
A1 = 1:250, A3 = 1:500

Date:
AUG 2023

Sheet No./Revision No.)
A01-DR

PROPOSED ACCOMMODATION BUILDING
AT
13 MCMAHONS ROAD
FRANKSTON

Double Glazing
All habitable room windows to be double-glazed.

Obscured Glazing
Obscured glazing to be manufactured obscured glass (not applied/removable film)

ESD INITIATIVES
THESE PLANS ARE TO BE READ IN CONJUNCTION WITH THE SUSTAINABLE DESIGN ASSESSMENT (SDA) PREPARED BY FRATER

NATHERS STAR RATING:
DEVELOPMENT COMMITTED TO EXCEEDING SECTION J ENERGY EFFICIENCY REQUIREMENT OF NCC 2019.
FORBID FUEL-FREE DEVELOPMENT (ALL ELECTRIC)

HEATING & COOLING SYSTEMS:
HEATING SYSTEMS: REVERSE CYCLE SPACE HEATING WITH FAN ASSIST AVAILABLE
EFFICIENCY RATING: WITHIN 1 STAR BEST AVAILABLE
COOLING SYSTEMS: REGENERATIVE SPACE HEATING WITH FAN ASSIST AVAILABLE
EFFICIENCY RATING: WITHIN 1 STAR BEST AVAILABLE

HOT WATER SYSTEMS:
HOT WATER SYSTEMS: ELECTRIC HEAT PUMP
SOLAR CONTRIBUTION: N/A
EFFICIENCY RATING: WITHIN 1 STAR BEST AVAILABLE

WATER FITTINGS/FIXTURES:
SHOWER HEADS: 4 STAR WELS (0.8-1.7L)
BATH TUB STYLE: MEDIUM SIZED
KITCHEN TAPS: 5 STAR WELS
BATHROOM TAPS: 5 STAR WELS
WC: 4 STAR WELS
DISHWASHERS: 5 STAR WELS
WASHING MACHINES: OCCUPANT TO METAL, PREFER 100% OCCUPANT TO METAL, PREFER 100%

INTERNAL LIGHTING:
THE PROPOSED DEVELOPMENT TO INCLUDE AN INTERNAL LIGHTING LAYOUT WITH MAXIMUM ILLUMINATION POWER DENSITY OF 4W/M²

EXTERNAL & COMMON LIGHTING:
EXTERNAL & COMMON AREA LIGHTS ARE TO BE FITTED WITH SENSORS (MOTION DETECTORS, TIMERS, DAYLIGHT SENSORS) WHERE APPROPRIATE TO REDUCE ENERGY USE

MECHANICAL VENTILATION:
ALL REGULARLY OCCUPIED SPACES WILL BE PROVIDED WITH OR FANS WHICH WILL COMMIT TO PROVIDE 75% INCREASE ON OR PROVISION FROM AS-BUILT. OR WILL BE PROVIDED IN THE REGULARLY OCCUPIED SPACES TO ENSURE THAT CO2 CONCENTRATION IN ROOMS REMAINS BELOW 650ppm.

PAVING
PAVED AREAS SHOWN AND INDICATED AS PERMEABLE OR NON-PERMEABLE.
PERMEABLE PAVING SHOWN HATCHED.

RAINWATER COLLECTION & USE
5,000L RAINWATER TANK (UNDERGROUND) FOR TOILET FLUSHING AND LANDSCAPE IRRIGATION (IF REQUIRED). REFER TO GROUND FLOOR PLAN & WOULD PLAN FOR FURTHER DETAILS.

Statutory Planning
Advertised Material
Planning Application: 80000407
Date: 13 May 2024
Page 4 of 20

GROUND FLOOR PLAN
SCALE: 1:100

DEVELOPMENT SUMMARY

SITE AREA: 607m²
SITE COVERAGE: 355m² (58%)
PERMEABLE AREA: 186m² (31%)

NUMBER OF ROOMS: 18 (SEVENTEEN)
COMMUNAL OUTDOOR OPEN SPACE: 18m²

FLOOR AREA CALCULATIONS:
GROUND FLOOR PLAN: 143m²
FIRST FLOOR PLAN: 331m²
SECOND FLOOR PLAN: 219m²
TOTAL FLOOR AREA: 694m²

CARSPACES: 4 (FOUR)
BIKE SPACES: 10 (TEN)

REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR ALL LANDSCAPE DETAILS AND TO CONSIDER THE PRESENCE OF NATIVE OR ENDANGERED TOXIC SPECIES. WATERING WILL NOT BE REQUIRED AFTER AN INITIAL ESTABLISHMENT PERIOD. IF IRRIGATION IS REQUIRED, IT WILL BE CONNECTED TO ON-SITE RAINWATER TANKS.

EXISTING TREE TO BE RETAINED
REFER TO ARCHITECT'S REPORT FOR MORE DETAILS ON TREE PROTECTION REQUIREMENTS.

EXISTING TREE TO BE REMOVED TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY.

PROPOSED CANOPY TREE (REFER TO LANDSCAPE PLAN)

PEDESTRIAN VISIBILITY PLAN:
DESIGNATED AREA TO BE AT LEAST 50% CLEAR OF VISUAL OBSTRUCTIONS FOR WITH A HEIGHT OF LESS THAN 1.2 METRES WHICH MAY INCLUDE ADJACENT DRIVEWAYS AND PATHS WITH A HEIGHT OF LESS THAN 1.2 METRES TO THE VIEW OF THE PROPERTY FRONTAGE.

FLOOD LEVEL: DATE OF ISSUE: 26.02.2024
MEASUREMENT WATER LEVELS ADJACENT TO THE PROPERTY IS AFFECTED BY A FLOOD LEVEL.
THE FLOOD LEVEL FOR THE PROPERTY IS 27.75m TO AUSTRALIAN HEIGHT DATUM (AHD).

LIGHTING TO OUTDOOR COMMON AREAS:
COLLARED
CEILING MOUNTED
WALL MOUNTED

LIGHTING TO BE INSTALLED WITH DAYLIGHT SENSORS & DESIGNED TO AVOID LIGHT POLLUTION INTO ADJACENT PROPERTIES. LOCATIONS SHOWN ON PLANS AND INDICATIVE AND ARE TO BE FINALIZED BY LIGHTING ENGINEER'S SUPPLIER.

MOTION SENSOR SECURITY LIGHTING TO BE PROVIDED WITHIN THE CAR PARK AREA AND AT THE REAR ENTRY IN ACCORDANCE WITH CONDITION 26 OF THE PLANNING PERMIT.

BOLLARD LIGHTING ALONG THE ACCESSWAY AND PEDESTRIAN PATH TO BE IN ACCORDANCE WITH CONDITION 26 OF THE PLANNING PERMIT.

OUTDOOR LIGHTING MUST BE PROVIDED, DESIGNED, BAFFLED AND LOCATED TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY TO PREVENT ANY ADVERSE EFFECT ON NEIGHBOURING LAND.

TREE PROTECTION MEASURES:
This protection must be carried out in accordance with AS 4800-2000 Protection of trees or development sites by the satisfaction of the Responsible Authority.

Before works start (including any excavation, leveling of the site, construction, tree removal, removal of existing infrastructure, removal of existing trees, etc.) the Responsible Authority must be notified of the tree protection measures to be implemented. The tree protection measures must be implemented in accordance with the tree protection measures set out in the tree protection plan. The tree protection measures must be implemented in accordance with the tree protection measures set out in the tree protection plan. The tree protection measures must be implemented in accordance with the tree protection measures set out in the tree protection plan.

MELBOURNE WATER - CONDITIONS

The finished floor level for the ground floor level of the building is to be set at a minimum of 26.05 metres Australian Height Datum (AHD), which is 300mm above the spot level of 27.75 metres AHD.

Development needs to maintain existing nominated surface levels for the driveway, to allow the passage of flow from the road to the rear.

The building setbacks shown to site boundaries must not be further reduced without the written approval of Melbourne Water. To ensure adequate open space areas to allow the passage of overhead flow.

Open space areas must be maintained at existing surface level.

Any proposed internal levelling or grading must be at least 50 percent permeable.

Revision Description	Revision Date	Rev. No.	Revision Description	Revision Date	Rev. No.
TP FURTHER INFORMATION	MAR 2024	B			
TOWN PLANNING LOGEMENT	NOV 2023	A			

23123

TOWN PLANNING
SITE/ GROUND FLOOR PLAN

Scale: A1 = 1:100, A3 = 1:200
Date: AUG 2023
Sheet No./Revision No.: A01-01

Double Glazing
All habitable room windows to be double glazed.

Obscured Glazing
Obscured glazing to be manufactured obscured glass (not applied/removable film)

ESD INITIATIVES	
THESE PLANS ARE TO BE READ IN CONJUNCTION WITH THE SUSTAINABLE DESIGN ASSESSMENT (SDA) PREPARED BY FRATER.	
NATHERS STAR RATING:	
DEVELOPMENT COMITS TO EXCEEDING SECTION J ENERGY EFFICIENCY REQUIREMENT OF NCC 2019.	
FOSSIL FUEL-FREE DEVELOPMENT (ALL ELECTRIC)	
HEATING & COOLING SYSTEMS:	
HEATING SYSTEMS: EFFICIENCY RATING:	REVERSE CYCLE SPACE HEATING FROM UNIT AVAILABLE
COOLING SYSTEMS: EFFICIENCY RATING:	RENDERATIVE SPACE WITHIN 1 STAR BEST AVAILABLE
HOT WATER SYSTEMS:	
HOT WATER SYSTEMS: SOLAR CONTRIBUTION: EFFICIENCY RATING:	ELECTRIC HEAT PUMP N/A WITHIN 1 STAR BEST AVAILABLE
WATER FITTINGS/FIXTURES:	
SHOWERS/BATHS: BATH TUB STYLE:	4-STAR WELS (W4-W7) MEDIUM-SIZED
KITCHEN TAPS: BATHROOM TAPS: WIC: DISHWASHERS: WASHING MACHINES:	5-STAR WELS 5-STAR WELS 4-STAR WELS 5-STAR WELS OCCUPANT TO INSTALL (REFER SDA)
INTERNAL LIGHTING:	
THE PROPOSED DEVELOPMENT TO INCLUDE AN INTERNAL LIGHTING LAYOUT WITH MAXIMUM ILLUMINATION POWER DENSITY OF 4W/M ²	
EXTERNAL & COMMON LIGHTING:	
EXTERNAL & COMMON AREA LIGHTS ARE TO BE FITTED WITH SENSORS (MOTION DETECTORS, TIMERS, DAYLIGHT SENSORS) WHERE APPROPRIATE TO REDUCE ENERGY USE.	
MECHANICAL VENTILATION:	
ALL REGULARLY OCCUPIED SPACES WILL BE PROVIDED WITH O/A FANS WHICH WILL COMPLY TO PROVIDE 70% INCREASE ON O/A PROVISION FROM AS/ME. O/A WILL BE PROVIDED IN THE REGULARLY OCCUPIED SPACES TO ENSURE THAT CO ₂ CONCENTRATION IN ROOMS REMAINS BELOW 600ppm.	
PAVING	
PAVED AREAS SHOWN AND INDICATED AS PERMISSIBLE OR NON-PERMISSIBLE.	
PERMISSIBLE PAVING SHOWN HATCHED	
RAINWATER COLLECTION & USE	
1500L RAINWATER TANK (UNDERGROUND) FOR TOILET FLUSHING AND LANDSCAPE IRRIGATION (IF REQUIRED) REFER TO GROUND FLOOR PLAN & WSD PLAN FOR FURTHER DETAILS.	

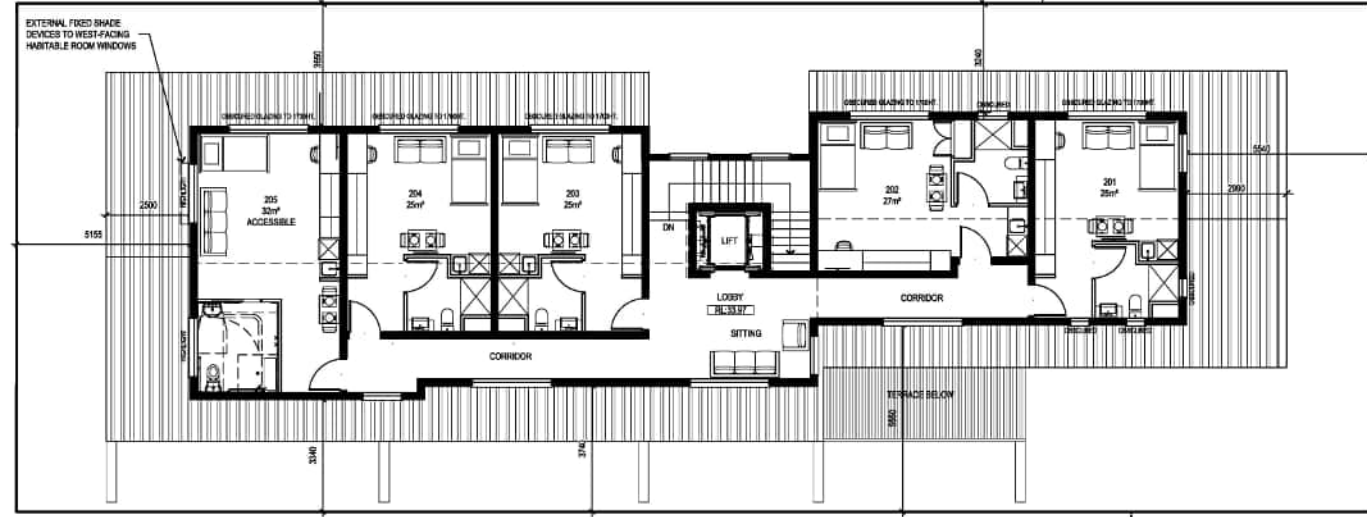
Statutory Planning

Advertised Material

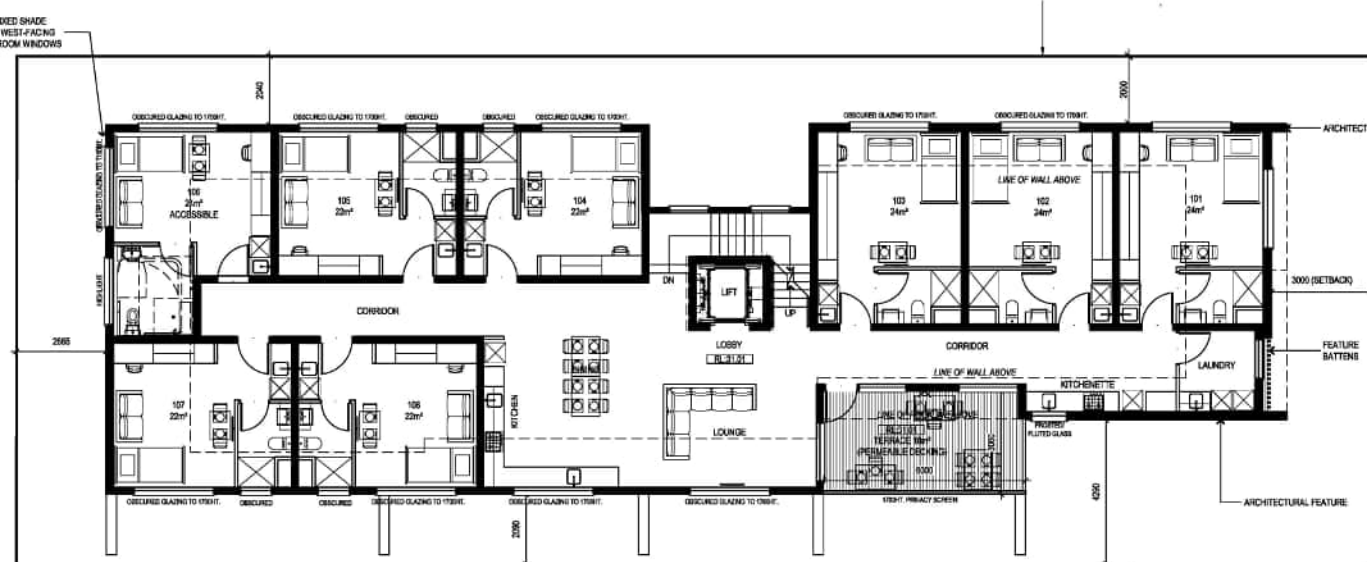
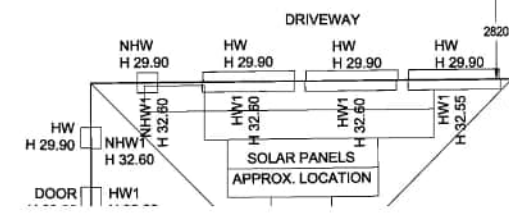
Planning Application: 23/2024/P
Date: 13 May 2024

Page 6 of 20

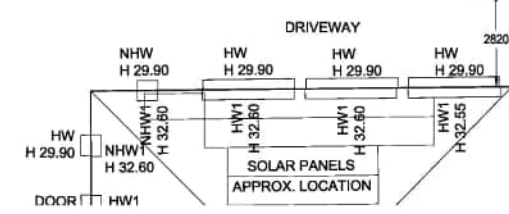
DEVELOPMENT SUMMARY	
SITE AREA:	607m ²
SITE COVERAGE:	355m ² (58%)
PERMEABLE AREA:	189m ² (31%)
NUMBER OF ROOMS:	18 (SIXTEEN)
COMMUNAL OUTDOOR OPEN SPACE:	18m ²
FLOOR AREA CALCULATIONS:	
GROUND FLOOR PLAN:	143m ²
FIRST FLOOR PLAN:	331m ²
SECOND FLOOR PLAN:	210m ²
TOTAL FLOOR AREA:	684m ²
CARSPACES:	4 (FOUR)
BIKE SPACES:	1 (ONE)
MOUNTED BIKE RACK TOP FLOOR METALLIC IN ACCORDANCE WITH SYDNEY (NSW) BIKE PARKING - WOODKID (VIC/TAS)	
ALL LEVELS SHOWN TO AUSTRALIAN HEIGHT DATUM (AHD)	
REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR ALL LANDSCAPE DETAILS. LANDSCAPING TO CONSIST OF NATIVE OR DROUGHT TOLERANT SPECIES. WATERING WILL NOT BE REQUIRED AFTER AN INITIAL ESTABLISHMENT PERIOD. IF IRRIGATION IS REQUIRED, IT WILL BE CONNECTED TO ON-SITE RAINWATER TANKS.	
EXISTING TREE TO BE RETAINED <small>REFER TO ARCHITECT'S REPORT FOR EXISTING TREE RISK ASSESSMENT REQUIREMENTS.</small>	
EXISTING TREE TO BE REMOVED TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY.	
PROPOSED CANOPY TREE (REFER TO LANDSCAPE PLAN)	
PEDESTRIAN VISIBILITY SPLOY:	
DESIGNATED AREA TO BE AT LEAST 50% CLEAR OF VISUAL OBSTRUCTIONS FOR WITH A HEIGHT OF LESS THAN 1.2 METRES WHICH MAY INCLUDE ADJACENT LANDSCAPING AREAS WITH A HEIGHT LESS THAN 8 METRES TO PROVIDE A CLEAR VIEW OF PEDESTRIANS ON THE FOOTPATH OF THE FRONTAGE ROAD.	
FLOOD LEVEL: DATE OF ISSUE: 28.02.2024	
MEASUREMENT HAS ADVISED THE PROPERTY IS AFFECTED BY A FLOOD LEVEL. THE FLOOD LEVEL FOR THE PROPERTY IS 27.76m TO AUSTRALIAN HEIGHT DATUM (AHD).	
LIGHTING TO OUTDOOR COMMON AREAS:	
BOLLARD CEILING-MOUNTED WALL-MOUNTED	
LIGHTING TO BE INSTALLED WITH DAYLIGHT SENSORS & DESIGNED TO AVOID LIGHT SPILLAGE INTO ADJACENT PROPERTIES. LOCATIONS SHOWN ON PLANS ARE INDICATIVE AND ARE TO BE FINALIZED BY LIGHTING ENGINEER SUPPLIER.	
MOTION SENSOR SECURITY LIGHTING TO BE PROVIDED WITHIN THE CAR PARK AREA AND AT THE REAR ENTRY IN ACCORDANCE WITH CONDITION 26 OF THE PLANNING PERMIT.	
BOLLARD LIGHTING ALONG THE ACCESSWAY AND PEDESTRIAN PATH TO BE IN ACCORDANCE WITH CONDITION 26 OF THE PLANNING PERMIT.	
OUTDOOR LIGHTING MUST BE PROVIDED, DESIGNED, BAFLED AND LOCATED TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY TO PREVENT ANY ADVERSE EFFECT ON NEIGHBOURING LAND.	



SECOND FLOOR PLAN
SCALE: 1:100



FIRST FLOOR PLAN
SCALE: 1:100



MELBOURNE WATER - CONDITIONS

The finished floor level for the ground floor level of the building is to be set at a minimum of 26.85 metres Australian Height Datum (AHD), which is 300mm above the spot datum level of 27.70 metres AHD.

Development needs to maintain existing nominated surface levels for the driveway, to allow the passage of flow from the front to the rear.

The building setbacks shown to site boundaries must not be further reduced without the written approval of Melbourne Water. To ensure adequate open space areas to allow for the passage of overhead flow.

Open space areas must be maintained at existing surface level.

Any proposed internal levelling or grades must be at least 50 percent permeable.

Revision Number	Description	Date
1	ISSUE FOR INFORMATION	MAR 2024
2	TOWN PLANNING LOGEMENT	NOV 2023



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TOWN PLANNING
FIRST & SECOND FLOOR PLANS

Project No: **23123**

Scale: A1 = 1:100, A3 = 1:200

Date: **AUG 2023**

Sheet No. (of 2 sheets): **A01-02**

Project: **PROPOSED ACCOMMODATION BUILDING**

AT

13 MCMAHONS RD, FRANKSTON

Statutory Planning
Advertised Material
Planning Application: 23/2024P
Date: 13 May 2024 Page 6 of 20

DEVELOPMENT SUMMARY

SITE AREA:	307 m ²
SITE COVERAGE:	356% (24%)
PERMEABLE AREA:	186m ² (3%)
NUMBER OF ROOMS:	16 (SIXTEEN)

COMMUNAL OUTDOOR OPEN SPACE: 18m²

FLOOR AREA CALCULATIONS:

GROUND FLOOR PLAN:	45m ²
FIRST FLOOR PLAN:	37 m ²
SECOND FLOOR PLAN:	20m ²
TOTAL FLOOR AREA:	102m ²

CARSPACES: 4 (FOUR)

BIKE SPACES: 1 (ONE)

BIKEWAYS: 1 (ONE)

BIKEWAYS TO BE INSTALLED IN ACCORDANCE WITH 8 CYCLE PARKING HOOK-UP SYSTEM

ALL LEVELS SHOWN TO AUSTRALIAN HEIGHT DATUM (MSL)

REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR ALL LANDSCAPE DETAILS AND SPECIFIC CONSIDERATIONS OF PLANTS OR DROUGHT TOLERANT SPECIES. MAINTENANCE MUST BE REQUIRED AFTER AN INITIAL SETTLEMENT PERIOD. IF IRRIGATION IS REQUIRED, IT WILL BE CONNECTED TO ON-SITE RAINWATER TANKS.

LANDING TANK: 0 ML @ 0.40 L/S

DESIGNER TO BE RESPONSIBLE FOR THE RESPONSIBLE AND DRY

PROPOSED CANOPY TREE (REFER TO LANDSCAPE PLAN)

PEDESTRIAN VISIBILITY SPY:

DESIGNATED AREA TO BE AT LEAST 2M CLEAR OF VISUAL OBSTRUCTION FOR ALL VISUAL DIRECTIONS FOR WITH A HEIGHT OF LESS THAN 1.2 METRES WHICH MAY INCLUDE ADJACENT LANDSCAPING AREAS UP TO A HEIGHT 1.5 METRES TO PROVIDE CLEAR VIEW D. PEDESTRIANS ON THE FOOTPATH OF THE FRONTAGE ROAD.

FLOOD LEVEL: DATE OF ISSUE: 26.06.2024
NO ALLOWANCE TO BE ADVISED THE PROPERTY IS AFFECTED BY A FLOOD EVENT.
THE FLOOD LEVEL FOR THE PROPERTY IS 0.70m TO AUSTRALIAN HEIGHT DATUM (MSL).

LIGHTING TO OUTDOOR COMMON AREAS:

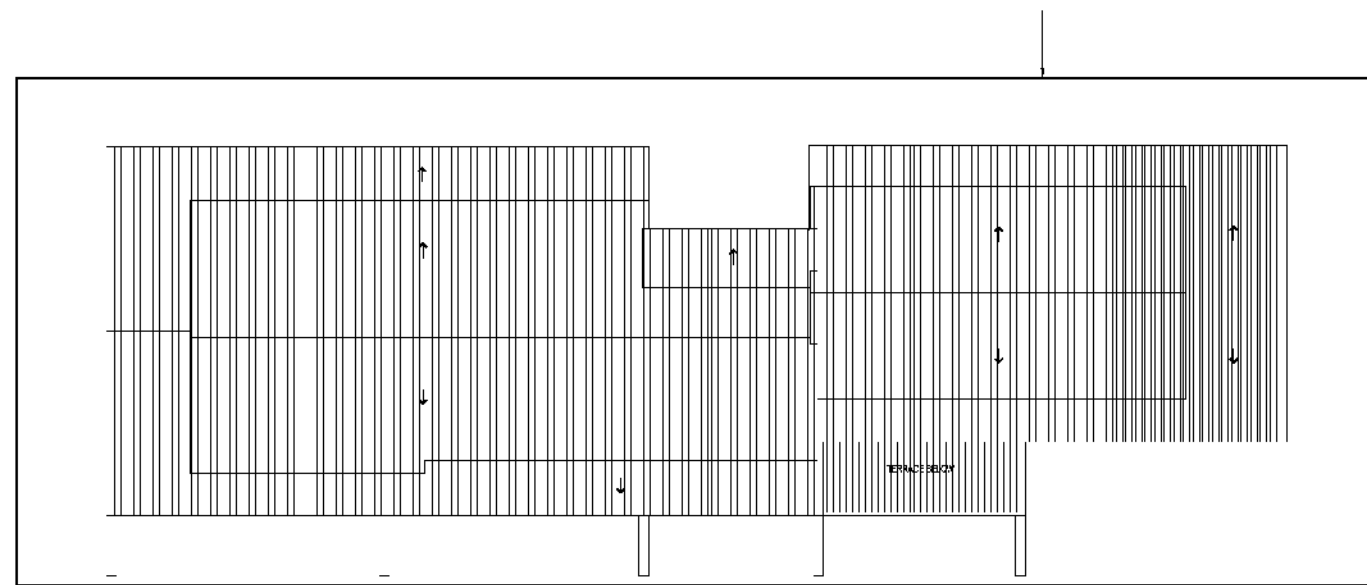
- BOLLARD
- CEILING MOUNTED
- WALL MOUNTED

LIGHTING TO BE INSTALLED BY 1.40VOLT LIGHT SENSORS & DERRISER TO AVOID LED LIGHT INTO ADJACENT PROPERTIES. LOCATIONS SHOWN ON PLANS ARE INDICATIVE AND ARE TO BE FINALISED BY LIGHTING ENGINEER SUPPLIER.

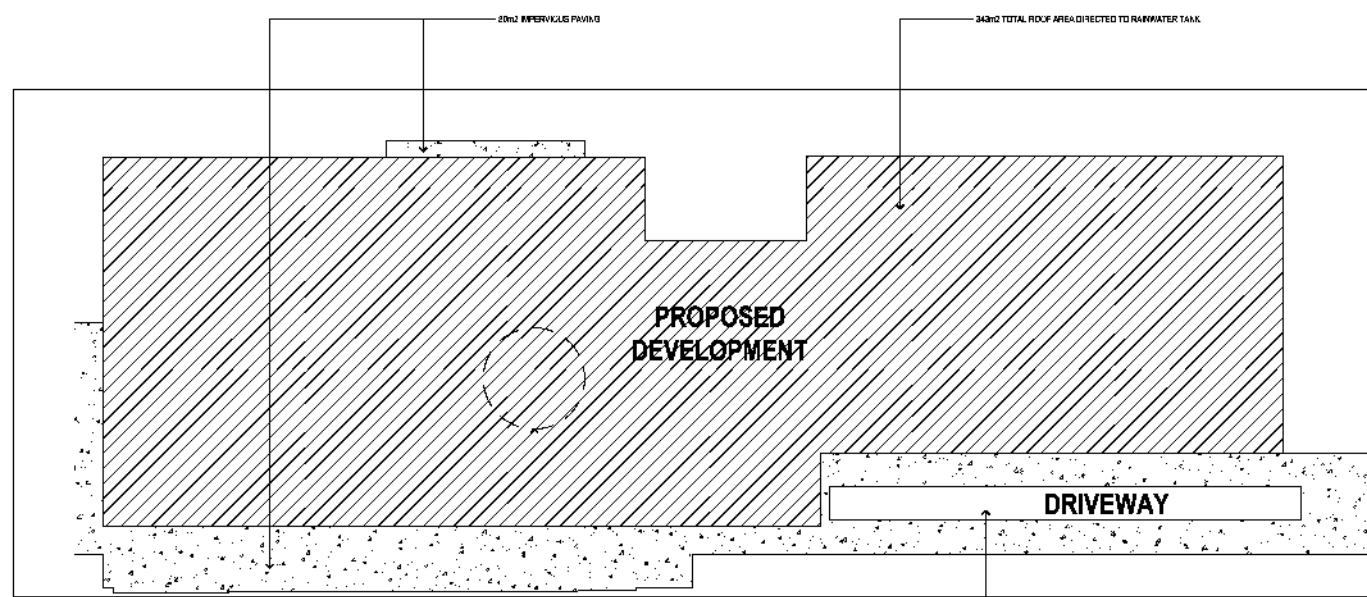
NOTICE: SECURITY LIGHTING TO BE PROVIDED WITHIN THE CAR PARK AREA AND AT THE REAR ENTRY IN ACCORDANCE WITH CONDITION 24 OF THE PLANNING PERMIT.

BOLLARD LIGHTING ALONG THE ACCORSEWAY AND PERMITTER FROM TO BE IN ACCORDANCE WITH CONDITION 25 OF THE PLANNING PERMIT.

OUTDOOR LIGHTING MUST BE PROVIDED, DESIGNED, SIZED AND LOCATED TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY TO PREVENT ANY ADVERSE EFFECT ON NEIGHBOURS AND.



ROOF PLAN
SCALE: 1:100

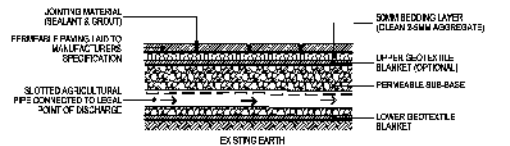


STORMWATER (WSUD) PLAN
SCALE: 1:100

STORMWATER PLAN - LEGEND:

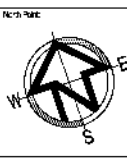
- IMPERVIOUS PAVING (NO TREATMENT)
- ROOF AREA TO WATER TANK
- RAINWATER TANK (IN THIS PLAN CHARGED PIPES ARE SHOWN. THEY ARE NOT TO BE SHOWN UNDER THE BUILDING FOOTPRINT)

REFER TO WATER SENSITIVE URBAN DESIGN REPORT PREPARED BY FRATER FOR ADDITIONAL INFORMATION.



SECTION THROUGH PERMEABLE PAVERS
SCALE: 1:30

REV	NO	DATE	DESCRIPTION	BY	CHKD
1	1	13/05/2024	ISSUED FOR PERMITTING	LM	PL
2	1	13/05/2024	ISSUED FOR PERMITTING	LM	PL
3	1	13/05/2024	ISSUED FOR PERMITTING	LM	PL
4	1	13/05/2024	ISSUED FOR PERMITTING	LM	PL
5	1	13/05/2024	ISSUED FOR PERMITTING	LM	PL
6	1	13/05/2024	ISSUED FOR PERMITTING	LM	PL
7	1	13/05/2024	ISSUED FOR PERMITTING	LM	PL
8	1	13/05/2024	ISSUED FOR PERMITTING	LM	PL
9	1	13/05/2024	ISSUED FOR PERMITTING	LM	PL
10	1	13/05/2024	ISSUED FOR PERMITTING	LM	PL



TOWN PLANNING
ROOF PLAN, GARDEN AREA SITE PLAN & STORMWATER (WSUD) PLAN

App No: **23123**
Scale: 1:100, AS = 1:200
Date: **AUG 2023**
Sheet No/Revision No: **A01-03**

PROPOSED ACCOMMODATION BUILDING
AT
13 MCMAHONS RD, FRANKSTON

Statutory Planning

Advertised Material

Planning Application: 29/2024/UP
Date: 13 May 2024 Page 7 of 20

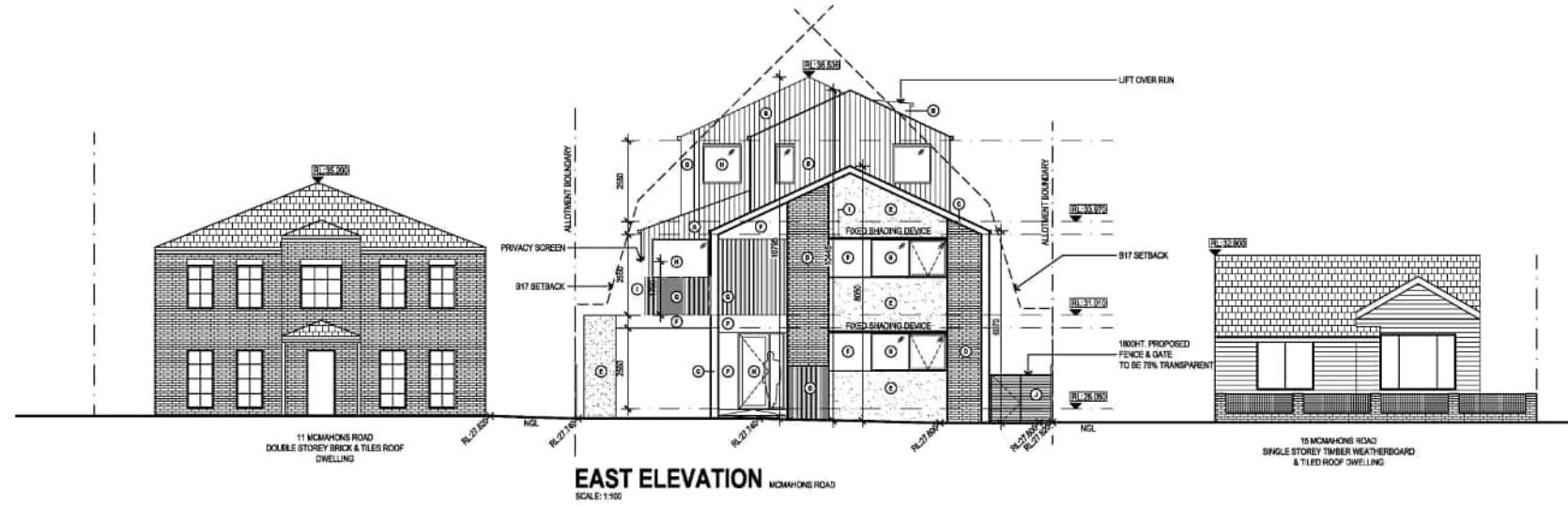
EXTERIOR COLOUR & FINISHES SCHEDULE

- (A) Roofing & Corrugated cladding – Colorbond – Surfmat
- (B) Roofing & Corrugated cladding – Colorbond – Monument
- (C) Powdercoated Feature Fascia – Colorbond – Surfmat
- (D) Face Brickwork – Liffshampton Bricks (or equivalent) – ‘Coachhouse’ with charcoal mortar
- (E) Concrete look Finish – Parchem (or equivalent) – Rendorex FC Architectural
- (F) Powdercoat/ Paint Finish to Cladding – Colorbond/ Dulux – Night Sky (Colorbond)
- (G) Feature Powdercoated Batters – Deco/ Colorbond – Night Sky
- (H) Windows & Doors – Colorbond – Night Sky
- (I) Privacy Screens & Shading Devices – Colorbond – Night Sky
- (J) Colorbond Fencing – Colorbond – Monument

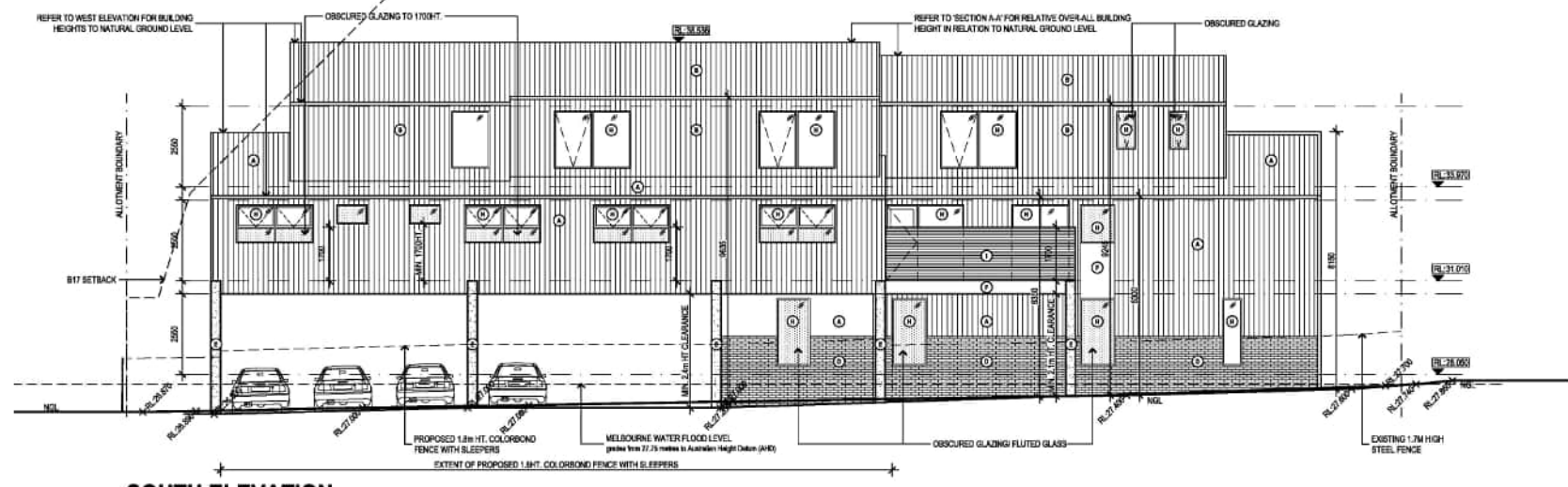
Downpipes
Downpipes to be Colorbond Surfmat when located with cladding coloured in Surfmat. All other downpipes to be finished in Colorbond Monument.

Double Glazing
All habitable room windows to be double-glazed.

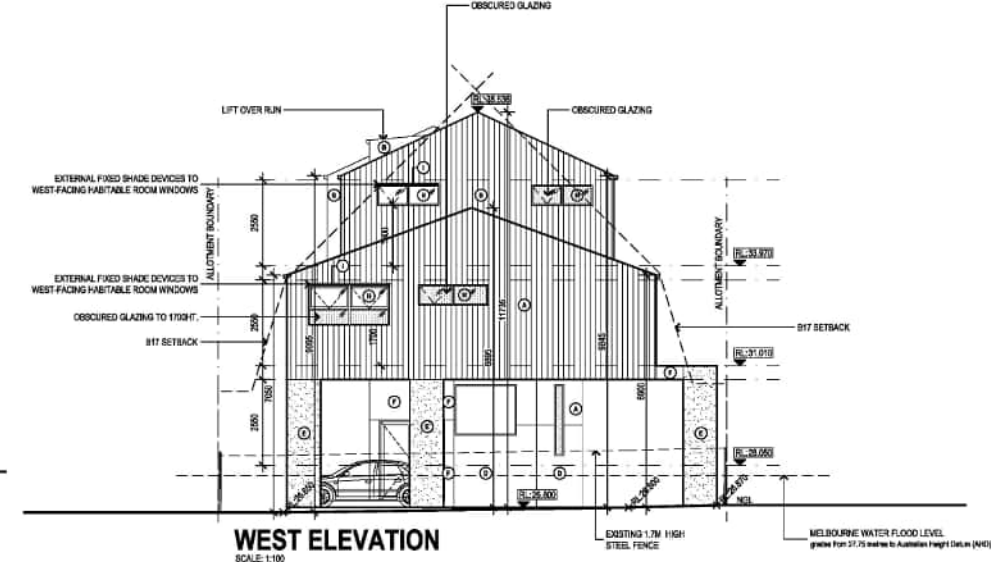
Obscured Glazing
Obscured glazing to be manufactured obscured glass (not applied/ removable film)



EAST ELEVATION
SCALE: 1:100



SOUTH ELEVATION
SCALE: 1:100



WEST ELEVATION
SCALE: 1:100

MELBOURNE WATER - CONDITIONS

The finished floor level for the ground floor level of the building is to be set at a minimum of 26.85 metres Australian Height Datum (AHD), which is 300mm above the spot/grade level of 27.75 metres AHD.

Development needs to maintain existing nominated surface levels for the driveway, to allow the passage of flow from the front to the rear.

The building setbacks shown to site boundaries must not be further reduced without the written approval of Melbourne Water, to ensure adequate open space areas to allow for the passage of overland flow.

Open space areas must be maintained at existing surface level.

Any proposed internal levelling or gully must be at least 50 percent permeable.

Revision Description	Revised Date	Rev. No.	Author	Check	Appr.
TP FURTHER INFORMATION	MAR 2024	B			
TOWN PLANNING LOGEMENT	NOV 2022	A			

TOWN PLANNING

EAST, NORTH & WEST ELEVATIONS

Project No: **23123**

Scale: A1 = 1:100, A3 = 1:200

Date: **AUG 2023**

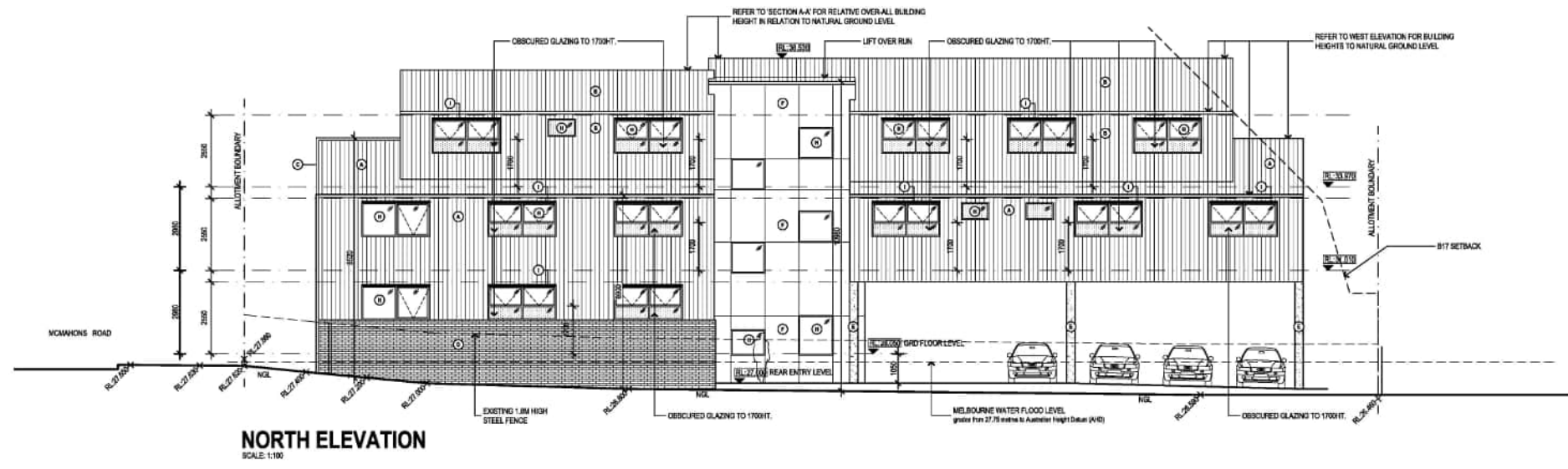
Sheet No./Revision No.: **A01-04**

Checked: PL
Drawn: LM

Project: **PROPOSED ACCOMMODATION BUILDING**

AT

13 MCMAHONS RD, FRANKSTON



NORTH ELEVATION
 SCALE: 1:100

Statutory Planning
Advertised Material
 Planning Application: 3902024P
 Date: 13 May 2024 Page 8 of 20

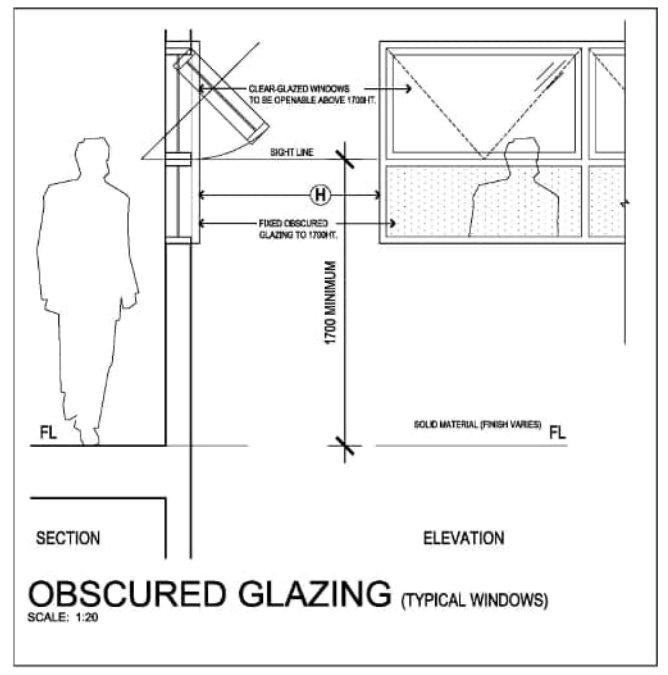
EXTERIOR COLOUR & FINISHES SCHEDULE

(A) Roofing & Corrugated cladding – Colorbond – Surfmist	
(B) Roofing & Corrugated cladding – Colorbond – Monument	
(C) Powdercoated Feature Fascia – Colorbond – Surfmist	
(D) Face Brickwork – Littlehampton Bricks (or equivalent) – 'Coachhouse' with charcoal mortar	
(E) Concrete-look Finish – Parchem (or equivalent) – Renscor FC Architectural	
(F) Powdercoated Paint Finish to Cladding – Colorbond/ Dulux – Night Sky (Colorbond)	
(G) Feature Powdercoated Battens – Deco/Colorbond – Night Sky	
(H) Windows & Doors – Colorbond – Night Sky	
(I) Privacy Screens & Shading Devices – Colorbond – Night Sky	
(J) Colorbond Fencing – Colorbond – Monument	

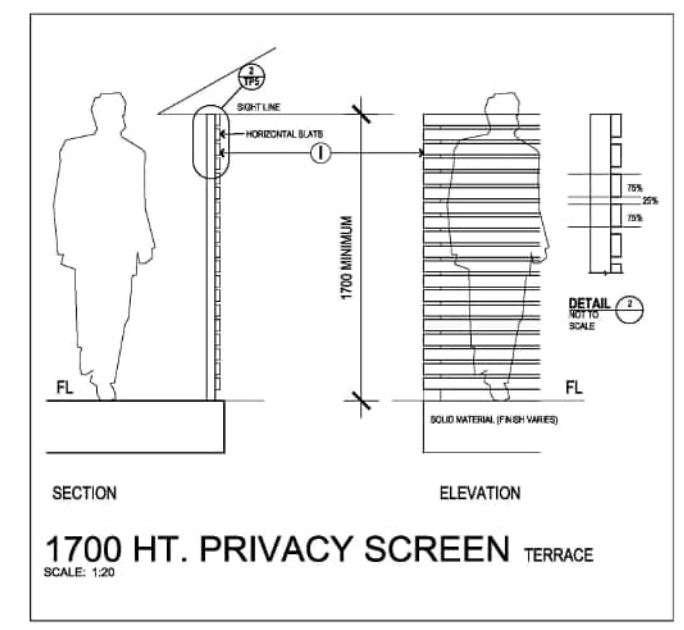
Downpipes
 Downpipes to be Colorbond Surfmist when located with cladding coloured in Surfmist. All other downpipes to be finished in Colorbond Monument.

Double Glazing
 All habitable room windows to be double-glazed.

Obscured Glazing
 Obscured glazing to be manufactured obscured glass (not applied/ removable film)



OBSCURED GLAZING (TYPICAL WINDOWS)
 SCALE: 1:20



1700 HT. PRIVACY SCREEN TERRACE
 SCALE: 1:20

MELBOURNE WATER - CONDITIONS

The finished floor level for the ground floor level of the building to be set at a minimum of 26.00 metres Australian Height Datum (AHD), which is 300mm above the applicable flood level of 27.70 metres AHD.

Development needs to maintain existing nominated surface levels for the driveway, to allow the passage of flow from the North to the West.

The building setbacks shown to site boundaries must not be further reduced without the written approval of Melbourne Water, to ensure adequate open space areas to allow for the passage of overland flow.

Open space areas must be maintained at existing surface level.

Any proposed internal levelling or grades must be at least 5% percent permeable.

Revision Description	Revision Date	Rev. No.	Revision Description	Revision Date	Rev. No.
TP FURTHER INFORMATION	MAR 2024	B			
TOWN PLANNING LOGGEMENT	NOV 2022	A			

TOWN PLANNING

SOUTH ELEVATION, SECTION, AND PRIVACY SCREEN DETAILS

23123

Scale: A1 = 1:100, A3 = 1:200
 Date: AUG 2023
 (Sheet No./Revision No.)

Checked: FL
 Drawn: LM

PROPOSED ACCOMMODATION BUILDING

AT

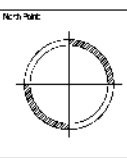
13 MCMAHONS RD, FRANKSTON

Statutory Planning
 Advertised Material
 Planning Application: 23/2024/P
 Date: 13 May 2024 Page 11 of 23

OVERSHADOWING SUMMARY TABLE - 22ND SEPTEMBER

ADJOINING PROPERTY	SPOS (m ²)	EXTENT OF EXISTING OVERSHADOWING				EXTENT OF ADDITIONAL OVERSHADOWING FROM PROPOSED DEVELOPMENT			
		9AM	10AM	12NOON	3PM	9AM	10AM	12NOON	3PM
No. 11 MCMAHONS RD.	320m ²	102m ²	67m ²	31m ²	57m ²	100m ²	87m ²	41m ²	1m ²
No. 2/8 BURNS ST.	48m ²	30m ²	25m ²	17m ²	22m ²	8m ²	1m ²	0m ²	0m ²
No. 10 BURNS ST.	N/A	N/A: VACANT SITE							

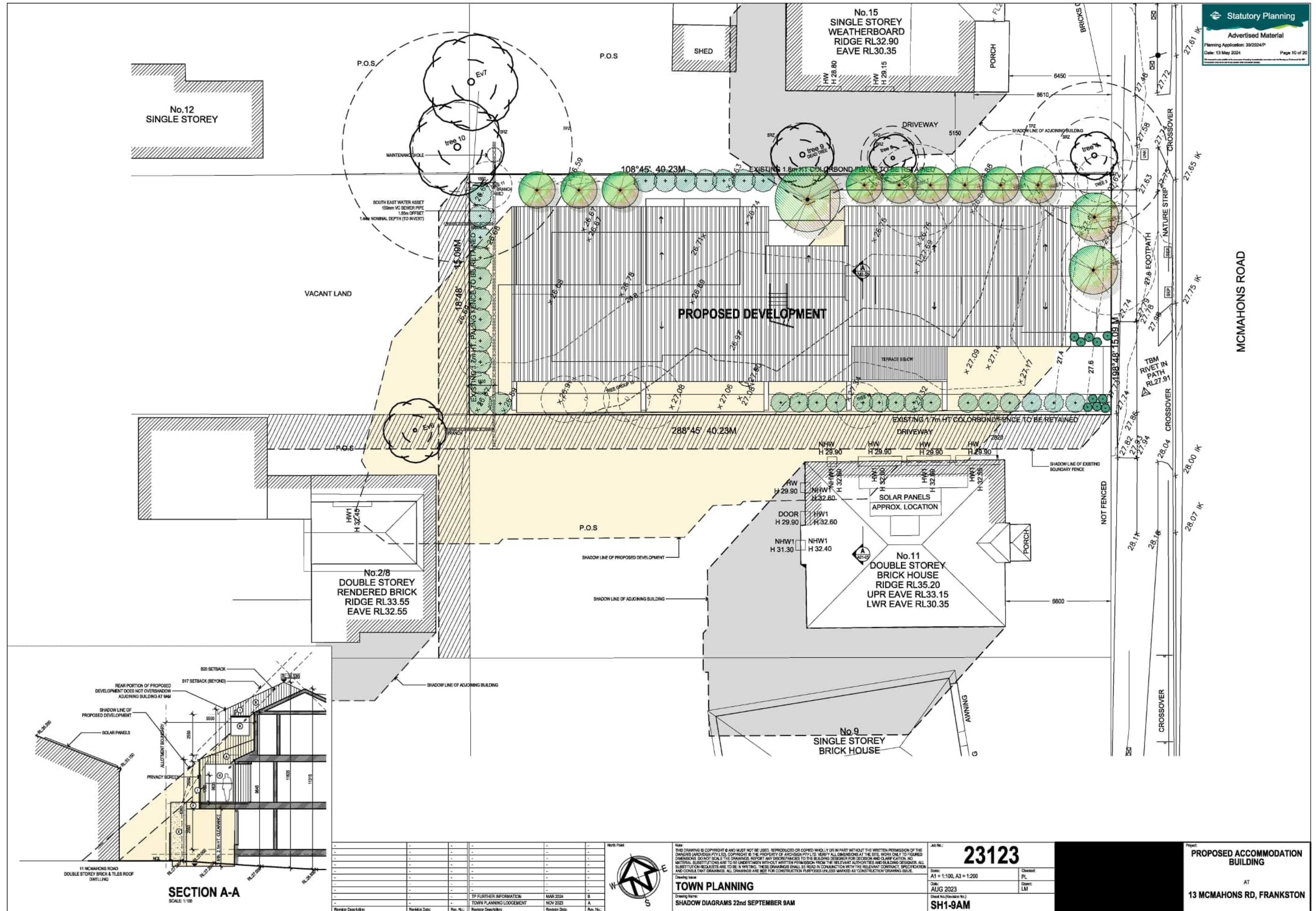
Rev: 01	Rev: 01	Rev: 01	Rev: 01	Rev: 01	Rev: 01
Rev: 02	Rev: 02	Rev: 02	Rev: 02	Rev: 02	Rev: 02
Rev: 03	Rev: 03	Rev: 03	Rev: 03	Rev: 03	Rev: 03
Rev: 04	Rev: 04	Rev: 04	Rev: 04	Rev: 04	Rev: 04
Rev: 05	Rev: 05	Rev: 05	Rev: 05	Rev: 05	Rev: 05
Rev: 06	Rev: 06	Rev: 06	Rev: 06	Rev: 06	Rev: 06
Rev: 07	Rev: 07	Rev: 07	Rev: 07	Rev: 07	Rev: 07
Rev: 08	Rev: 08	Rev: 08	Rev: 08	Rev: 08	Rev: 08
Rev: 09	Rev: 09	Rev: 09	Rev: 09	Rev: 09	Rev: 09
Rev: 10	Rev: 10	Rev: 10	Rev: 10	Rev: 10	Rev: 10
Rev: 11	Rev: 11	Rev: 11	Rev: 11	Rev: 11	Rev: 11
Rev: 12	Rev: 12	Rev: 12	Rev: 12	Rev: 12	Rev: 12
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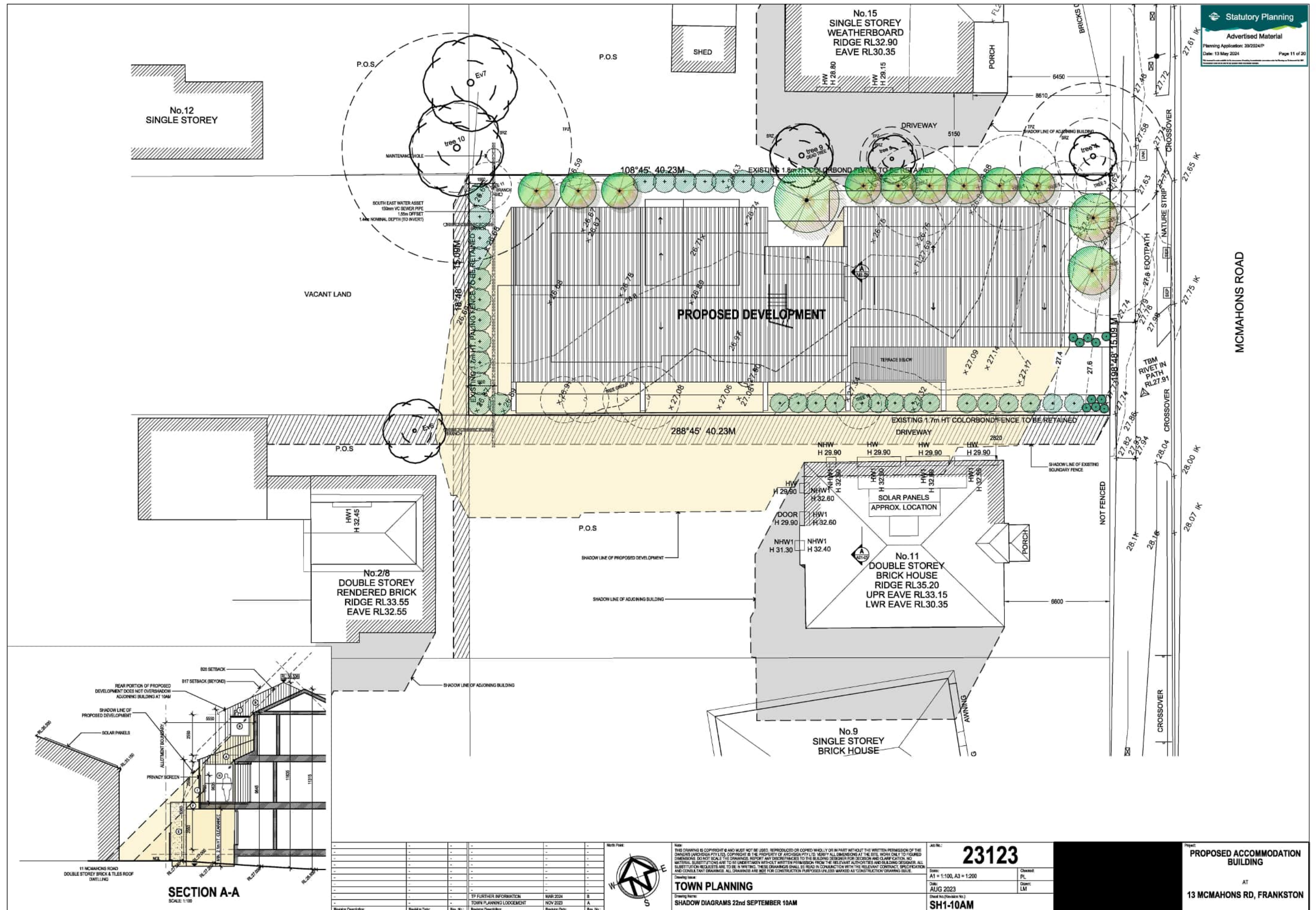


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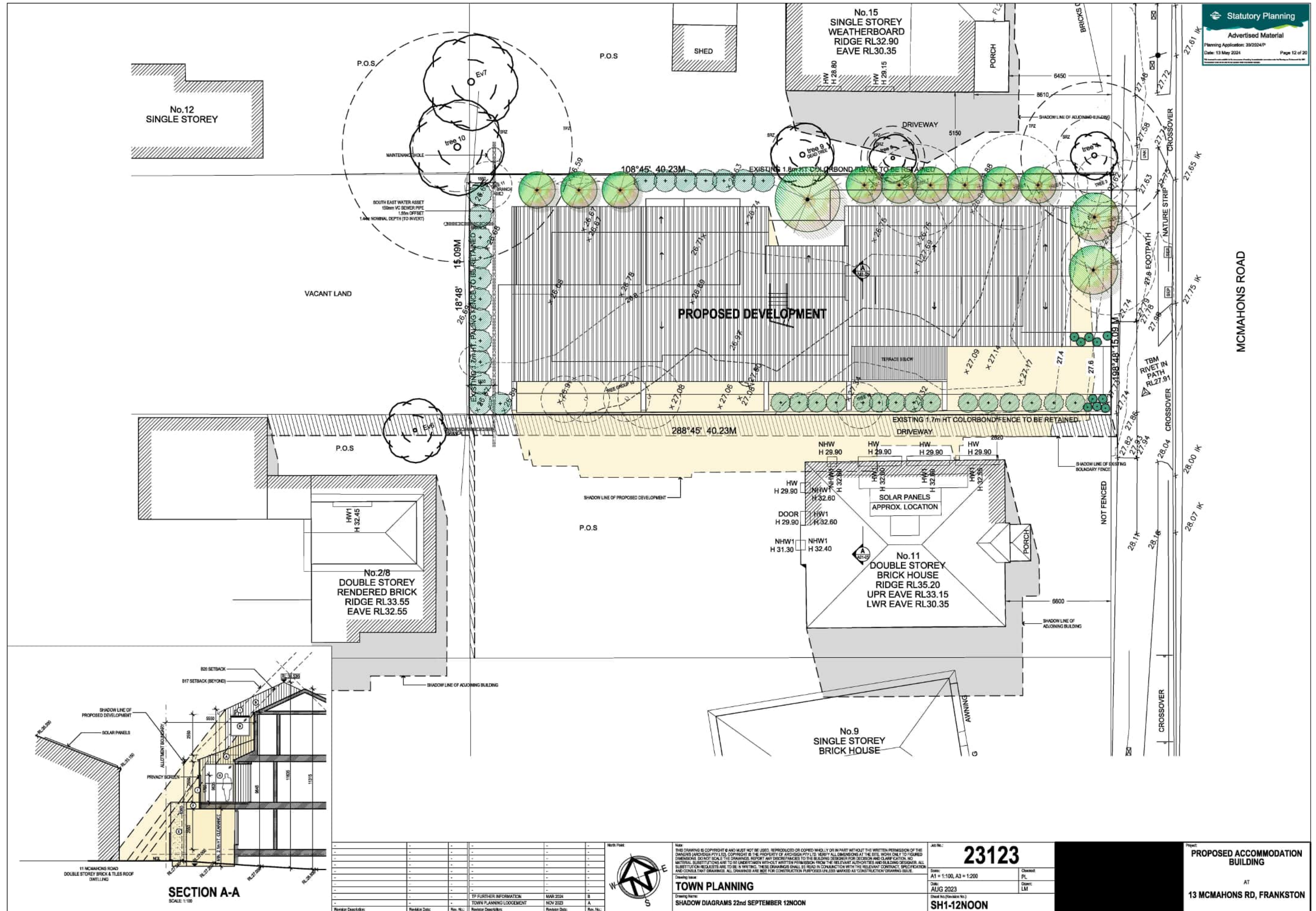
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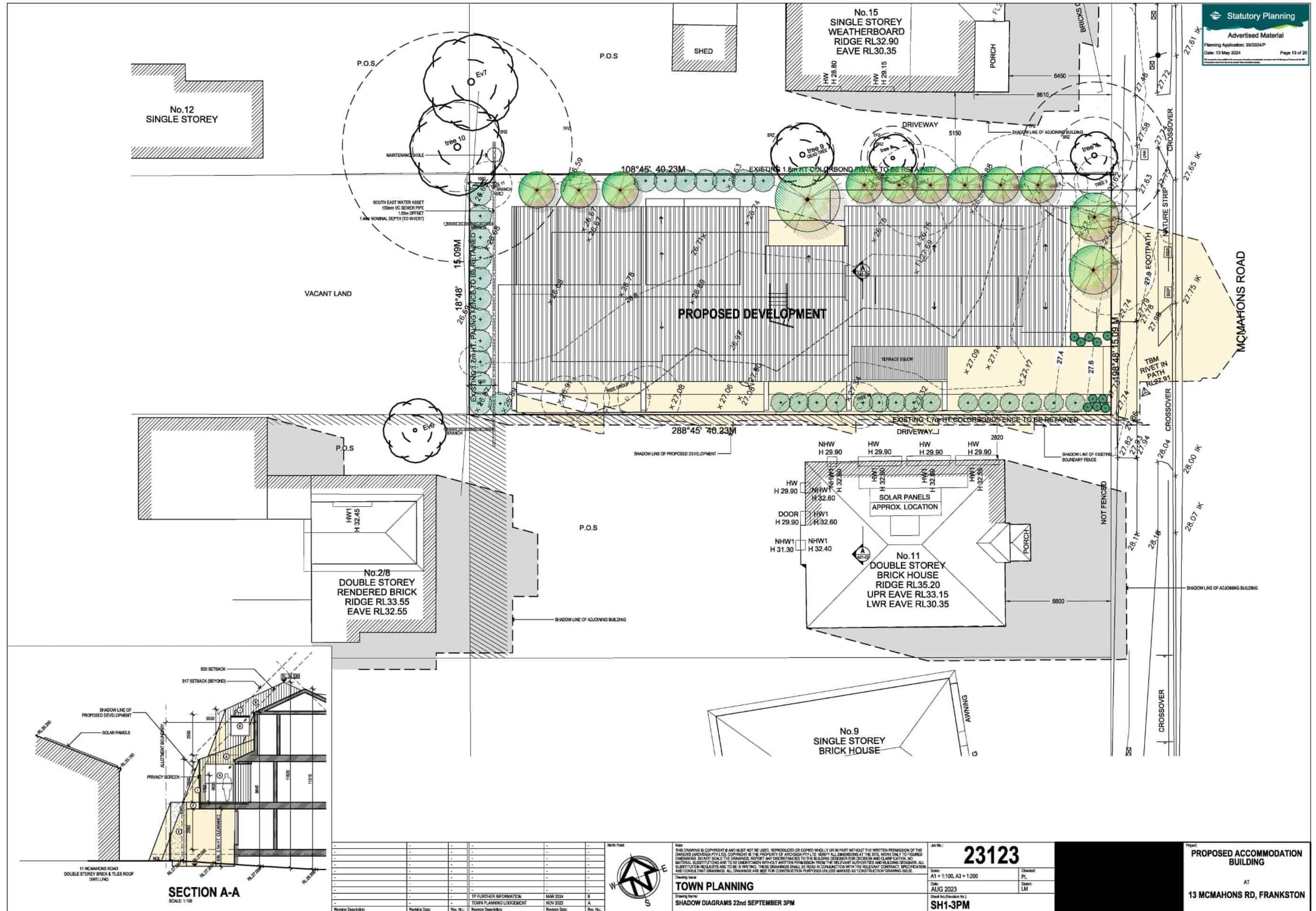
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 AT
 13 MCMAHONS RD, FRANKSTON

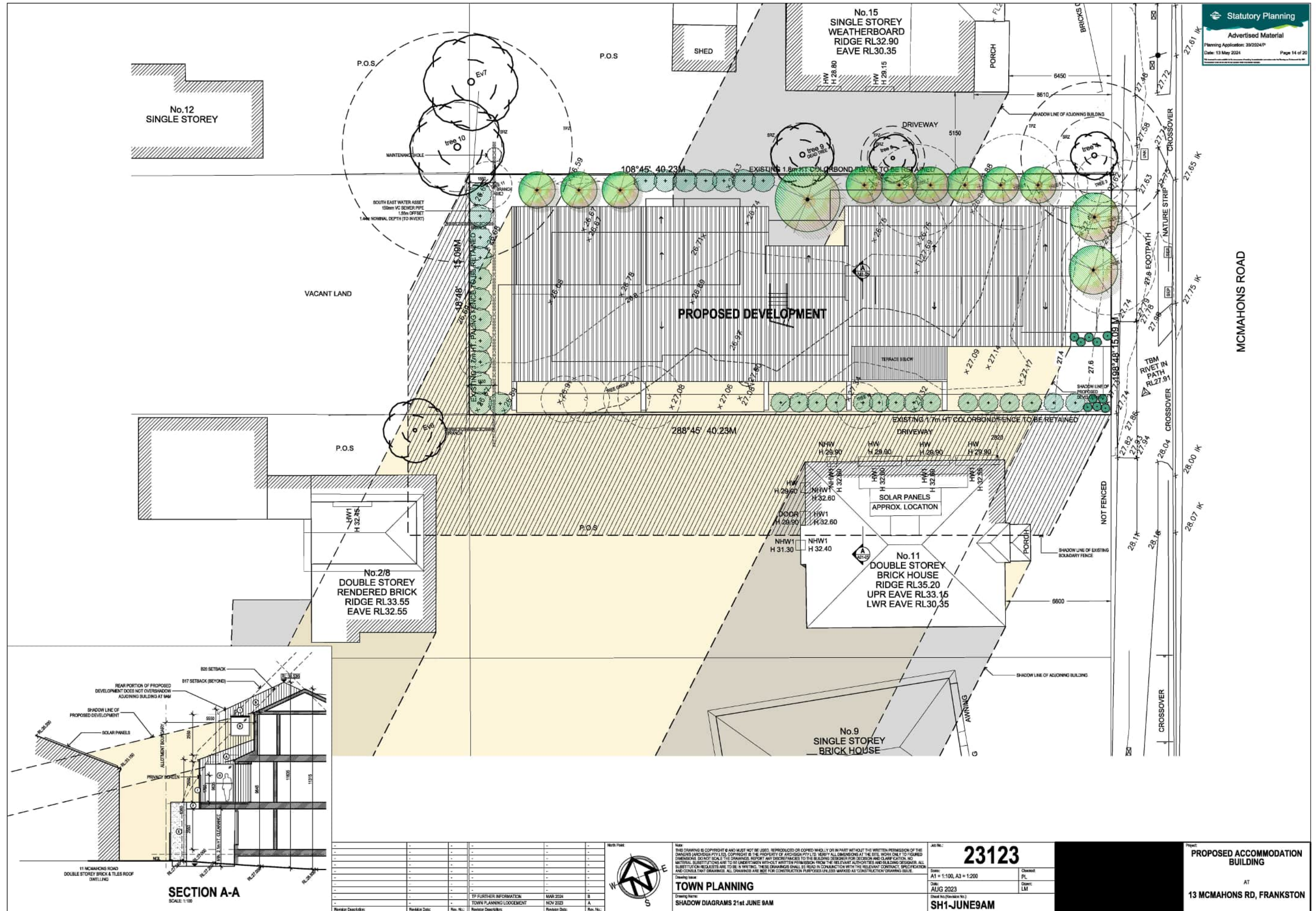


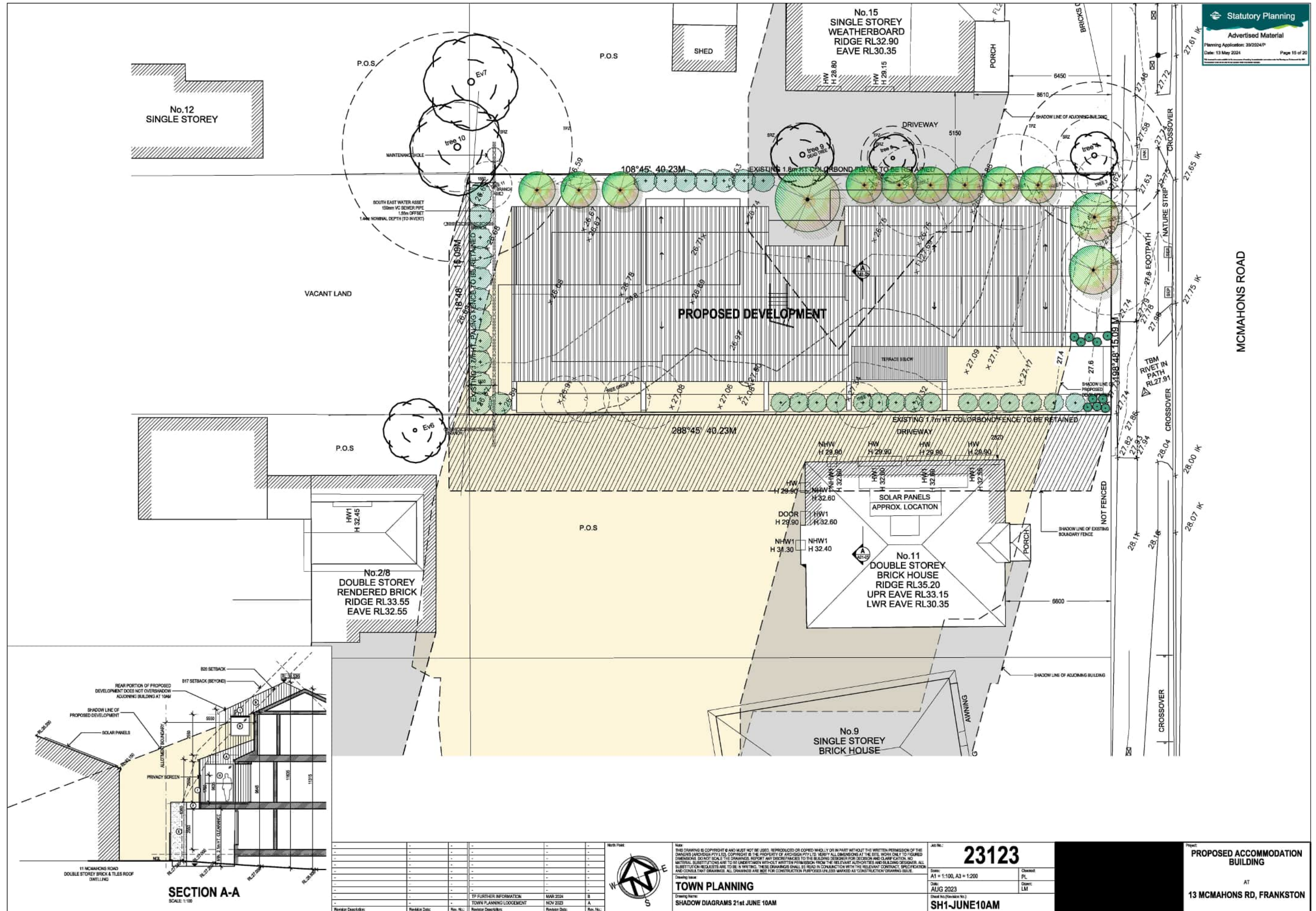


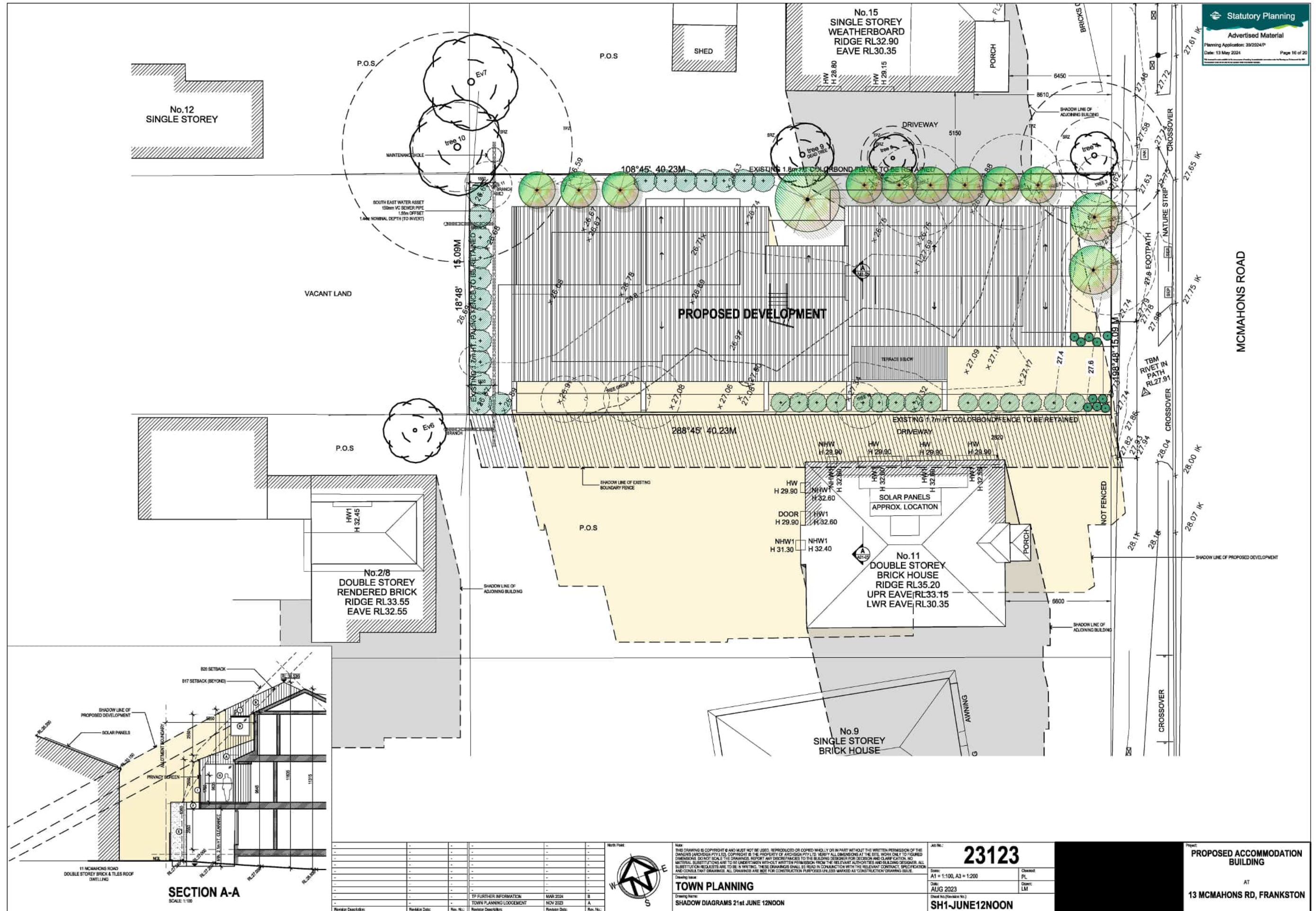
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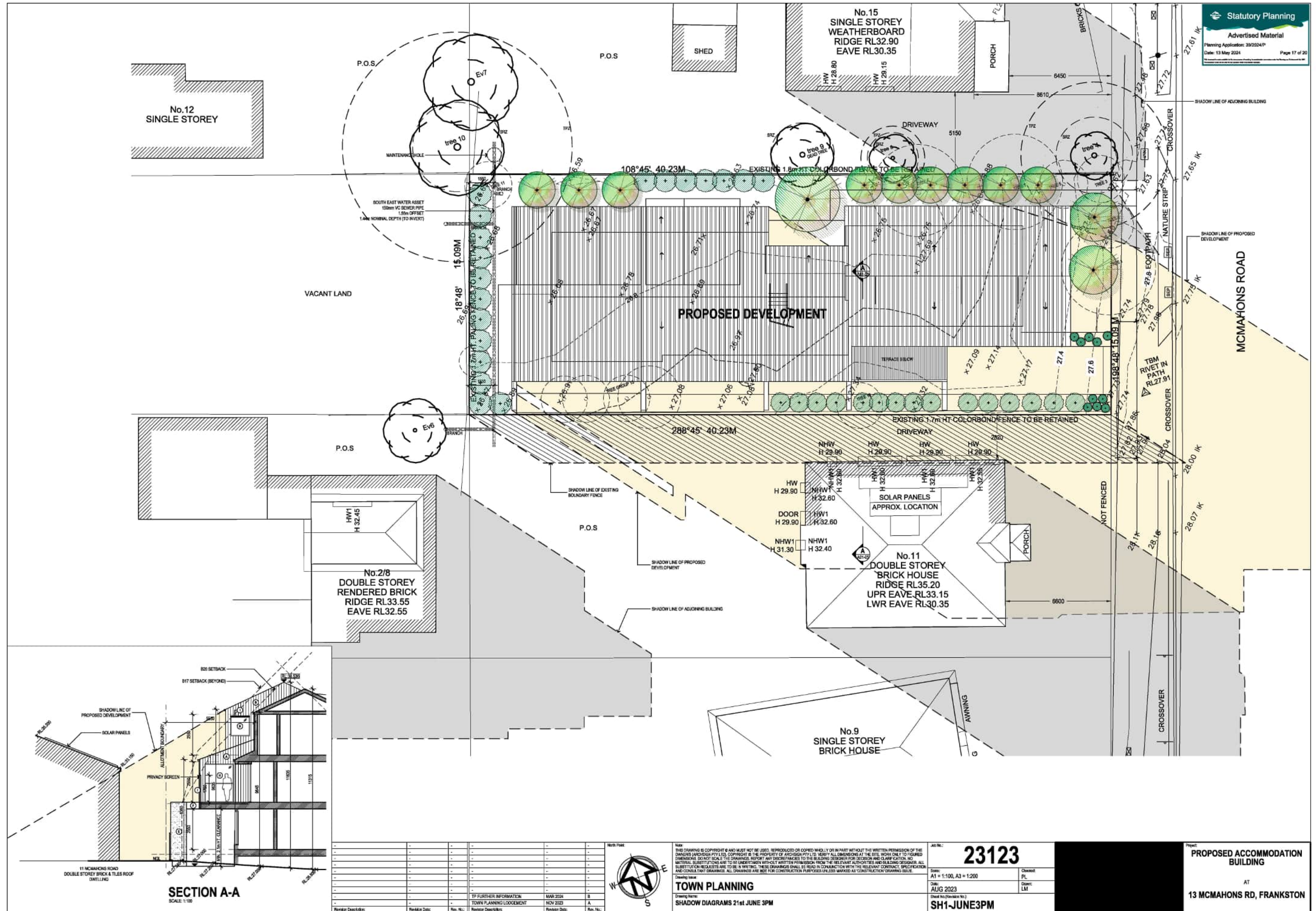








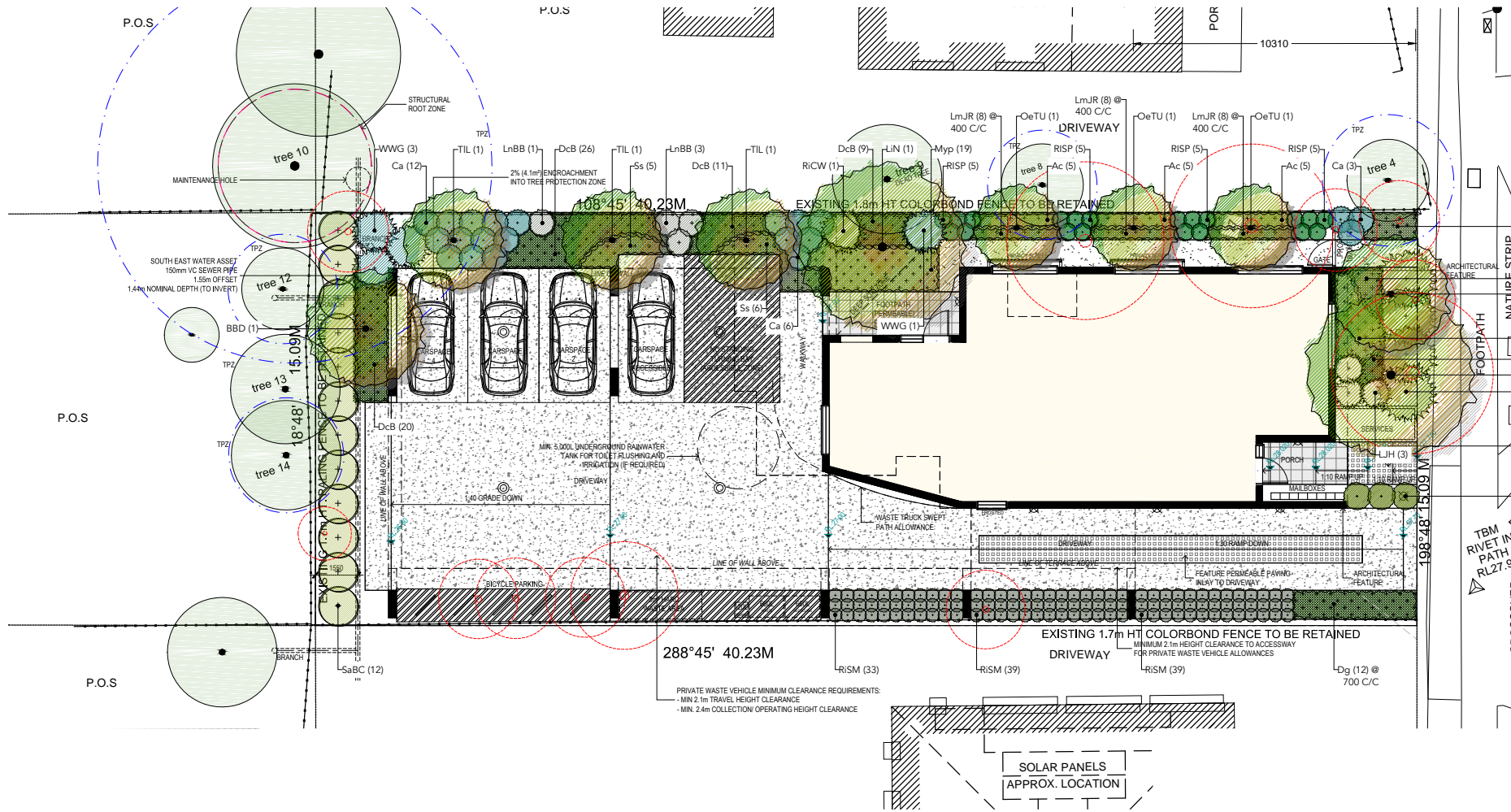




Statutory Planning
Advertised Material
Planning Application: 39/2024/P
Date: 13 May 2024 Page 18 of 20

LEGEND

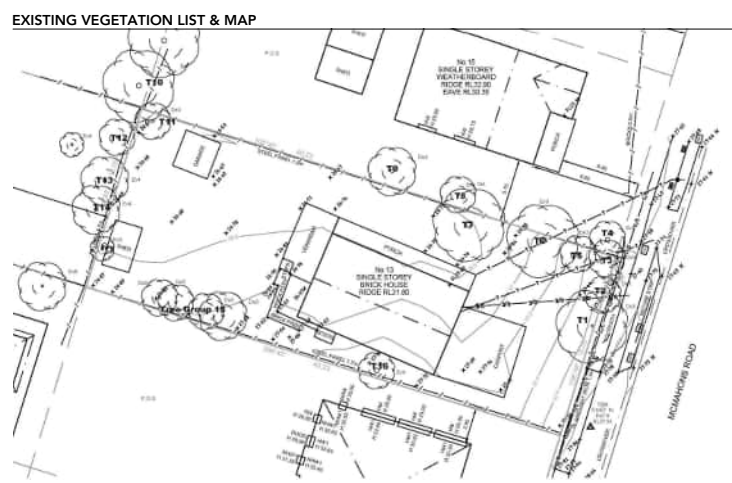
- EXISTING TREE TO BE RETAINED TPZ SHOWN BLUE SRZ SHOWN PINK
- EXISTING TREE TO BE REMOVED
- PROPOSED TREE REFER PLANT SCHEDULE
- PROPOSED SHRUB REFER PLANT SCHEDULE
- PROPOSED GRASSES / GROUNDCOVERS REFER PLANT SCHEDULE
- PROPOSED GRAVEL AREA (PERMEABLE) REFER SPECIFICATION
- PROPOSED PAVING AREA TYPE 1 (HARDSTAND)
- PROPOSED PERMEABLE PAVING AREA
- PROPOSED DRIVEWAY SURFACE TO ARCHITECT SPECIFICATION
- BUILDING HATCH



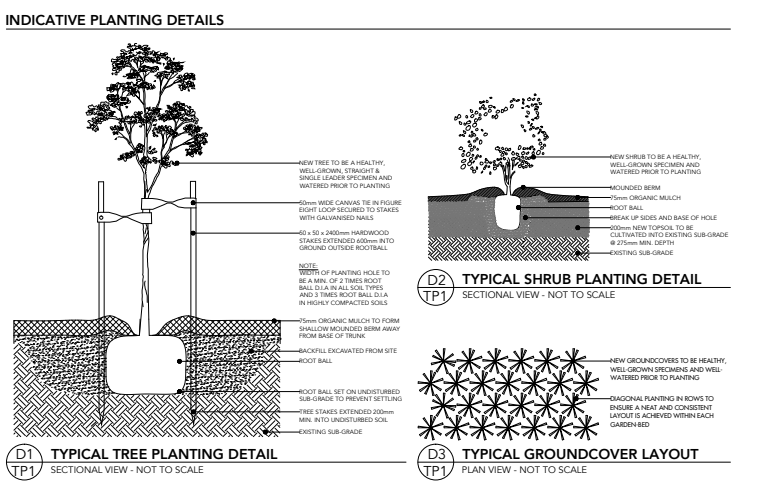
PLANT SCHEDULE

KEY	BOTANICAL NAME	COMMON NAME	DECIDUOUS (D) EVERGREEN (E)	HEIGHT x WIDTH (@ MATURITY)	SUPPLY SIZE (MINIMUM)	DENSITY	QTY
TREES							
BBD	<i>Brachychiton 'Bella Donna'</i>	Bella Donna	E	7.0 x 4.0m	2.0m Height	--	2
LIN	<i>Lagerstroemia indica 'Natchez'</i>	Natchez Crepe Myrtle	D	8.0 x 6.0m	2.0m Height	--	1
OeTU	<i>Olea europaea 'Tolley's upright'</i>	Tolley's upright Olive	E	6.0 x 3.0m	2.0m Height	--	3
Pc	<i>Pistacia chinensis</i>	Chinese Pistache	D	8.0 x 6.0m	2.0m Height	--	1
TIL	<i>Tristania laurina 'Luscious'</i>	Luscious Water Gum	E	7.0 x 3.5m	2.0m Height	--	3
SHRUBS							
Ca	<i>Correa alba</i>	White Correa	E	1.0 x 1.0m	140mm Pots	--	21
LnBB	<i>Laurus nobilis 'Baby Bay'</i>	Baby Bay	E	1.0 x 1.0m	200mm Pots	--	4
LJH	<i>Leucadendron 'Jack Harre'</i>	Jack Harre	E	1.5 x 1.0m	200mm Pots	--	3
Pliu	<i>Leucadendron 'Portuguese Laurel'</i>	Portuguese Laurel	E	3.0 x 2.0m	140mm Pots	--	4
RICW	<i>Rhaphiolepis indica 'Cosmic White'</i>	Cosmic White Indian Hawthorn	E	1.5 x 1.5m	140mm Pots	--	1
RISM	<i>Rhaphiolepis indica 'Snow Maiden'</i>	Snow Maiden Indian Hawthorn	E	0.8 x 0.5m	140mm Pots	--	111
RSP	<i>Rhaphiolepis indica 'Spring Pearl'</i>	Spring Pearl Indian Hawthorn	E	0.8 x 0.8m	140mm Pots	--	20
SaBC	<i>Syzygium australe 'Bush Christmas'</i>	Bush Christmas Lilly Pilly	E	1.5 x 1.5m	140mm Pots	--	12
VoA	<i>Viburnum odoratissimum 'Awabuki'</i>	Awabuki Viburnum	E	2.0 x 1.0m (clipped)	300mm Pots	--	3
WWG	<i>Westringia 'Wynabbie Gem'</i>	Wynabbie	E	1.5 x 1.5m	140mm Pots	--	4
GROUNDCOVERS							
Ac	<i>Anthropodium cirratum</i>	Renga Lily	E	0.7 x 0.7m	140mm Pots	3 p/m ²	15
DcB	<i>Dianella caerulea 'Breeze'</i>	Breeze Paroo Lily	E	0.6 x 0.7m	140mm Pots	3.5 p/m ²	66
Dt	<i>Dietes grandiflora</i>	Wild Iris	E	0.7 x 0.7m	140mm Pots	2 p/m ²	24
Lt	<i>Lomandra longifolia 'Tanika'</i>	Tanika Lomandra	E	0.6 x 0.6m	140mm Pots	3.5 p/m ²	14
LmJR	<i>Liriope muscarum 'Just Right'</i>	Just Right Turf Lily	E	0.5 x 0.5m	140mm Pots	3.5 p/m ²	30
Myp	<i>Mycoporum parvifolium</i>	Creeping Boobialla	E	0.2 x 0.7m	140mm Pots	2.5 p/m ²	19
Ss	<i>Senecio serpens</i>	Blue Chalksticks	E	0.2 x 0.8m	140mm Pots	2 p/m ²	11
TaFM	<i>Trachelospermum asiaticum 'Flat Mat'</i>	Flat Mat Jasmine	E	0.2 x spreading	140mm Pots	2 p/m ²	4

All plants must be signed off by the client/ landscape architect prior to delivery & installation to ensure adequate size and maturity.



No.	Botanical Name	Common Name	Height (m)	Width (m)	Origin	DBH (cm)	TPZ (m)	SRZ (m)
1	<i>Ficus carica</i>	Common Fig	4	4	Exotic	20	2.4	2
2	<i>Ficus carica</i>	Common Fig	4	4	Exotic	9	2	1.6
3	<i>Pinus conata</i>	Cherry Plum	4	3	Exotic	10	2	1.5
4	<i>X Cupressocypariss leylandii</i>	Leyland Cypress	7	5	Exotic	38	4.6	2.4
5	<i>Morus nigra</i>	Black Mulberry	4	5	Exotic	10	2	1.6
6	<i>X Cupressocypariss leylandii</i>	Leyland Cypress	14	10	Exotic	68	8.1	2.8
7	<i>X Cupressocypariss leylandii</i>	Leyland Cypress	14	10	Exotic	50	6.6	2.7
8	<i>Malus domestica</i>	Apple	3	3	Exotic	14	2	1.6
9	<i>Pinus conata</i>	Cherry Plum	6	7	Exotic	20	N/A	2
10	<i>Alnus incana</i>	Snow in Summer	10	13	Native	100	7.2	2.8
11	<i>Acacia dealbata</i>	Codomin de Wattle	4	4	Exotic	10	2	1.7
12	<i>Ligustrum ovalifolium</i>	Oval-leaved privet	4	4	Exotic	7	2	1.5
13	<i>Pittosporum rugosifolium</i>	Tanika	6	5	Exotic	17	2	1.7
14	<i>Pittosporum rugosifolium</i>	Tanika	6	6	Exotic	17	2.1	1.8
15	<i>Pinus amabilis</i>	Pinot	5	4	Exotic	14	2	1.6
16	<i>Streptocarpus</i>	Giant bird of paradise	4	5	Exotic	20	3.4	2.7



SPECIFICATION NOTES

Site Preparation
Remove any on-site building material, rubbish and weeds from planting areas that will be restrictive to plant growth. Strip ground of trees marked as 'to be removed'. Imported topsoil to be a medium texture sandy loam.

Garden Beds
Existing subgrade to be dug to a depth of no less than 275mm below finished grade in garden beds to allow for 200mm topsoil and 75mm mulch. Original sub-base to be cultivated where possible. Gypsum to be spread if there is a clay sub surface. Use organic mulch on all garden bed areas.

Trees
Use three 50 x 50 x 2400 HW stakes per tree. Fasten trees to stakes with 50mm fabric tie in figure 8 loop. Existing street trees to be suitably protected. Maintain existing ground levels at the interface between the ground and the tree trunk. Area beneath the canopy should be fenced prior to the commencement of the construction activities. No excavation, filling, machinery or storage of materials shall occur within the fenced off area. Stakes requiring severance beyond the tree canopy shall be clean cut with hand saw and kept moist. All roots over 40mm dia. Any roots within the fenced area should not be cut without the approval from an experienced arborist.

Planting
Planting shall be carried out using accepted horticultural practices with all plants conforming to the species, size and quantities indicated on the Landscape Plan and Plant Schedule. Plants shall be thoroughly soaked through immersion in water prior to planting and if the planting soil is very dry then the planting hole is also to be filled with water and allowed to drain completely.

All plants shall be appropriately hardened off in the nursery. Use plants with the following characteristics: Large healthy root systems with no evidence of root cut or pot bound restriction or damage, vigorous, well established, free from disease and pests and of good form, consistent with the species or variety.

Planting holes for shrubs and groundcovers are to be of minimum size 75mm larger than the planting pot in all directions. Semi-advanced tree planting holes are to be the same depth as the rootball and 2.3 times its diameter, with the top of the rootball being at grade. A 75mm high berm is to be constructed at edge of rootball to hold water. All plants are to be thoroughly watered after planting and slow release fertilizer added at the quantities specified by the manufacturer.

Mulch
Mulch is to be applied to all garden beds and it is to be an organic type laid to a minimum depth of 75mm, consisting of fine dark coloured chipped or shredded pine bark or similar with 80% particles in the size range 10 to 20mm in plan and 5mm in thickness. No particles are to exceed 30mm in plan. Mulch shall be free of damaging matter such as soil, weeds and sticks and is to be stockpiled and thoroughly weathered prior to delivery. All mulch is to be applied towards plant stems but shall be kept back 100mm from the stems of all plants to prevent collar rot.

Permeable Gravel Surface
75mm depth of Dromana Toppings gravel surface is to be laid on a 50mm depth of consolidated crushed rock surface to be compacted using a vibrating plate.

Timber Edges
Provide 75 x 22mm treated pine edging to all borders between gravel paths and garden beds (and lawn), using 75x25x300mm long treated pine stakes at 1000mm intervals. An additional stake is to be provided at joints in the edging.

Fertiliser
Use 4.9 month osmocote suitable for Australian plants and applied at following rates:
Advanced trees: 200g per tree, 200 dia pots: 20g per pot, 150 dia pots: 15g per pot.

Irrigation
Drip irrigation to be supplied. For all shrub/tree areas include a battery operated timer, water filter, pressure regulator backflow preventer, vacuum breakers and master valve.

Maintenance Schedule
To follow for a two year period after final completion. Work to be carried out by the owner or body corporate. Plants to be regularly checked for pests and diseases and appropriate treatments applied. Where necessary:
i. prune every 3 months to ensure good shape and remove dead limbs
ii. additional applications of osmocote as per manufacturers recommendations
iii. regular watering during summer months and dry periods
iv. replace dead plants with equally sized plants within maintenance period
v. control weeds throughout maintenance via hand and chemical means
vi. replenish mulch
vii. remove tree stakes after establishment to ensure successful ongoing health & shape of trees

ETCHED PROJECTS PTY. LTD.
LANDSCAPE ARCHITECTURE
STUDIO 7, 6 BROOKHAM PLACE, RICHMOND VIC 3121
INFO@ETCHEDPROJECTS.COM
ETCHEDPROJECTS.COM

REVISION	DATE	DRAWN
-- TOWN PLANNING ISSUE	10.08.2022	BM

Etched

13 MCMAHONS ROAD, FRANKSTON — PROPOSED RESIDENTIAL DEVELOPMENT

Project
LANDSCAPE PLAN
Drawing

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Job N°
Scale
HH
Drawn

1:100
A1
Sheet

NOT FOR CONSTRUCTION

L-TP1
Drawing N°
Revision



DISCLAIMER:
TITLE BOUNDARIES HAVE BEEN SURVEYED FOR THE SUBJECT SITE AND IMMEDIATE COMMON BOUNDARIES WITH ADJOINING PROPERTIES ONLY.
THE VICMAP PROPERTY MAPBASE HAS BEEN USED TO SHOW APPROXIMATE SITE OUTLINE FOR ALL OTHER PROPERTIES.
INTRAX ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OF THIS MAPBASE.
UNABLE TO OPEN PITS DUE TO SAFETY CONCERNS OF MAJOR ROAD.

DISCLAIMER:
SOLAR PANELS HAVE BEEN SHOWN APPROXIMATELY AS PER AERIAL IMAGERY AND HAVE NOT BEEN MEASURED ON SITE.

SPOT HEIGHT	SEWER MANHOLE	GRATED PIT	WATER TAP	SEWER VENT
FIXED WINDOW	ELECTRICITY PIT	SIDE ENTRY PIT	WATER METER	SEWER INSPECTION SHAFT
NON-FIXABLE WINDOW	ELECTRICITY CABINET	JUNCTION PIT	POWER POLE	SIGN
DOOR	TRENCH	LAMP POST PIT	P.S.M.	GAS VALVE
	WATER VALVE	TELEPHONE PIT	FIRE HYDRANT	FIRE HYDRANT
	LIGHT POLE	GAS METER	FIRE PLUG	OVERGROWN TREE HEIGHT BY SPREAD SH



01	NO. 10 SURVEY VACANT LAND	11/01/24	
02	SOLAR PANELS ACCESS APPROVED LOCATION	08/08/23	SL
03	ORIGINAL SURVEY	08/08/21	SL
VER	DESCRIPTION	DATE	APP

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SURVEYOR:	T.J.L.
CHECKED BY:	J.L.
DATE OF SURVEY:	08/08/21
INTRAX REF:	170284
CUSTOMER REF:	10000110.1
SHEET 1 OF 1 SHEETS	VERSION: 01

PLAN OF RE-ESTABLISHMENT

LOCATION OF LAND

PROPERTY ADDRESS: 13 MCMAHONS ROAD
FRANKSTON VIC 3199

TITLE DESCRIPTION: VOLUME 9282 FOLIO 980

LAST PLAN REFERENCE: LOT 1 ON TP165757D

COUNTY: MORNINGTON

PARISH: FRANKSTON

TOWNSHIP: ---

CROWN DESCRIPTION: PART CROWN ALLOTMENT 15A SEC C

MUNICIPALITY: FRANKSTON CITY COUNCIL

NOTATIONS:

- OCCUPATION SHOWN ON THIS PLAN HAS BEEN EXAGGERATED FOR CLARITY AND IS NOT TO SCALE.

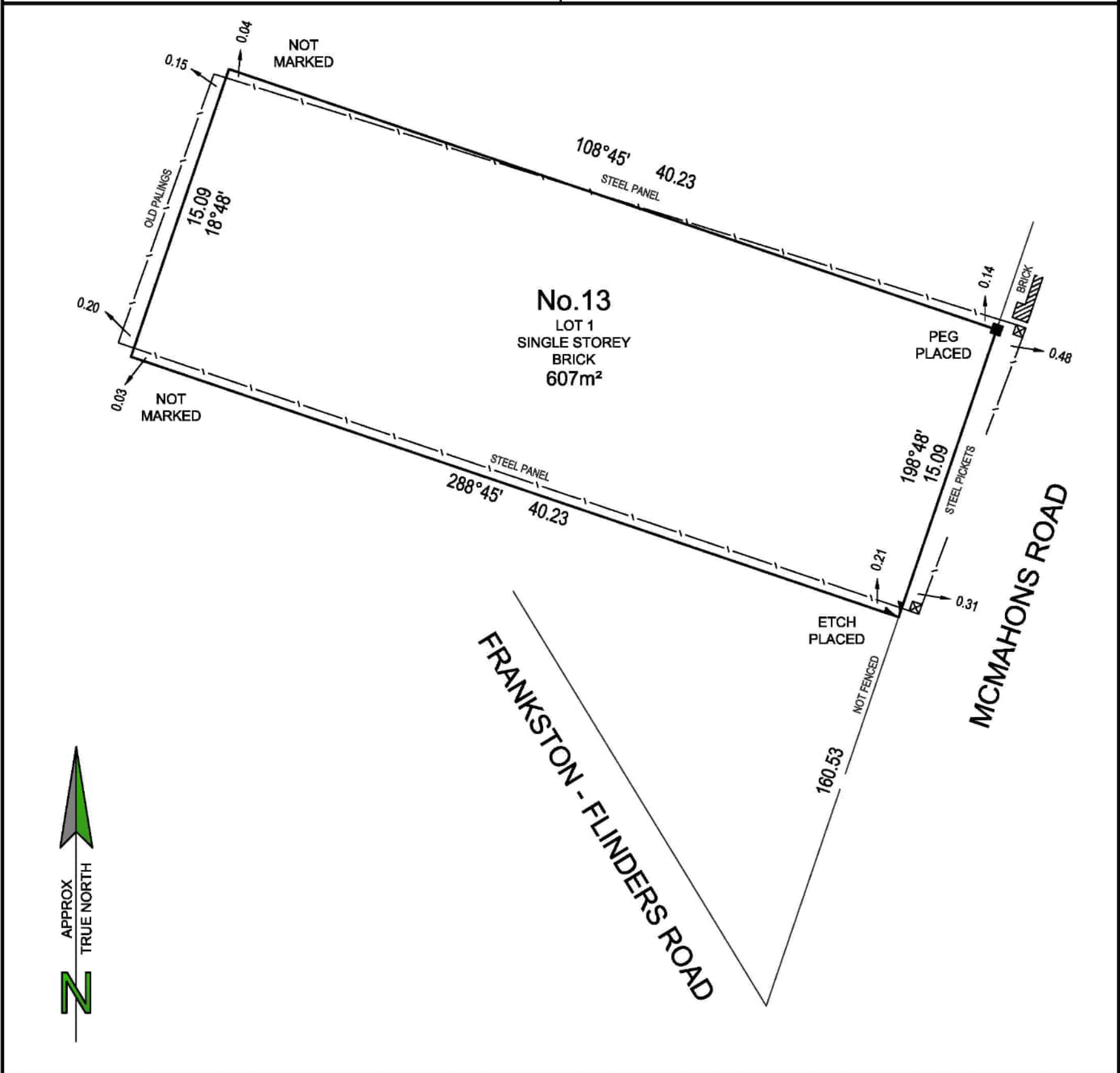
Statutory Planning

Advertised Material

Planning Application: 39/2024/P

Date: 13 May 2024 Page 20 of 20

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CERTIFICATION BY SURVEYOR

I, **RODNEY OLSEN** of Level 4, 469 La Trobe Street Melbourne, certify that this plan has been prepared from a survey made under my direction and supervision in accordance with the **Surveying Act 2004** and completed on 09/07/2021 that this plan is accurate and correctly represents the adopted boundaries and the survey accuracy accords with that required by regulation 7(1) of the Surveying (Cadastral Surveys) Regulations 2015.

[Signature] Rodney Olsen
2021.07.14 11:55:52+10'00'
Licensed Surveyor (Surveying Act 2004) Date

SHEET 1 OF 1 SHEETS AT A3

SCALE
2 0 2 4 6 8
LENGTHS ARE IN METRES

ORIGINAL SCALE
1:200

FIELD: R.H. DRAWN: R.O. CHECKED: R.O.

REFERENCE: 170364 VERSION 01

Executive Summary**11.2 Planning Application 492/2017/P/D - 424-426 Nepean Highway, Frankston - Amend the planning permit to allow for the use and development of a fourteen storey building in a Commercial 1 Zone and Design and Development Overlay, Schedule 14 for retail and dwellings and the deletion of the serviced apartments**

Enquiries: (Sam Clements: Communities)

Council Plan

Level 1:	4. Well Planned and Liveable City
Level 2:	4.1 Integrate land use planning and revitalise and protect the identity and character of the City

Purpose

This report considers the merits of an application to Amend (492/2017/P/D) Planning Application 492/2017/P to allow for the use and development of a fourteen storey building in a Commercial 1 Zone and Design and Development Overlay, Schedule 14 for retail and dwellings and the deletion of the serviced apartments at 424-426 Nepean Highway, Frankston.

Recommendation (Director Communities)

That Council resolves, that should a review not have been lodged under Section 79 of the Planning and Environment Act 1987 at the Victorian Civil and Administrative Tribunal in proceeding P212/2024, it would have issued a Notice of Decision to Grant a Planning Permit to Planning Application 492/2017/P/D to allow for the use and development of a fourteen storey building in a Commercial 1 Zone and Design and Development Overlay, Schedule 14 for retail and dwellings and the deletion of the serviced apartments on the basis of the plans dated 4 June 2024 (amended plans), subject to the conditions contained in the officers' assessment.

Key Points / Issues

- Planning Permit No. 492/2017/P was issued on 18 September 2018 at the direction of VCAT to use and develop the land for a multi-storey building for retail, dwellings and serviced apartments.
- In April 2022, an application to amend the planning permit 492/2017/P/D was lodged seeking to increase the height of the development amongst other things.
- The application to amend the planning permit was advertised and 32 objections and 9 submissions in support were received. Key grounds of objections included excessive building height, overshadowing, overlooking, traffic and impact upon neighbourhood character and the environment.
- The applicant requested an extension of the expiry date of the planning permit 492/2017/P/F, however Council resolved to refuse the request on 11 December 2023 as there had been several significant changes to planning policy since the issue of the planning permit which would mitigate against the granting of a fresh permit.
- Since Council determined to refuse the extension of time request, the applicant lodged an appeal at the VCAT under section 81(1)(a) of the Act to review Council's refusal to grant an extension of time to the planning permit under VCAT reference P1615/2023 (Extension Proceeding).

11.2 Planning Application 492/2017/P/D - 424-426 Nepean Highway, Frankston - Amend the planning permit to allow for the use and development of a fourteen storey building in a Commercial 1 Zone and Design and Development Overlay, Schedule 14 for retail and dwellings and the deletion of the serviced apartments**Executive Summary**

- On 27 February 2024, Council received notice that an application for review under s 79 of the Act had been filed in relation to Council's failure to determine the application to amend the planning permit under VCAT reference P212/2024 (Amendment Proceeding). The permit holder subsequently applied to have both the VCAT proceedings heard together. The VCAT refused to hear the matters together, so the applicant lodged an appeal to the Supreme Court. The applicant later lodged a Notice of Discontinuance (with the consent of Council) at the Supreme Court. The Supreme Court has not yet issued orders in response to the Notice of Discontinuance. Accordingly, the matter is still within the jurisdiction of the Supreme Court.
- In the meantime, the applicant lodged amended plans with VCAT and the parties in relation to the Amendment Proceeding seeking to make changes to the proposal.
- On 13 June 2024, the VCAT issued Orders in the Extension Proceeding and the Amendment Proceeding listing a Practice Day Hearing on 5 July 2024 to consider the future conduct of both proceedings.
- On 5 July 2024, the VCAT made orders at the Practice Day Hearing listing the two proceedings for a further Practice Day Hearing on 26 July 2024 to determine the future conduct of both proceedings.
- Noting that the Amendment Proceeding is currently listed for hearing at the VCAT commencing on 12 August 2024, Council must advise the VCAT whether it supports the application to amend the permit, or alternatively reasons why it does not support the application.
- Officers consider that the amended plans are generally consistent with the objectives of the Planning Policy Framework and respond in an appropriate manner to the urban context of the subject land subject to conditions on any planning permit issued. Accordingly, it is recommended that Council resolves should a review not have been lodged under Section 79 of the *Planning and Environment Act 1987* at the Victorian Civil and Administrative Tribunal, it would have issued a Notice of Decision to Grant a Planning Permit to Planning Application 492/2017/P/D on the basis of the plans dated 4 June 2024 (amended plans), subject to the conditions contained in the officers' assessment.

For further information, please refer to the officer's assessment contained within this report.

Financial Impact

The application to amend the permit fee paid to Council was \$3,464.4. The average cost to Council to process a planning permit application is \$2,264.

Consultation**1. External Referrals**

The application was referred externally to Melbourne Water and the Department of Transport and Planning.

11.2 Planning Application 492/2017/P/D - 424-426 Nepean Highway, Frankston - Amend the planning permit to allow for the use and development of a fourteen storey building in a Commercial 1 Zone and Design and Development Overlay, Schedule 14 for retail and dwellings and the deletion of the serviced apartments**Executive Summary****2. Internal Referrals**

The application was referred internally to the following departments:

- Strategic Planning
- Urban Design
- Engineering Services (Traffic and Drainage)
- Waste Services
- Landscape Architecture
- Environmentally Sustainable Design (ESD)

Notification of Proposal

Notification of the planning application was given pursuant to the requirements of Section 52 of the *Planning and Environment Act 1987*.

Notification was given in the form of:

- Mail to adjoining owners and occupiers; and
- Three signs erected on the site frontages (one facing Nepean Highway, one facing Beach Street and one facing Kananook Creek Boulevard)

As a result of the public notification, 32 objections and 9 submissions in support were received. The grounds of objection are summarised in the officer's assessment contained within this report.

Analysis (Environmental / Economic / Social Implications)

The FMAC Structure Plan (2015) seeks to “*Advance economic development and employment growth within the MAC by strengthening the role and function of each precinct.*” The proposal would generate investment in the city and create additional employment opportunities close to existing commercial services and public transport improving economic outcomes in this part of Frankston. In addition, the proposal would have the following economic benefits:

- The residential element will provide much needed city centre housing, with new residents enhancing the vitality and viability of the city centre and its hospitality and retail business.
- The proposed podium and ground floor uses are in line with the key objectives for development in the FMAC, to establish Frankston as a major retail, hospitality and business centre and to encourage lifestyle uses, such as cafés and restaurants.
- The proposed increase in resident population will generate additional spending in and around the City centre, making a positive contribution to the revitalisation of the city centre.
- The proximity of the site to public transport, recreational facilities, and commercial and community facilities also makes it an attractive and more affordable place to live.

11.2 Planning Application 492/2017/P/D - 424-426 Nepean Highway, Frankston - Amend the planning permit to allow for the use and development of a fourteen storey building in a Commercial 1 Zone and Design and Development Overlay, Schedule 14 for retail and dwellings and the deletion of the serviced apartments**Executive Summary**

- It would help the FMAC compete for investment with other Melbourne Metropolitan Activity Centres and activity centres that attract investment and development of this nature.
- Potential to create new jobs and value add to the economy.

The proposal would generate investment in the city and create additional employment opportunities close to existing commercial services and public transport, improving economic and social outcomes in this part of Frankston. Subject to the inclusion of conditions on any planning permit issued, it will not have a negative impact upon the surrounding area.

Legal / Policy / Council Plan ImpactCharter of Human Rights and Responsibilities

All matters relevant to the Charter of Human Rights and Responsibilities have been considered in the preparation of this report and are consistent with the standards set by the Charter.

Legal

Council has complied with Sections 52, 58, 60, 61 and 62 of the *Planning and Environment Act 1987* in processing the planning application.

Policy Impacts

Council officers have assessed the planning permit application in accordance with the applicable Planning Policy provisions, zones, overlays, particular and general provisions of the Frankston Planning Scheme.

Planning Policy Framework

- Clauses 11.01-1R, 11.03-1S, 12, 15, 15.01-1R, 15.01-2S, 15.03-2S, 16, 16.01-2S, 16.01-3S, 17.02-1S, 18, 18.02-1S, 18.02-4S, 19.03-3S and 19.03-4S.

Zone and Overlays

- Clause 34.01 – Commercial 1 Zone
- Clause 43.02 – Design and Development Overlay, Schedule 14
- Clause 45.09 – Parking Overlay, Schedule 1

Particular Provisions

- Clause 52.06 – Car parking
- Clause 52.34 – Bicycle Facilities
- Clause 53.18 – Stormwater Management in Urban Development
- Clause 58 – Apartments
- Clause 65 – Decision Guidelines
- Clause 71.02 – Integrated Decision Making

11.2 Planning Application 492/2017/P/D - 424-426 Nepean Highway, Frankston - Amend the planning permit to allow for the use and development of a fourteen storey building in a Commercial 1 Zone and Design and Development Overlay, Schedule 14 for retail and dwellings and the deletion of the serviced apartments**Executive Summary**

Frankston Metropolitan Activity Centre Structure Plan (2015) reference document at Clause 11.03-1L-02.

Frankston Metropolitan Activity Centre Structure Plan (2023)

Gender Impact Assessments

No gender impact assessment was required. As above, Council is required under the *Planning and Environment Act 1987* to assess the proposal against the Frankston Planning Scheme.

Officer's Declaration of Interests

In accordance with *Local Government Act 2020* and Council's Governance Rules, officers providing advice or a report to Council must disclose any direct or indirect interest they have in a matter.

Council officers involved in the preparation of this report have no Conflict of Interest in this matter.

Risk Mitigation

There are no particular risks associated with this matter.

Conclusion

The amended plans circulated to the VCAT and the parties include modifications that reduce the impact of the building and more in line with the strategic objectives of the Frankston Metropolitan Activity Centre Structure Plan (2015) and Frankston Metropolitan Activity Centre Structure Plan (2023). Subject to modification as reflected in the recommended conditions, the proposed development is appropriate for the land and will make a positive contribution to the ongoing revitalisation of the Frankston Metropolitan Activity Centre.

ATTACHMENTS

- Attachment A: [↓](#) Locality Map
- Attachment B: [↓](#) Locality Map (aerial)
- Attachment C: [↓](#) Endorsed Architectural Plans
- Attachment D: [↓](#) Amended Architectural Plans

11.2 Planning Application 492/2017/P/D - 424-426 Nepean Highway, Frankston - Amend the planning permit to allow for the use and development of a fourteen storey building in a Commercial 1 Zone and Design and Development Overlay, Schedule 14 for retail and dwellings and the deletion of the serviced apartments

Officers' Assessment

Summary

Reason for Reporting to Council	Major Development with the FMAC area
APPLICATION	
Address	424-426 Nepean Highway, Frankston
Proposal	Amend the planning permit to allow for the use and development of a fourteen storey building in a Commercial 1 Zone and Design and Development Overlay, Schedule 14 for retail and dwellings and the deletion of the serviced apartments
PLANNING REQUIREMENTS	
Zoning	Commercial 1 Zone (C1Z)
Overlays	Design and Development Overlay, Schedule 14 Parking Overlay, Schedule 1 (PO1)
Particular Provisions	Clause 52.06 – Car parking Clause 52.34 – Bicycle Facilities Clause 53.18 – Stormwater Management in Urban Development Clause 58 – Apartments Clause 65 – Decision Guidelines Clause 71.02 – Integrated Decision Making
Permit Trigger(s)	<ul style="list-style-type: none"> • Clause 34.01-1 – Commercial 1 Zone for the use of the land as a dwelling ('Accommodation'). • Clause 34.01-4 – Commercial 1 Zone for the construction and carrying out of buildings and works. • Clause 43.02 – Design and Development Overlay - Schedule 14 of the Frankston Planning Scheme to construct or carry out buildings and works;
PROCESS	
Notification of Proposal	<p>Notification of the planning application was given pursuant to the requirements of Section 52 of the <i>Planning and Environment Act 1987</i>.</p> <p>Notification was given in the form of:</p> <ul style="list-style-type: none"> • Mail to adjoining owners and occupiers; and • Three signs erected on the site frontages (one facing Nepean Highway, one facing Beach Street and one facing Kananook Creek Boulevard).
Objection(s)/	As a result of the public notification, 32 objections and 9

11.2 Planning Application 492/2017/P/D - 424-426 Nepean Highway, Frankston - Amend the planning permit to allow for the use and development of a fourteen storey building in a Commercial 1 Zone and Design and Development Overlay, Schedule 14 for retail and dwellings and the deletion of the serviced apartments

Officers' Assessment

Submission(s)	submissions in support were received.		
S. 52 Referrals	Melbourne Water	S.55 Referrals	Department of Transport and Planning
Internal Referrals	Strategic Planning Urban Design Engineering Services (Traffic and Drainage) Waste Services Landscape Architecture Environmentally Sustainable Design (ESD)		
LEGISLATIVE			
Title Restrictions	Nil		
Application Fees	\$3,464.4		

Background

Planning Permit No. 492/2017/P was issued on 18 September 2018 at the direction of VCAT to use and develop the land for a multi-storey building for retail, dwellings and serviced apartments.

The permit expiry was extended by Council at the request of the applicant on 6 August 2021. In April 2022, an application to amend the permit was lodged seeking to increase the height of the development amongst other things. In September 2023, the permit expired.

The applicant requested an extension of the expiry date of the planning permit 492/2017/P/F, however Council resolved to refuse the request on 11 December 2023 as there had been several significant changes to planning policy since the issue of the planning permit which would mitigate against the granting of a fresh permit.

Since Council determined to refuse the extension of time request, the applicant lodged an appeal at the VCAT under section 81(1)(a) of the Act to review Council's refusal to grant an extension of time to the planning permit under VCAT reference P1615/2023 (Extension Proceeding).

On 27 February 2024, Council received notice that an application for review under s79 of the Act had been filed in relation to Council's failure to determine the application to amend the planning permit under VCAT reference P212/2024 (Amendment Proceeding). The permit holder subsequently applied to have both the VCAT proceedings heard together. The VCAT refused to hear the matters together, so the applicant lodged an appeal to the Supreme Court. The applicant later lodged a Notice of Discontinuance (with the consent of Council) at the Supreme Court. The Supreme Court has not yet issued orders in response to the Notice of Discontinuance. Accordingly, the matter is still within the jurisdiction of the Supreme Court.

In the meantime, the applicant lodged amended plans with VCAT and the parties in relation to the Amendment Proceeding seeking to make changes to the proposal.

11.2 Planning Application 492/2017/P/D - 424-426 Nepean Highway, Frankston - Amend the planning permit to allow for the use and development of a fourteen storey building in a Commercial 1 Zone and Design and Development Overlay, Schedule 14 for retail and dwellings and the deletion of the serviced apartments**Officers' Assessment**

On 13 June 2024, the VCAT issued Orders in the Extension Proceeding and the Amendment Proceeding listing a Practice Day Hearing on 5 July 2024 to consider the future conduct of both proceedings.

On 5 July 2024, the VCAT made orders at the Practice Day Hearing listing the two proceedings for a further Practice Day Hearing on 26 July 2024 to determine the future conduct of both proceedings.

Noting that the Amendment Proceeding is currently listed for hearing at the VCAT commencing on 12 August 2024, Council must advise the VCAT whether it supports the application to amend the permit, or alternatively reasons why it does not support the application.

Subject Site

The subject site is located on a corner and is bounded by Nepean Highway, Beach Street and Kananook Creek Boulevard, approximately 263 metres north of Wells Street, in Frankston.

The site is generally rectangular in shape with a frontage to Nepean Highway of 42.2 metres, a frontage to Kananook Creek Boulevard of 42.4 metres and a frontage to Beach Street of 66.7 metres. The site has an area of 2668 square metres and is generally flat in nature with a slope falling from east to west (Nepean Highway to Kananook Creek Boulevard).

Locality

Clause 11.03-1L-02 identifies the Frankston Activity Centre as a Metropolitan Activity Centre. The site is located on the western side of the Nepean Highway within the Frankston Metropolitan Activity Centre area. The site is within a mixed-use area comprising offices, commercial and residential uses.

To the north of the site is Beach Street. A service station and other commercial properties are located adjacent to the site on the opposite side of Beach Street.

To the immediate east is the Nepean Highway. Nepean Highway has a road reserve of 40 metres in width with three lanes in each direction, a central median containing mature trees and parallel on-street parking to both sides of the carriageway.

Further to the east is the core retail area of the Frankston Activity Centre characterized by predominantly two to three storey built form.

To the south of the site are commercial buildings which are two storeys in height.

To the west of the site is Kananook Creek. On the western side of Kananook Creek are residential properties that make up Long Island. Kananook Creek runs parallel to the foreshore creating a natural division between the Frankston business centre and the long strip of land known as Long Island. Long Island is generally occupied by residential development of 1-2 storey in height. The dwellings generally front Gould Street with private open space areas fronting Kananook Creek or the foreshore.

The built form of the surrounding area is mixed, ranging from single to multi storey developments. The Quest Apartment and Hotel building, located on the eastern side of the Nepean Highway at 437 Nepean Highway, is 10 storeys high with an overall height of 46.4 metres. Further to the south are the 5 storey Landmark building (height of approximately 20 metres) and the 8 storey South-East Water building constructed at 7R Playne Street with a maximum height of 36.5 metres.

11.2 Planning Application 492/2017/P/D - 424-426 Nepean Highway, Frankston - Amend the planning permit to allow for the use and development of a fourteen storey building in a Commercial 1 Zone and Design and Development Overlay, Schedule 14 for retail and dwellings and the deletion of the serviced apartments**Officers' Assessment**

While not constructed, a planning permit was issued by VCAT in April 2024 for a 14 storey building at 446-450 Nepean Highway, which is located further to the south of the site towards Wells Street. The building (also known as the Harbour development) has a height of 42.48 metres to the parapet of Level 13 and 49.05 metres to the top of Level 14 which is substantially set back and contains recreation spaces and the lift overrun.

An Application for Review is currently under consideration by VCAT for the construction of a 14 storey building at 438-444 Nepean Highway, which is located next door to the Harbour development. VCAT has not determined the application, but the development proposes a maximum building height of approximately 47.9m to the western, Kananook Creek interface and 44.5m to the eastern, Nepean Highway interface.

Site History

Relevant planning permit applications for the site include:

- Planning Permit No. 492/2017/P was issued on 18 September 2018 at the direction of VCAT to use and develop the land for a multi-storey building for retail, dwellings and serviced apartments.
- There are no other relevant planning permit applications for this site.

ProposalOriginal Proposal

The proposal as advertised to the affected properties related to an application to amend the planning permit including the following key features:

- An amendment to the permit preamble to delete reference to the provision of serviced apartments.
- An increase in height from 33.8m to an overall building height of 47.1m to the roof and 48.7m to the rooftop services.
- The deletion of the services apartments and an increase in the number of dwellings from 63 to 105 dwellings and consolidation of retail uses.
- The provision of 190 car spaces and 62 bicycle spaces.

Amended Plans

The applicant has since lodged an appeal in relation to Council's failure to determine the application to amend the planning permit within the prescribed time. As part of the VCAT proceedings, the applicant has sought to amend the plans. The amended plans can be summarised as:

- Reduction in overall building height to 45.41 metres or 14 storeys, excluding rooftop services. The building has an overall height of approximately 47.1m to the top of the rooftop services.
- Reduction in podium height to Kananook Creek Boulevard.
- Increased setback to western edge of tower form from 4.0m to 13.0m to meet setbacks detailed in Design Development Overlay, Schedule 14.
- Minimum setback along northern boundary of 5.0m to align with preferred minimum setbacks outlined in Design Development Overlay, Schedule 14.

11.2 Planning Application 492/2017/P/D - 424-426 Nepean Highway, Frankston - Amend the planning permit to allow for the use and development of a fourteen storey building in a Commercial 1 Zone and Design and Development Overlay, Schedule 14 for retail and dwellings and the deletion of the serviced apartments**Officers' Assessment**

- Amendments to eastern portion of level 12 to reduce overshadowing impact to Nepean Highway.
- Amendments to floor levels to comply with Melbourne Water's requirements.
- Waste room reduced in scale as a result of the reduction in apartment numbers.

Planning Policy Framework

Planning Policy Framework relevant to this application are summarised as follows:

- Clause 11 – Settlement
- Clause 15 – Built Environment and Heritage
- Clause 16 – Housing
- Clause 17 – Economic Development
- Clause 18 – Transport

Planning Scheme Controls

A Planning Permit is required pursuant to:

- Clause 34.01-1 – Commercial 1 Zone for the use of the land as a dwelling ('Accommodation').
- Clause 34.01-4 – Commercial 1 Zone for the construction and carrying out of buildings and works.
- Clause 43.02 – Design and Development Overlay - Schedule 14 of the Frankston Planning Scheme to construct or carry out buildings and works.

Particular Provisions

- Clause 52.06 – Car Parking
- Clause 52.29 – Land Adjacent to the Principal Road Network
- Clause 52.34 – Bicycle Facilities
- Clause 53.18 – Stormwater Management in Urban Development
- Clause 58 – Apartment Developments
- Clause 65 – Decision Guidelines
- Clause 71.02 – Integrated Decision Making

Reference Documents

- Frankston Metropolitan Activity Centre Structure Plan (2015)
- Frankston Housing Strategy 2013

Other Policy Considerations

Council is currently in the process of undertaking an update to the FMAC Structure Plan (2015) and has prepared the FMAC Structure Plan (2023) which was adopted by Council on 24 October 2022. The FMAC Structure Plan (2023) will guide planning permit applications within the FMAC while the update to the Structure Plan is being finalised to ensure that the vision for the FMAC is not undermined.

11.2 Planning Application 492/2017/P/D - 424-426 Nepean Highway, Frankston - Amend the planning permit to allow for the use and development of a fourteen storey building in a Commercial 1 Zone and Design and Development Overlay, Schedule 14 for retail and dwellings and the deletion of the serviced apartments**Officers' Assessment**

Amendment C160fran which is well advanced proposes to implement the land use and development directions and recommendations of the FMAC Structure Plan (2023) by rezoning the land within the Structure Plan area to Activity Centre Zone amongst other things. Amendment C160fran was publicly exhibited between 16 November 2023 and 18 December 2023. On 18 March 2024, Council considered submissions to Amendment C160fran and resolved to refer submissions to a Planning Panel for consideration. The Planning Panel Hearing was held between 1 – 17 July 2024.

Notification of ProposalOriginal Proposal

In relation to the proposal as advertised to the affected properties, the following grounds of objection were raised (summarised):

- The heights and setbacks of the proposal are not respectful of the sensitive interface to Kananook Creek Boulevard and the coast.
- The building will dominate the skyline and views to residential properties, Oliver's Hill, the creek and the bay.
- The building does not have appropriate side setbacks and will have a negative visual impact.
- The extent of overshadowing will have a negative impact upon the natural environment, adjoining properties and the proposed apartments.
- The development is not in keeping with the character of Frankston's coastal foreshore and nearby trails and parklands.
- The proposal will create overlooking and impact upon privacy.
- The development will increase wind speed having an adverse amenity impact.
- The applicant's Wind Assessment Report included in the application recommends a wind tunnel test which has not been undertaken.
- The proposed development will impact upon the ecology of the creek.
- The building is located in an unstable geotechnical environment.
- The extent of landscaping and land for deep soil planting is limited.
- The building does not address the potential of rising water levels and climate change.
- The building will not achieve an appropriate level of energy efficiency.
- The proposal will increase traffic and will impact upon car parking availability in the area which is already in under supply.
- The proposal will increase vehicle movements to Kananook Creek Boulevard which is inappropriate as it is intended for pedestrian use.
- The intention to use Beach Street as an unloading area for larger vehicles such as waste collection is undesirable.
- The development would create a negative impact if residents in the surrounding area were required to evacuate during an emergency.

11.2 Planning Application 492/2017/P/D - 424-426 Nepean Highway, Frankston - Amend the planning permit to allow for the use and development of a fourteen storey building in a Commercial 1 Zone and Design and Development Overlay, Schedule 14 for retail and dwellings and the deletion of the serviced apartments**Officers' Assessment**

- A fire in a building of this height will rapidly escalate and become a full-scale disaster.

Submitters in support of the application provided the following feedback:

- The building has the potential to become one of the transformative landmarks, contributing significantly to the city's growth.
- The appearance and shape of the building is visually appealing.
- High density development is appropriate in Frankston.

Amended Plans

It is noted that as part of the VCAT process, the applicant circulated amended plans to the parties. As a result, seven Statement of Grounds were submitted to VCAT objecting to the amended plans. The concerns raised are consistent with the grounds raised as part of the original objections.

External referrals**Melbourne Water**

Melbourne Water has identified that the site is located within a Flood Area of Interest. Accordingly, the application was referred to Melbourne Water pursuant to Section 52 of the *Planning and Environment Act 1987*. Melbourne Water raised no objection to the proposal subject to the inclusion of conditions on any planning permit issued.

Department of Transport and Planning

The application was referred to the Department of Transport and Planning (DTP) in accordance with Section 55 of the *Planning and Environment Act 1987*. The Department raised no objections to the proposal.

Internal referrals

The planning application was referred internally to Council's Strategic Planner, Urban Designer, ESD Officer, Landscape Architect, Traffic Engineer, Drainage Engineer and Waste Services Officer. A summary of the relevant referral comments is provided below.

Strategic Planner

Council's Strategic Planner has reviewed the proposal and provided the following comments (summarised):

- The proposal must meet the preferred overshadowing controls for no overshadowing of the eastern edge of Kananook Creek between 10am and 2pm on the 22 June, and no overshadowing of within 7.0m of the eastern property boundary of Nepean Highway between 10am and 2pm on 22 September. If the overshadowing controls are met, then the proposed increase in height from DDO14 can be supported.
- Amend upper-level setbacks above the street wall to Nepean Highway to meet the preferred setback of 5.0m.
- Balconies are not to intrude into the 3.0m setback to Kananook Creek Boulevard. DDO14 states "Projections such as balconies, building services and architectural features should not intrude into front, side and rear setbacks." In addition, stairs

11.2 Planning Application 492/2017/P/D - 424-426 Nepean Highway, Frankston - Amend the planning permit to allow for the use and development of a fourteen storey building in a Commercial 1 Zone and Design and Development Overlay, Schedule 14 for retail and dwellings and the deletion of the serviced apartments**Officers' Assessment**

should not be included in this setback, as proposed at the corner of Beach Street and Kananook Creek Boulevard, to access outdoor dining / food and drink premises. Amendments to this area should provide for a smoother and more accessible transition on the footpath around the corner, to help with the level differences.

- Further information is required on the floor to floor levels of the proposed levels of the podium. Rather than the preferred 3 storey podium required by DDO14, four levels are proposed in the podium to facilitate an extra level of car parking (noting that the façade has been designed to read as 3 storeys to the street, with the fourth level setback internally as a 'mezzanine'). This creates a floor to floor height of 3m at the ground floor (with some parts double height at 6m) rather than the 4m preferred in DDO14, and the two upper levels of the podium also at 3m rather than 3.2m preferred in DDO14. These floor to floor heights are to support a high level of internal amenity and also allow for adaptation over time. Further justification should be provided.

Planning Officer's Response

In relation to overshadowing to Kananook Creek, it is considered that the overshadowing is minor with a non-compliance of 6 minutes which is removed at 10:06am on the 22 June. Conditions on any permit issued will require that overshadowing plans are provided demonstrating that there is no shadow cast after 10:06am as currently the plans only include a notation stating that the shadow is removed at 10:06am.

The overshadowing cast on 22 September occurs for a portion of the eastern property boundary of Nepean Highway at 2pm and is a small encroachment.

Conditions on any planning permit issued can require that any level change transition must occur within the building and not within the 3m setback to Kananook Creek Boulevard.

The other matters raised by Strategic Planning are urban design concerns which have not been raised by Council's Urban Design Unit. It is noted that amendments to the plans which have been circulated to VCAT and the parties include significant setback changes to Kananook Creek Boulevard. These are positive amendments in that the relationship between tower and podium is more visually 'balanced' and in proportion, the building overall is less bulky and the west interface is less imposing. The tower design has undergone considerable changes and is now a more considered and appropriate response, particularly along the sensitive west interface where it presents with a more tangible coastal feel. Please also refer to 'Building Setbacks' and 'Design, Material and Finishes' for further details regarding the variations proposed.

Urban Designer

Council's Urban Designer has reviewed the proposal and provided the following comments (summarised):

- The need to meet the preferred overshadowing controls for no overshadowing of the eastern edge of Kananook Creek between 10am and 2pm on the 22 June. The proposal should consider additional setbacks and reduction in height as required to meet the solar access requirements of the FMAC Structure Plan 2023 and DDO14 which specify no overshadowing after 10am at this time.

11.2 Planning Application 492/2017/P/D - 424-426 Nepean Highway, Frankston - Amend the planning permit to allow for the use and development of a fourteen storey building in a Commercial 1 Zone and Design and Development Overlay, Schedule 14 for retail and dwellings and the deletion of the serviced apartments**Officers' Assessment**

- There is a considerable difference in the architectural expression of the east and west interfaces in response to their respective urban/coastal outlooks. The tower elevations essentially read as separate buildings. As a key bookend site, this building should be readily recognisable as the same building whether it is viewed from the Nepean Highway or the beach. The interfaces do not have to be identical but greater consistency to reinforce its identity should be considered. The podium levels achieve this to some degree, but the upper levels do not. A more unified, consistent design expression across the building must be explored by incorporating key design elements of the west elevation along the north, east and south elevations.
- Curve the corners of the north-east podium level as presented to Beach Street / Nepean Highway for greater design consistency.
- The material/colour changes of the podium are considered to more appropriately respond to the coastal context. The applicant must consider providing for a fine grain application of coastal-inspired materials e.g. stone or weathered timber, to vary the precast concrete at ground level for more visual interest.
- The planters have been deleted from the Mezzanine and Level 01 west facing balconies. Please provide planters in this location to soften the hard balustrade in a way that does not detract from the undulation of the balustrade.
- The proposal has introduced a series of steps to manage level changes along the west interface at ground level, presumably to address Melbourne Water requirements. It now appears that a platform lift needs to be provided (which is not readily identified on the plans) to achieve DDA access. Provision for a platform lift is not supported and alternative means should be explored to provide equitable access that contributes to a higher quality public realm outcome. A platform lift should be considered as a last resort. Accordingly, please delete the platform lift along the west interface in association with a reconfiguration of level changes within the building to improve integration with, and equitable access between the building and the public realm. It also does not appear that DDA access is provided from the basement 01 car park, which should be addressed.
- Any changes to accommodate Melbourne Water's requirements must be accommodated within the building and Council would not be supportive of steps, ramps (etc) within the 3 metre setback to Kananook Creek Boulevard.
- It is recommended that the north-west planter at ground level be chamfered to soften the corner. Please replicate the design of the balcony balustrading and awning above. Please also consider amending this corner interface so that hand railing is not required along the steps. The height of the planter and the others at ground level will need to be of a height so as not to pose trip hazards.
- Some areas of awning have not been included on the plans. Accordingly, the awning must be extended along the north and south interfaces. A lack of awning in the north-west corner may be appropriate given the change in topography. It may be difficult to achieve a good outcome and its unlikely to provide adequate weather protection.
- A Public Realm Plan must be provided as a condition on any planning permit issued.

Planning Officer's Response

11.2 Planning Application 492/2017/P/D - 424-426 Nepean Highway, Frankston - Amend the planning permit to allow for the use and development of a fourteen storey building in a Commercial 1 Zone and Design and Development Overlay, Schedule 14 for retail and dwellings and the deletion of the serviced apartments**Officers' Assessment**

All the above matters can be addressed as conditions on any planning permit issued except for the overshadowing concerns relating to the eastern edge of Kananook Creek between 10am and 2pm on the 22 June. It is acknowledged that the development will cast a shadow until 10:06am and fails to comply with DDO14 by 6 minutes. While it would be preferable for the creek to be free of overshadowing in accordance with DDO14, a variation of 6 minutes is considered to be minor.

ESD Officer

Council's ESD Officer has reviewed the proposal and advised that all ESD initiatives included in the BESS Report and the Sustainable Management Plan must be identified on the architectural plans including Lighting initiative, WESL star rating for water fixtures, IEQ initiatives and EV charging station.

Planning Officer's Response

The above matter can be addressed as conditions on any planning permit issued.

Landscape Architect

Council's Landscape Architect has reviewed the proposal and provided the following comments (summarised):

- No updated landscape plan has been supplied.
- The revised plans indicate a loss of planter beds to the Mezzanine and Level 01 west facing Kananook Creek. These must be incorporated in the wave balustrade.
- The planting palette must maintain a coastal theme incorporating indigenous species.
- A Tree Management Plan will be required as a condition of the permit should one be issued for the protection of the street trees.

Planning Officer's Response

The above-mentioned matters can be addressed as conditions on any planning permit issued.

Traffic Engineer

Council's Traffic Engineer has reviewed the proposal and provided the following comments (summarised):

- The total number of 190 on-site car parking spaces is appropriate to meet both the residential and commercial parking requirements, in accordance with the Planning Scheme.
- Clarification is required regarding the use/delineation of the two tandem residential parking spaces shown on the Level 02 Plan.
- Any security barrier or similar device controlling vehicular access to the premises must be located a minimum six metres inside the property to allow vehicles to prop clear of Beach Street.
- New or altered vehicle crossing(s) servicing the development must be constructed to the satisfaction of the Responsible Authority and the existing crossing opening must be removed and replaced with footpath/nature strip/ kerb and channel, to the

11.2 Planning Application 492/2017/P/D - 424-426 Nepean Highway, Frankston - Amend the planning permit to allow for the use and development of a fourteen storey building in a Commercial 1 Zone and Design and Development Overlay, Schedule 14 for retail and dwellings and the deletion of the serviced apartments**Officers' Assessment**

satisfaction of the Responsible Authority, in accordance with Frankston City Council Standard Drawing, SD310.

- Pedestrian visibility splays should be noted on the plans at the proposed new crossover.

Planning Officer's Response

The above-mentioned matters can be addressed as conditions on any planning permit issued.

Drainage Engineer

Council's Drainage Engineer has reviewed the proposal and provided the following comments (summarised):

- Stormwater from the property to be directed to the existing Council pit at the corner of Beach Road and Kananook Creek Boulevard.
- The basements are below the invert level of the discharge pit and an acceptable design solution must be submitted to avoid the risk of inundation.

Planning Officer's Response

The existing planning permit conditions can ensure that the above above-mentioned matters are addressed.

Waste Management

Council's Waste Management Officer has reviewed the proposal and provided the following comments (summarised):

- In Section 1 of the Waste Management Plan (WMP), it is noted that the waste generation rates are based off "Note: In general, this report complies with Council's Waste Management Guidelines, May 2017". Waste Generation rates must be based on Sustainability Victoria's Guide Waste Management and Recycling in Multi-unit Developments. Therefore, the waste generation rates estimated in table "1.2 Estimated Garbage and Recycling Generation" are incorrect and must be amended.
- In Section 1.4 'Location, Equipment, and System Used for Managing Waste', it is noted that 4 chutes system will be available only for general waste and mixed recycling disposal, not for Food Organics and Garden Organics (FOGO) or glass recycling. For optimal diversion, a chute for all waste streams should be provided in particular for organics. The WMP allows for a 20% organic diversion rate of the general waste, however if the system were to divert this type of waste then it may not reach the allocated diversion rate of 20%. Therefore, the full general waste generation rate should be allowed.
- The reference to the use of certified compostable liners needs to be removed, as this is dependent on the processor of the material. Not all FOGO processors accept certified compostable liners.
- In relation to Page 4 – 'Table 2: Bin Schedule and Collection Frequency', the bin schedule and capacity of bins collection are not sufficient for the waste generation of the residential properties based on Sustainability Victoria's Guide. This table is to be updated accordingly.

11.2 Planning Application 492/2017/P/D - 424-426 Nepean Highway, Frankston - Amend the planning permit to allow for the use and development of a fourteen storey building in a Commercial 1 Zone and Design and Development Overlay, Schedule 14 for retail and dwellings and the deletion of the serviced apartments**Officers' Assessment**

- There should be provision for e-waste (at least a 120L-240L MGB) in the bin store for residents to have e-waste stored prior to the disposal being arranged by the Operator. This should be in addition to the hard waste area allocated.

Planning Officer's Response

The above-mentioned matters can be addressed as conditions on any planning permit issued.

Discussion*Planning Policy Framework*

There is broad strategic support for a major development on the subject site. Overall, the development proposal is considered to be consistent with the broader strategic objectives of the Planning Policy Framework which encourage the revitalisation of activity centres with higher, more intense development that provides a range of commercial and community facilities as well as housing diversity and affordability.

The site's locational attributes make it an ideal site for redevelopment subject to the building design, overall height and site context response implementing the strategic objectives of relevant local planning policies including the FMAC Structure Plan (2015), the FMAC Structure Plan (2023), DDO14 and the Frankston Housing Strategy.

In this case, Council must consider whether the proposed height of the development is in keeping with the preferred heights of the FMAC Structure Plan (2015), FMAC Structure Plan (2023) and DDO14. In addition, Council must consider whether the proposed development is justified on the basis of net community benefit in the form of the architectural merit, the provision of additional housing within the city centre and the capacity of the development to revitalise and promote further development within the city centre.

Clause 15.01-2L-01 Environmentally Sustainable Development

This policy applies to residential and non-residential development and seeks to achieve best practice in environmentally sustainable development from the design stage through to construction and operation.

In accordance with Clause 15.01-2L-01, a Sustainability Management Plan has been provided with the application. Council's ESD Officer has reviewed the Sustainability Management Plan and has no objection subject to conditions. A Green Travel Plan was not provided with the application in accordance with Clause 15.01-2L-01, but this will be required to be provided as a condition on any planning permit issued.

Frankston Metropolitan Activity Centre Structure Plan (2015)

FMAC Structure Plan (2015) provides the strategic framework for use and development of the FMAC and surrounds for the next 20 years.

Clause 11.03-1L-02 includes the FMAC Structure Plan (2015) as a reference document. The FMAC Structure Plan (2015) states:

As a designated MAC, Frankston will need to provide additional services and functions to cater for both the local community and the broader south-east Melbourne Region and the Mornington peninsula. The Structure Plan provides a framework to guide the future growth of the MAC in a logical and sustainable way. It will also be used to guide public and private investment in the MAC. The Structure Plan focuses on achieving the following key priorities for the renewal and revitalisation of the MAC, as relevant:

11.2 Planning Application 492/2017/P/D - 424-426 Nepean Highway, Frankston - Amend the planning permit to allow for the use and development of a fourteen storey building in a Commercial 1 Zone and Design and Development Overlay, Schedule 14 for retail and dwellings and the deletion of the serviced apartments**Officers' Assessment**

- *Provide planning certainty including a clear requirement for excellence of architecture in all instances.*
- *Encourage good quality residential development to suit a range of different household types.*
- *Incorporate high quality urban design outcomes including engaging public spaces and streetscape works, public art and greening of the MAC.*
- *Improve streetscapes – design for equitable access for pedestrians, cyclists and vehicles.*

More particularly, the site is located on the western edge within Precinct 1 – City Centre. The objectives for this precinct include:

- *To provide major opportunities for mixed use development with housing, community uses, education providers, health services or offices located above retail ground floor uses throughout the precinct.*
- *To provide opportunities for outdoor dining throughout the precinct.*
- *To improve the integration of the Bayside Shopping Centre into the existing street network and surrounding retail areas.*
- *To create a cohesive public realm that strengthens the pedestrian environment of streets.*
- *To improve linkages between the library, Frankston Arts Centre, station and other city centre destinations.*
- *To minimise the impact of vehicle movement throughout the city centre and provide safer and higher amenity streets for pedestrians.*

The FMAC Structure Plan (2015) details preferred maximum building heights and setbacks for buildings in accordance with Figure 4 – Building Heights and Setback Plan.

The preferred building heights and setbacks for this site are:

- Preferred maximum building height of thirty-two (32) metres;
- Street height of twelve (12) metres with development above the podium should be setback at least five (5) metres from the primary/front street boundary;
- Engaging and activated frontage with no ground level front and side setbacks.

Frankston Metropolitan Activity Centre Structure Plan (2023)

Council is seeking to update the existing Structure Plan and has prepared the FMAC Structure Plan (2023) which is proposed to be implemented via Amendment C160fran. Amendment C160fran was considered at a Planning Panel Hearing between 1 – 17 July 2024.

The site is located within Precinct 4 (Promenade) and includes the following development objectives:

- *To activate Kananook Creek, Nepean Highway, Beach Street, Wells Street, Playne Street and Davey Street with retail, restaurants, cafes, arts and entertainment uses across the day and night.*
- *To support residential and office uses on upper levels of buildings.*

11.2 Planning Application 492/2017/P/D - 424-426 Nepean Highway, Frankston - Amend the planning permit to allow for the use and development of a fourteen storey building in a Commercial 1 Zone and Design and Development Overlay, Schedule 14 for retail and dwellings and the deletion of the serviced apartments**Officers' Assessment**

- *To provide for a mix of fine-grain and wider frontage shopfronts along Nepean Highway to support a diversity of land uses.*
- *To ensure development responds to the topography and addresses all streets with active and accessible frontages.*
- *To activate new pedestrian links with ground level retail and hospitality uses.*
- *To encourage exemplary built form that creates a high quality backdrop when viewed from the foreshore reserve and Kananook Creek.*
- *To minimise the visual dominance of development when viewed from the foreshore reserve and Gould Street residences.*
- *To maintain adequate sunlight to Kananook Creek, Melbourne Water land, southern footpaths of Wells Street, Playne Street and Davey Street and the eastern footpath of Nepean Highway at key times of the year.*
- *To soften the visual impact of buildings with vertical landscaping and visible courtyard spaces.*
- *To protect the environmental qualities of Kananook Creek*
- *To minimise the impact of vehicle access from Kananook Creek Boulevard and Nepean Highway.*

The FMAC Structure Plan (2023) identifies the preferred heights and setbacks for this site as:

- A forty-one (41) metre preferred maximum building height.
- A twelve (12) metre street wall height.
- A three (3) metre ground floor setback to Kananook Creek Boulevard.
- A ten (10) metre upper-level setback from the street wall to Kananook Creek Boulevard.
- A four and a half (4.5) metre ground floor setback to the southern boundary to provide pedestrian access to Kananook Creek and the foreshore.
- A three (3) metre setback for upper-level development from the pedestrian access street wall along the southern boundary to create a total of 15.0m building separation.
- A zero (0.0) metre ground floor setback to Nepean Highway.
- A five (5) metre upper level setback to Nepean Highway.
- Provide upper level setbacks to ensure solar access is maintained to the following:
 - The eastern edge of Kananook Creek and the entire foreshore reserve between 10am and 2pm at the winter solstice (22 June).
 - The Kananook Creek trail between 10am and 2pm at the spring equinox (23 September).
 - Within 7.0m of the eastern property boundary of Nepean Highway between 10am and 2pm at the equinox (23 September). This measurement accounts for future widening of the Nepean Highway footpath.

11.2 Planning Application 492/2017/P/D - 424-426 Nepean Highway, Frankston - Amend the planning permit to allow for the use and development of a fourteen storey building in a Commercial 1 Zone and Design and Development Overlay, Schedule 14 for retail and dwellings and the deletion of the serviced apartments

Officers' Assessment

- Where development shares a common boundary and no interface treatment is identified in the Precinct Requirements, the following side and rear setbacks should be provided to achieve adequate sunlight, outlook and privacy for habitable rooms and reduce the visual bulk of development:

Overall Building Height	Preferred minimum side and rear setback above the street wall
Up to 28.0m	4.5m
Between 28.0m and 42.0m	6.0m
Above 42.0m	10.0m

Commercial 1 Zone

The subject site is included in the Commercial 1 Zone, Design and Development Overlay, Schedule 14 and the Parking Overlay, Schedule 1.

The objectives of the Commercial 1 Zone are:

- *To create vibrant mixed use commercial centres for retail, office, business, entertainment and community uses.*
- *To provide for residential uses at densities complementary to the role and scale of the commercial centre.*

A planning permit is required for the use of the site for a dwelling ('Accommodation') and for building and works.

Design and Development Overlay, Schedule 14

On 27 October 2023, Amendment C164fran was gazetted into the Frankston Planning Scheme. Amendment C164fran introduced Design and Development Overlay, Schedule 14 (DDO14) to apply built form controls which are generally consistent with those proposed in Amendment C160fran which seeks to implement the land use and development directions of the FMAC Structure Plan (2023).

DDO14 requires a planning permit to construct a building or construct or carry out works.

Assessment against the planning provisions

Use

The proposed use of the development for accommodation in the form of apartments, retail and food and drink premises is consistent with the FMAC Structure Plan (2015) and the FMAC Structure Plan (2023) which encourage complementary uses including higher density residential development.

Building height and overshadowing

The Commercial 1 Zone contains no height controls, however the FMAC Structure Plan (2015) sets out preferred land use and development objectives including preferred maximum height controls for this area.

The FMAC Structure Plan (2015) anticipates a preferred maximum height of 32 metres. It is noted that the FMAC Structure Plan (2015) is currently under review and that the

11.2 Planning Application 492/2017/P/D - 424-426 Nepean Highway, Frankston - Amend the planning permit to allow for the use and development of a fourteen storey building in a Commercial 1 Zone and Design and Development Overlay, Schedule 14 for retail and dwellings and the deletion of the serviced apartments**Officers' Assessment**

updated FMAC Structure Plan (2023) which was adopted by Council on 24 October 2022 identifies a preferred height of 41 metres. DDO14 also identifies a preferred height of 41 metres.

Council officers did have concern with the building height and the extent of overshadowing on the public realm. However, the applicant has further considered concerns raised by Council officers and proposed a number of modifications in the amended plans which have been circulated to VCAT and the parties.

The plans show a reduction in overall building height to 45.41 metres or 14 storeys, excluding rooftop services. The building has an overall height of approximately 47.1m to the top of the rooftop services. The proposed modifications result in the overall building height to be more in line with the preferred height of 41 metres in the FMAC Structure Plan (2023) and DDO14. It must be noted that the structures on the rooftop are relatively small in context to the scale of the building and unlikely to be visually intrusive from short or long distance views. Consequently, whilst the development has an overall maximum height of 47.1m, it effectively has a maximum height of 45.41m, excluding the roof top equipment.

The maximum height of the proposed street walls are consistent with the preferred requirements with the maximum street wall to each of the site's road frontages a maximum of 12 metres in height, containing three storeys.

Adaptive design requirements in the FMAC Structure Plan (2023) and DDO14 also require:

- Preferred minimum floor to floor heights at ground level – 4.0m
- Preferred minimum floor to floor heights above ground level to street wall height – 3.5m
- Preferred maximum above street wall height – 3.5m for non-residential uses and 3.2m for residential uses.

It is noted that rather than the preferred 3 storey podium required by the FMAC Structure Plan (2023) DDO14, four levels are proposed in the podium to facilitate an extra level of car parking (noting that the façade has been designed to read as 3 storeys to the street, with the fourth level setback internally as a 'mezzanine'). This creates a floor to floor height of 3m at the ground floor (with some parts double height at 6m) rather than the 4m preferred in DDO14, and the two upper levels of the podium also at 3m rather than 3.2m preferred in DDO14. While not fully compliant with the standard, a minimum of 3.2 metres is provided in the levels above the podium form.

Based on the modifications, it is considered the development will sit more comfortably within its context and respectful of the aspirations of the FMAC Structure Plan (2023) and DDO14. The proposed reduction in the overall height and the provision of greater setbacks also reduces overshadowing of Kananook Creek and the shared path on Kananook Creek Boulevard. In particular, the changes ensure that there is no overshadowing in accordance with the following requirements of the FMAC Structure Plan (2023) and DDO14:

- The Kananook Creek shared path between 10am and 2pm at the spring equinox (23 September).

The FMAC Structure Plan (2023) and DDO14 also states no overshadowing should occur to the eastern edge of Kananook Creek and the entire foreshore reserve between 10am

11.2 Planning Application 492/2017/P/D - 424-426 Nepean Highway, Frankston - Amend the planning permit to allow for the use and development of a fourteen storey building in a Commercial 1 Zone and Design and Development Overlay, Schedule 14 for retail and dwellings and the deletion of the serviced apartments**Officers' Assessment**

and 2pm at the winter solstice (22 June). The proposal does not comply with this requirement by 6 minutes. It is considered that the overshadowing is minor with a non-compliance which is removed at 10:06am on the 22 June. Conditions on any permit issued will require that overshadowing plans are provided demonstrating that there is no shadow cast after 10:06am as currently the plans only include a notation stating that the shadow is removed at 10:06am.

In addition, solar access is not fully maintained within 7.0m of the eastern property boundary of Nepean Highway at 2pm at the equinox (23 September) in accordance with the FMAC Structure Plan (2023) and DDO14. However, a variation is considered acceptable noting that there is only a minor encroachment at 2pm and the area is free of shadow between 10am and 1:42pm.

Building Setbacks

The FMAC Structure Plan (2023) and DDO14 requires a ground floor setback of 3m to Kananook Creek Boulevard. The plans show that a 3m setback has been provided which is in accordance with the policy framework. The setback area provides sufficient space for outdoor dining, however there are some level changes proposed which are not supported. Please refer below in relation to Clause 58.02-5 (Integration with the street objective for further discussion on this matter.

It is noted that the tower component of the building does not achieve a 5m upper level setback from Nepean Highway in accordance with the FMAC Structure Plan (2015), the FMAC Structure Plan (2023) and DDO14. The proposal incorporates a varied setback along the Nepean Highway frontage of the site, which varies between 2.6m and 4.5m, providing interest and reducing the dominance of the development.

The tower form is setback a minimum of 5 metres from the podium addressing Beach Street which is in accordance with the FMAC Structure Plan (2023) and DDO14.

A minimum 10m upper level setback has been provided to Kananook Creek Boulevard from the tower to the podium in accordance with the FMAC Structure Plan (2023) and DDO14. The development will minimise visual bulk creating recesses that break up the building massing.

The FMAC Structure Plan (2023) and DDO14 requires that development above 35m (10 storeys) should be set back so it has minimal visibility from the opposite Gould Street properties. The level of visibility is required to be measured from a distance of 10.0m from the rear boundary of the Gould Street properties. The amended plans include a diagram showing compliance with the requirement except for an awning that encroaches within the setback at Level 13. This encroachment is minor and would be minimally visible from the rear properties on the opposite side of Kananook Creek along Gould Street.

The FMAC Structure Plan (2023) and DDO14 specifies that where development shares a common boundary with an adjoining site, provide side and rear setback above the street wall in accordance with:

- Up to 28m: 4.5m
- Above 28.0m to 42.0m: 6m
- Above 42.0m: 10m

The plans show that the tower is setback 4.5m to 5.8m to the southern boundary with Level 12 setback approximately 6m. While not fully compliant with the standard, the

11.2 Planning Application 492/2017/P/D - 424-426 Nepean Highway, Frankston - Amend the planning permit to allow for the use and development of a fourteen storey building in a Commercial 1 Zone and Design and Development Overlay, Schedule 14 for retail and dwellings and the deletion of the serviced apartments**Officers' Assessment**

variations are considered to be minor with setbacks that allow equitable development opportunities for adjoining sites to be redeveloped in the future. This will also allow for views of the sky and water from surrounding areas and also reduce the visual impact of the building.

The proposed tower width to both Kananook Creek Boulevard and Nepean Highway is below 45 metres in width as required by the FMAC Structure Plan (2023) and DDO14, with a width of 32.88m. The overall depth of the tower form exceeds 45 metres along Beach Street, however the varied setbacks break up the overall length of the building.

Design, Materials and Finishes

- Positive amendments identified in the plans that have been circulated to VCAT and the parties include the relationship between tower and podium is more visually 'balanced' in proportion, the building overall is less bulky and the west interface is less imposing. However, there is a considerable difference in the architectural expression of the east and west interfaces in response to their respective urban and coastal outlooks. The interfaces do not have to be identical but greater consistency to reinforce the building's identity should be considered. The podium levels achieve this to some degree, but the upper levels do not. Accordingly, a more unified, consistent design expression must be applied across the building by incorporating key design elements of the west elevation along the north, east and south elevations. Conditions on any planning permit issued can require that this matter is addressed. Curve the corners of the north-east podium level as presented to Beach Street / Nepean Highway for greater design consistency.
- Provision for more fine grain coastal-inspired materials (e.g. stone or weathered timber) is required within the podium at ground level to create greater visual interest and vary the proposed precast concrete.
- Round off the corner of the ground level planter in north-west corner to replicate curvature of the podium and awning above.
- A Reflective Glare Assessment is an application requirement of the DDO14, but does not appear to have been included in the application documents. A Reflective Glare Assessment is required to ensure that mitigation measures are put in place to ensure that the building design and materials reduce the impact of glare.

Clause 58 - Apartments

An assessment of the proposal against the provision of Clause 58 – Better Apartment Design Standards has been undertaken. It is noted that the proposal seeks variations to the requirements of Clause 58.02-5 (Integration with the street objective), Clause 58.03-3 (Solar access to communal open space), Clause 58.04-4 (Wind Impacts) and Clause 58.05-1 (Accessibility), Clause 58.05-2 (Building entry and circulation), Clause 58.05-3 (Private Open Space), Clause 58.05-4 (Storage), Clause 58.06-1 (Common property), Clause 58.06-2 (Site Services), Clause 58.07-1 (Functional layout), Clause 58.07-2 (Room depth) and Clause 58.07-4 (Natural ventilation). These variations are discussed in greater detail below:

- There is some concern that the conditions required by Melbourne Water require changes to the interface treatment to Kananook Creek Boulevard (to the west) which would not comply with Clause 58.02-5 (Integration with the street objective). The Melbourne Water conditions result in changes to levels that would be visually intrusive, inhibit pedestrian activity and create access equity concerns. It now

11.2 Planning Application 492/2017/P/D - 424-426 Nepean Highway, Frankston - Amend the planning permit to allow for the use and development of a fourteen storey building in a Commercial 1 Zone and Design and Development Overlay, Schedule 14 for retail and dwellings and the deletion of the serviced apartments**Officers' Assessment**

appears that a platform lift needs to be provided (which is not readily identified on the plans) to achieve DDA access. Provision for a platform lift is not supported and alternative means should be explored to provide equitable access that contributes to a higher quality public realm outcome. Accordingly, the platform lift along the west interface must be deleted in association with a reconfiguration of level changes within the building to improve integration with, and equitable access between the building and the public realm. It also does not appear that DDA access is provided from the basement 01 car park, which should be addressed. Accordingly, conditions of permit will require amendments to the plans to address this matter and ensure any changes to levels occur within the building and not within the 3m setback to Kananook Creek Boulevard.

- It is unclear whether a sufficient amount of solar access is provided to the communal open space in accordance with Clause 58.03-3 (Solar access to communal open space). Shadow diagrams are required to show how the proposal responds to Clause 58.03-3 (Solar access to communal open space) which requires *at least 50 per cent or 125 square metres, whichever is the lesser, of the primary communal outdoor open space should receive a minimum of two hours of sunlight between 9am and 3pm on 21 June*. Changes to the built form will be required if compliance is not achieved.
- Clause 58.04-4 (Wind Impacts) seeks to ensure the built form, design and layout of development does not generate unacceptable wind impacts within the site or on surrounding land. The applicant has not submitted a Wind Assessment in relation to the amended plans which were circulated to VCAT and the parties. A Wind Assessment was prepared in relation to an earlier iteration of the plans which has been reviewed. The Wind Assessment proposes a number of design features to address likely wind conditions, however notes that the assessment provided in the report have been based on experience of similar situations in Frankston and elsewhere and that it is possible that the report may not account for all complex flow scenarios in the area. The report recommends a wind tunnel test to be conducted to quantify wind conditions and determine the proper wind control measures wherever necessary. Accordingly, if the application were to be supported, further wind tunnel testing would be required to ensure that adequate measures will be in place to address wind conditions. A condition on any planning permit issued will also require that further details are provided in relation to the criteria used to assess each element of the building design. It is unclear whether walking, standing, or sitting criteria has used.
- It is noted that an assessment of Clause 58 has not been provided by the applicant in plan form. A number of dimensions and the uses of different rooms/spaces are not nominated on the plans. Accordingly, it is difficult to undertake an assessment as to whether Clause 58.05-1 (Accessibility), Clause 58.05-2 (Building entry and circulation), Clause 58.05-3 (Private Open Space), Clause 58.05-4 (Storage), Clause 58.06-1 (Common property), Clause 58.06-2 (Site Services), Clause 58.07-1 (Functional layout), Clause 58.07-2 (Room depth) and Clause 58.07-4 (Natural ventilation) have been addressed. It is considered that there is sufficient space to accommodate the relevant standards without significant changes to the building, but further information is required to be shown on the plans to demonstrate compliance. A condition of permit will require that these matters are addressed in accordance with Clause 58.

11.2 Planning Application 492/2017/P/D - 424-426 Nepean Highway, Frankston - Amend the planning permit to allow for the use and development of a fourteen storey building in a Commercial 1 Zone and Design and Development Overlay, Schedule 14 for retail and dwellings and the deletion of the serviced apartments**Officers' Assessment**Clause 52.06 – Car parking provision

Clause 52.06 (Car parking) sets out the car parking requirements for new development. The proposal benefits from being included in the Parking Overlay and being within the Principal Public Transport Network (PPTN) area, reducing the statutory visitor car parking requirements to zero.

The application proposes 157 spaces for the dwellings and 32 spaces for the retail and food and drink premises. The proposed development has a statutory car parking requirement for 171 parking spaces comprising 139 residential spaces and 32 retail/food and drink spaces.

The car parking provision of 189 on-site parking spaces exceeds the statutory parking requirement and accordingly, a permit to reduce the car parking requirement is not being sought as part of this application.

Car park, traffic management and access design

Council's Traffic Engineers have raised no concerns in terms of the proposed access arrangements and increase in the traffic generated by the proposal as detailed in the applicant's Traffic Engineering Assessment report. However, clarification is required regarding the use/delineation of the two tandem residential parking spaces shown on the Level 02 Plan.

Where the car park aisle widths are shown to be less than 6.4m, the parking space widths are shown to increase accordingly in accordance with the Frankston Planning Scheme.

It is noted that vehicle access to the development is proposed to be from a new vehicle crossover (and garage door) on Beach Street which will impact on existing on-street parking. Any security barrier or similar device controlling vehicular access to the premises must be located a minimum six metres inside the property to allow vehicles to prop clear of Beach Street.

The proposed new crossover location on Beach Street is a better outcome for traffic access purposes compared to the previous proposed location via Kananook Creek Boulevard. However, the pedestrian visibility splays should be noted on the plans at the proposed new crossover.

The above-mentioned matters can be addressed as conditions on any planning permit issued.

Loading facilities

Clause 65.01 of the Planning Scheme specifies that before deciding on an application the Responsible Authority must consider the adequacy of loading and unloading facilities and any associated amenity, traffic flow and road safety impacts. Council's Traffic Engineers are satisfied that deliveries can take place using the loading bay within the basement. It is noted that the loading bay is only suitable for vehicles up to and including 6.4m long service vehicles. The application also nominates the area between the site crossover and Kananook Creek Boulevard as an on-street loading area for larger vehicles. Council's Traffic Engineers have not raised any objections to this approach.

Waste Management

A Waste Management Plan has been submitted with the application which proposes a Private Waste Collection Agency. Council's Waste Services Officer is satisfied with the

11.2 Planning Application 492/2017/P/D - 424-426 Nepean Highway, Frankston - Amend the planning permit to allow for the use and development of a fourteen storey building in a Commercial 1 Zone and Design and Development Overlay, Schedule 14 for retail and dwellings and the deletion of the serviced apartments**Officers' Assessment**

method of waste collection proposed on site subject to conditions ensuring compliance with Sustainability Victoria's Guide for Waste Management and Recycling in Multi-unit Developments amongst other things. Council's Traffic Engineer has also reviewed the waste vehicle swept path diagrams and advises that appropriate access and egress is provided to the on site loading zone.

Bicycle Provision

Clause 52.34 of the Planning Scheme specifies bicycle parking requirements for new developments. Pursuant to Clause 53.24 of the Frankston Planning Scheme, a statutory provision of 38 bicycle spaces is required comprising 21 for residents, four for employees and 13 for visitors/customers. A total of 62 bicycle spaces are provided on site comprising of 16 visitor/customer bicycle spaces, 24 residential bike racks, four retail employee bike spaces, a further 13 unallocated spaces provided within the ground level and basement 1 carparking areas and five spaces along the Kananook Creek Boulevard frontage.

According to the requirements of Clause 52.34, showers and change rooms are required to be provided for employee bicycle parking, if 5 or more employee bicycle spaces are required. As only 4 bicycle spaces are required for employees, there is no requirement for End of Trip (EOT) Facilities that includes shower/changeroom.

The total bicycle parking provision well exceeds the minimum statutory requirement and therefore, no permit is required.

Soil Investigation Works

An Acid Sulphate Soil Investigation was not submitted with the application, however the site is known to be in an area which contains potential acid sulphate soil. In addition, Acid Sulphate Soil Investigation is an application requirement of DDO14. It is therefore likely that that a layer of natural soil will require management, if disturbed. A condition on any permit issued would require soil conditions to be investigated by way of an Acid Sulphate Soil Investigation. A condition would also require the preparation of Construction Environmental Management Plan if acid sulphate soils are identified to ensure appropriate management through construction activities at the site.

Response to objectors' concerns

The following comments are provided in response to the grounds of objection which have not already been discussed elsewhere in this report:

- *The proposed development will impact upon the ecology of the creek.*

Conditions of permit could will require the preparation of a Construction Management Plan to address amenity impacts associated with construction activities. In addition, detailed engineering drawings would need to be submitted for Council's review to ensure water run-off and erosion issues are addressed. It must also be noted that artificial lighting would be required to be addressed in accordance with EPA requirements.

- *The development would create a negative impact if residents in the surrounding area were required to evacuate during an emergency.*
- *A fire in a building of this height will rapidly escalate and become a full-scale disaster.*

The site and precinct are considered capable of supporting large scale development noting that the land is located within a Commercial 1 Zone and is within a

11.2 Planning Application 492/2017/P/D - 424-426 Nepean Highway, Frankston - Amend the planning permit to allow for the use and development of a fourteen storey building in a Commercial 1 Zone and Design and Development Overlay, Schedule 14 for retail and dwellings and the deletion of the serviced apartments**Officers' Assessment**

metropolitan activity centre where a higher density of development is anticipated. It must also be noted that the proposal would be required to address building regulations in relation to the implementation of essential safety measures. Council's Traffic Engineers and the Department of Transport also support the proposed access arrangements to the development.

Conclusion

There is broad strategic support for a major development on the subject site. The proposal is generally consistent with the strategic objectives of the FMAC Structure Plan (2015), the FMAC Structure Plan (2023) and DDO14. It is considered the proposal to amend the planning permit can be supported on the basis of the plans dated 4 June 2024 and subject to the conditions contained in the officers' recommendation.

Recommendation (Director Communities)

That Council resolves should a review not have been lodged under Section 79 of the *Planning and Environment Act 1987* at the Victorian Civil and Administrative Tribunal in proceeding P212/2024, it would have issued a Notice of Decision to Grant a Planning Permit to Planning Application 492/2017/P/D to allow for the use and development of a fourteen storey building in a Commercial 1 Zone and Design and Development Overlay, Schedule 14 for retail and dwellings and the deletion of the serviced apartments on the basis of the plans dated 4 June 2024 (amended plans), subject to the conditions contained in the officers' assessment.

Amended Plans

1. Before the development starts, amended plans to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. When approved, the plans will be endorsed and will then form part of the permit. The plans must be drawn to scale with dimensions and three copies must be provided. The plans must be generally in accordance with the plans submitted with the application Bruce Henderson Architects, Drawing Nos. TP-200-TP213, TP300-TP303 and TP401-TP403, Revision 9, dated 04/06/2024, but modified to show:
 - a. Deleted.
 - b. Deleted.
 - c. Deleted.
 - d. Deleted.
 - e. Deleted.
 - f. Location of any cooling or heating unit for each dwelling/serviced apartment;
 - g. Deleted.
 - h. Building service locations and screening;
 - i. Deleted.
 - j. Allocation of car spaces to dwellings, serviced apartments, retail space and visitors;
 - k. Habitable room walls adjacent to communal space/roof garden, lifts or service area to be acoustically treated;

11.2 Planning Application 492/2017/P/D - 424-426 Nepean Highway, Frankston - Amend the planning permit to allow for the use and development of a fourteen storey building in a Commercial 1 Zone and Design and Development Overlay, Schedule 14 for retail and dwellings and the deletion of the serviced apartments**Officers' Assessment**

- l. A detailed materials, finishes and colour schedule in accordance with condition 5;
- m. Deleted.
- n. Landscaping plan in accordance with condition 3;
- o. Deleted.
- p. Deleted.
- q. Overshadowing plans and changes to built form demonstrating that there is no shadow cast by the proposed building after 10:06am on Kananook Creek on 22 June.
- r. Shadow diagrams and any changes to built form to ensure that the proposal complies with Clause 58.03-3 (Solar access to communal open space) which requires "at least 50 per cent or 125 square metres, whichever is the lesser, of the primary communal outdoor open space should receive a minimum of two hours of sunlight between 9am and 3pm on 21 June".
- s. Changes to the building including the provision of dimensioned plans and nomination of rooms/spaces demonstrating compliance with Standard D18 of Clause 58.05-1 (Accessibility), Standard D19 of Clause 58.05-2 (Building entry and circulation), Standard D20 of Clause 58.05-3 (Private Open Space), Standard D21 of Clause 58.05-4 (Storage), Standard D22 of Clause 58.06-1 (Common property), Standard D23 of Clause 58.06-2 (Site Services), Standard D26 of Clause 58.07-1 (Functional layout), Standard D27 of Clause 58.07-2 (Room depth) and Standard D 29 of Clause 58.07-4 (Natural ventilation) of the Frankston Planning Scheme.
- t. A more unified, consistent design expression across the building by incorporating key design elements of the west elevation along the north, east and south elevations.
- u. Round off the corner of the ground level planter in north-west corner to replicate curvature of the podium and awning above and delete the handrail.
- v. Deletion of the platform lift along the west interface in association with a reconfiguration of level changes within the building to improve integration with, and equitable access between the building and the public realm.
- w. Provision of DDA access from the basement 01 car park.
- x. Curve the corners of the north-east podium level as presented to Beach Street / Nepean Highway for greater design consistency.
- y. Plans to denote all windows at ground level (Basement 01 and Ground Floor) interfacing with the Nepean Highway, Beach Street and Kananook Creek Boulevard as having 75% clear glazing between the heights of 0.5m – 2.0m above the footpath/public realm.
- z. Plans to denote all windows within the podium levels above ground level (Ground Floor, Mezzanine, Level 01, 02 and 03) as being clear and free of tinting/obscured glazing.
- aa. Elevations to accurately denote all proposed materials and finishes.

11.2 Planning Application 492/2017/P/D - 424-426 Nepean Highway, Frankston - Amend the planning permit to allow for the use and development of a fourteen storey building in a Commercial 1 Zone and Design and Development Overlay, Schedule 14 for retail and dwellings and the deletion of the serviced apartments**Officers' Assessment**

- bb. The street awning to cover the entirety of the north section and extended south to property boundary where it adjoins 428-430 Nepean Highway.
- cc. Provision for more fine grain coastal-inspired materials (e.g. stone or weathered timber) within the podium at ground level.
- dd. A Tree Protection Management Plan in accordance with Condition 14.
- ee. A Sustainable Management Plan in accordance with Condition 15.
- ff. All ESD initiatives included in the endorsed BESS Report and the Sustainable Management Plan must be identified on the architectural plans including Lighting initiative, WESL star rating for water fixtures, IEQ initiatives and EV charging station.
- gg. A Green Travel Plan in accordance with Condition 17.
- hh. A Reflected Glare Assessment in accordance with Condition 18.
- ii. A Wind Assessment Report in accordance with Condition 20.
- jj. Nomination of the use/delineation of the two tandem residential parking spaces shown on the Level 02 Plan.
- kk. Pedestrian visibility splays at the proposed new crossover.
- ll. Address the requirements of Melbourne Water in accordance with Conditions 52, 53 and 54 to the satisfaction of Melbourne Water and the Responsible Authority. Any changes to accommodate Melbourne Water's requirements must be accommodated within the building and Council would not be supportive of steps, ramps (etc) within the 3 metre setback to Kananook Creek Boulevard.

No Alteration or Changes

2. The development as shown on the endorsed plans must not be altered without the prior written consent of the Responsible Authority.

Landscaping

3. Before the development starts, a detailed Landscape Plan consistent with Frankston City Council's Landscape Plan Guidelines (2020) must be submitted to and approved by the Responsible Authority. When approved, the plan will be endorsed and will then form part of the permit. The plan must be to the satisfaction of the Responsible Authority and prepared by a suitably qualified landscape designer, drawn to scale with dimensions. The plan must be generally in accordance with the Landscape Architectural Concept, prepared by Etched, dated June 2023, but modified to show:
 - a. Address the plans to be endorsed under Condition 1.
 - b. Location of existing street trees, buildings on neighbouring properties within three metres of the boundary;
 - c. Planting to soften the appearance of the development;
 - d. Details of surface finishes of pathways and driveways, retaining walls and areas of cut and fill;
 - e. A planting schedule of all proposed trees, shrubs, creepers and ground covers, including botanical names, common names, pot sizes, size at maturity and

11.2 Planning Application 492/2017/P/D - 424-426 Nepean Highway, Frankston - Amend the planning permit to allow for the use and development of a fourteen storey building in a Commercial 1 Zone and Design and Development Overlay, Schedule 14 for retail and dwellings and the deletion of the serviced apartments**Officers' Assessment**

quantities of each plant, soil depth, watering systems;

- f. Detail of growing medium, irrigation and drainage of planter boxes and planting within confined spaces;
- g. Detailed design for the proposed planter boxes and planting for each level as shown on the elevations;
- h. A planting palette maintaining a coastal theme incorporating indigenous species.
- i. Provision of planter boxes within west facing balconies of the Mezzanine Level and Level 01.
- j. Plans to identify the location of public, ambient and feature lighting including street lighting, signage illumination, lighting of architectural features such as up-lighting/down-lighting etc.
- k. A plant species to the north-west planter at ground level to ensure that it is of a height that it does not pose a trip hazard.
- l. A Public Realm Plan detailing the following:
 - i. Identification of works for all 'public realm' areas within or directly integrating with the development site including for example pedestrian links, footpath connections and extensions, outdoor dining, public seating and parks and recreation areas.
 - ii. The location of lighting including street lighting, pedestrian lighting and feature lighting (including external lighting on the building itself the building itself), bollards, signage and wayfinding, seating, bike hoops, retaining walls, planter boxes, public art, paving, glazing, garden beds/planting areas, bins and balustrades.

All species selected must be to the satisfaction of the Responsible Authority.

The landscaping as shown on the endorsed Landscape Plan must be carried out and completed to the satisfaction of the Responsible Authority before the occupation of the development or at a later date for the landscaping of the Public Realm Plan as approved and agreed with the payment of a 'Incomplete Landscape Works' bond by the Responsible Authority in writing.

4. Concurrent with the submission of the amended plans, a landscape management plan must be submitted to and approved by the Responsible Authority. When approved, the plan will be endorsed and will then form part of the permit. The plan must include:
 - a. Details of the initial Plant Established period;
 - b. Long term maintenance regime for all landscaped areas including balcony planter boxes and roof garden to include detail on but not limited to the following: maintenance schedule including inspections, weeding, watering and inspection of any irrigation systems, pruning and replacement of any plants that fail, mulching, pest and disease control.
 - c. Maintenance responsibilities for landscaping.
5. The landscaping as shown on the endorsed landscape plan must be carried out and completed to the satisfaction of the Responsible Authority before the occupation of the development and/or commencement of the use or at such later date as is

11.2 Planning Application 492/2017/P/D - 424-426 Nepean Highway, Frankston - Amend the planning permit to allow for the use and development of a fourteen storey building in a Commercial 1 Zone and Design and Development Overlay, Schedule 14 for retail and dwellings and the deletion of the serviced apartments**Officers' Assessment**

approved by the Responsible Authority in writing.

S173 Agreement

6. Prior to the commencement of the any building and works, the owner of the land must enter into an agreement with the responsible authority under Section 173 of the *Planning and Environment Act 1987* in respect to canopy encroachments and to provide for:
 - b. Public Liability Insurance;
 - c. Indemnity for City of Frankston and Crown;
 - d. Continuity of appropriate maintenance to sure the continued safety of the structure and ensure any risk to Public Safety is minimised.

The Owner must pay all reasonable costs for the preparation, execution and registration of the Section 173 Agreement.

The section 173 Agreement must be registered in accordance with the provisions of Section 181 of the *Planning and Environment Act 1987*.

Services Apartments

7. Deleted.
8. Deleted.
9. Deleted.
10. Deleted.
11. Deleted.
12. Deleted.
13. Deleted.

Tree Protection Management Plan

14. Before works start (including any demolition, levelling of the site, excavations, tree removal, delivery of building/construction materials and/or temporary buildings), a Tree Protection Management Plan (TPMP) prepared in accordance with Frankston City Council's 'Arboricultural Report Writing Guide' must be submitted to and approved by the Responsible Authority. When approved, the plan will be endorsed and will form part of the permit. The TPMP must be prepared by a suitably qualified and experienced Arborist in relation to the management and maintenance of street trees. The TPMP must make specific recommendations in accordance with *AS4970: 2009 - Protection of Trees on Development Sites* and detail the following where relevant but not limited to ensuring that the trees remain healthy and viable during and following construction:
 - a. A site plan showing tree protection zones (TPZ) and structural root zones (SRZ), tree protection fence locations and any tree protection fence relocations required where ground protection systems will be used.
 - b. A clear photograph of each tree.
 - c. Any specific damage/faults evident within each tree prior to demolition or construction. These photographs must be supplied within the TPMP as a preliminary dilapidation report.

11.2 Planning Application 492/2017/P/D - 424-426 Nepean Highway, Frankston - Amend the planning permit to allow for the use and development of a fourteen storey building in a Commercial 1 Zone and Design and Development Overlay, Schedule 14 for retail and dwellings and the deletion of the serviced apartments**Officers' Assessment**

- d. Restricted activities in the TPZ.
- e. Key supervision and monitoring stages of the development including pre-demolition, pre-construction, and post construction stages.
- f. Details of any TPZ encroachments including if necessary.
 - i. details of exploratory root investigation
 - ii. alternative construction techniques
 - iii. root pruning
- g. Methods for installation of services e.g., sewerage, storm water, telecommunications, electricity etc.
- h. Remedial pruning works as required including a detailed photographic diagram specifying what pruning will occur.
- i. Final Certification of Tree protection template.

Before the development is occupied or at such later date as is approved by the Responsible Authority in writing, the Final Certification Report Template as required in the Tree Protection Management Plan must be completed and submitted to the satisfaction of the Responsible Authority.

The provisions, recommendations and requirements of the endorsed Tree Protection Management Plan must be implemented and complied with to the satisfaction of the Responsible Authority.

Sustainable Management Plan

15. Before the development starts, an amended Sustainable Management Plan to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. When approved, the Sustainable Management Plan will be endorsed and will then form part of the permit. The Sustainable Management Plan must be generally in accordance with the Sustainability Management Plan (SMP) prepared by GIW Environmental Solutions and dated 7 June 2024, but modified to:
 - a. Reflect and address the plans to be endorsed under Condition 1 with no reduction in the commitments and rating nominated under the BESS assessment in the Sustainable Management Plan.

The provisions, recommendations and requirements of the endorsed Sustainable Management Plan must be implemented and complied with to the satisfaction of the Responsible Authority.

No alterations to the Sustainable Management Plan may occur without the written consent of the Responsible Authority.

16. Before the occupation of any building approved under this permit, a report from the author of the Sustainable Management Plan, approved pursuant to this permit, or similarly qualified person or company, must be submitted to the Responsible Authority. The report must be to the satisfaction of the Responsible Authority and must confirm that all measures specified in the Sustainable Management Plan have been implemented in accordance with the approved Plan.

Green Travel Plan

11.2 Planning Application 492/2017/P/D - 424-426 Nepean Highway, Frankston - Amend the planning permit to allow for the use and development of a fourteen storey building in a Commercial 1 Zone and Design and Development Overlay, Schedule 14 for retail and dwellings and the deletion of the serviced apartments**Officers' Assessment**

17. Before the development commences, a Green Travel Plan to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. When approved, the Green Travel plan will be endorsed and will form part of this permit. The Green Travel Plan must include, but not be limited to, the following:

- a. Address the plans to be endorsed under Condition 1.
- b. Promote travel alternatives such as public transport, cycling, and walking,
- b. Reduce car dependency and greenhouse gas emissions,
- c. Manage car parking demands,
- d. Improve information and opportunities for those without access to a car, and
- e. Include a management and implementation plan.

The provisions, recommendations and requirements of the endorsed Sustainable Management Plan must be implemented and complied with to the satisfaction of the Responsible Authority.

Reflected Glare Assessment

18. Prior to commencement of buildings and works, a Reflected Glare Assessment to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. When approved, the Reflected Glare Assessment will be endorsed and will form part of this permit. The Reflected Glare Assessment must include, but not be limited to, the following:

- a. Address the plans to be endorsed under Condition 1.
- b. The applied method used for the reflected glare assessment.
- c. Any assessment assumptions.
- d. Identification of potential observers receiving glare.
- e. Review of materials, finishes and reflectors.
- f. Assessment of the proposed development's disability and discomfort glare.
- g. Mitigation measure for reflected glare.

The provisions, recommendations and requirements of the Reflective Glare Assessment must be implemented and thereafter complied with to the satisfaction of the Responsible Authority.

Geotechnical Report

19. Prior to the commencement of the development, a geotechnical report prepared by a suitably qualified person must be submitted to and approved by the Responsible Authority. When approved, the Geotechnical Report will be endorsed and will then form part of the permit. The Geotechnical Report must identify the potential for acid sulfate soils and any management recommendations having regard to:

- a. Address the plans to be endorsed under Condition 1.
- b. The condition of the soil on the site and in the surrounding area.
- c. How the development will mitigate detrimental impacts to the soils in the area.

11.2 Planning Application 492/2017/P/D - 424-426 Nepean Highway, Frankston - Amend the planning permit to allow for the use and development of a fourteen storey building in a Commercial 1 Zone and Design and Development Overlay, Schedule 14 for retail and dwellings and the deletion of the serviced apartments**Officers' Assessment**

- d. How the development will protect itself from any adverse affects from the soils and ground conditions in the area.
- e. How the development accords with the Victorian Coastal Acid Sulfate Soils Strategy 2009.

The provisions, recommendations and requirements of the endorsed Geotechnical Report must be implemented and complied with to the satisfaction of the Responsible Authority.

Wind Assessment Report

20. Before the development starts, an amended Wind Assessment Report to the satisfaction of the responsible authority must be submitted to and approved by the responsible authority. When approved, the Wind Assessment Report will be endorsed and will then form part of the permit. The Wind Assessment Report must be generally in accordance with the Pedestrian Wind Environment Statement prepared by Windtech, dated 22 May 2023 but modified to:

- a. Address the plans to be endorsed under Condition 1.
- b. Include Wind Tunnel Testing.
- c. Address the sitting, standing and walking criteria specified in Clause 58.04-4 (Wind Impacts) of the Frankston Planning Scheme.

The provisions, recommendations and requirements of the endorsed Wind Assessment Report must be implemented and thereafter complied with to the satisfaction of the Responsible Authority.

Materials, finishes and colour schedule

21. Concurrent with the submission of the amended plans, a colour schedule and sample panel of all external materials and finishes showing materials, colours and finishes, roof and glazing treatments including colour copies suitable for endorsing, must be submitted to the satisfaction and approval by the Responsible Authority. When approved, the schedule will form part of the permit.

22. No equipment, services, architectural features or structures of any kind, including telecommunication facilities, other than those shown on the endorsed plans shall be permitted above the roof level of the building unless otherwise agreed to in writing by the responsible authority.

Tree Protection

23. The development must be undertaken in accordance with Australian Standard AS 4970-2009 *Protection of trees on development sites* to ensure that the development does not adversely impact on the health, life expectancy and structural stability of any street trees, to the satisfaction of the Responsible Authority.

24. Prior to the commencement of the development (including vegetation removal), a Tree Protection Fence defined by a 1.8 metre high (minimum) temporary fence constructed using steel or timber posts fixed in the ground or to a concrete pad, with the fence's panels to be constructed of cyclone mesh wire or similar strong metal mesh or netting with a high visibility plastic hazard tape, must be installed at a radius of not less than the Tree Protection Zone for all street trees adjacent to the site, to the satisfaction of the Responsible Authority. A fixed sign is to be provided

11.2 Planning Application 492/2017/P/D - 424-426 Nepean Highway, Frankston - Amend the planning permit to allow for the use and development of a fourteen storey building in a Commercial 1 Zone and Design and Development Overlay, Schedule 14 for retail and dwellings and the deletion of the serviced apartments**Officers' Assessment**

on all visible sides of the Tree Preservation Fencing, stating "Tree Preservation Zone – No entry without permission from Frankston City Council". Fencing must be inspected by a suitable qualified and experienced arborist prior to commencement of construction works.

The requirements below must be observed within this area –

- a. No vehicular or pedestrian access.
- b. The existing soil level must not be altered either by fill or excavation.
- c. The soil must not be compacted or the soil's drainage changed.
- d. No fuels, oils, chemicals, poisons, rubbish or other materials harmful to trees are to be disposed of or stored.
- e. No storage of equipment, machinery or material is to occur.
- f. Open trenching to lay underground services e.g.: drainage, water, gas, etc. must not be used unless approved by the Responsible authority to tunnel beneath.
- g. Nothing whatsoever, including temporary services wires, nails, screws or any other fixing device, is to be attached to any tree.
- h. Tree roots must not be severed or injured.
- i. Machinery must not be used to remove any existing concrete, bricks or other materials.

Drainage

25. Provision of a Stormwater Detention System with a volume capable of retarding the 10 year ARI flow from the development site back to a 5 year ARI pre-development value to the satisfaction of the Responsible Authority.
26. Prior to commencement of development construction detailed design plans and drainage computations of the internal stormwater drainage system including the method of connection to the existing Council drainage infrastructure are to be submitted and approved to the satisfaction of the Responsible Authority.
27. Water Sensitive Urban Design principles (WSUD) are to be incorporated into the drainage design, which may include but not be limited to the following components or a combination thereof:
 - On-site stormwater detention and rainwater tanks.
 - Soil percolation
 - Stormwater harvesting and Re-use of stormwater for garden watering, toilet flushing, etc
 - On-site 'bio-treatment' to reduce dissolved contaminants and suspended solids.
28. New vehicle crossing shall be constructed to Frankston City Council's standards and specifications to the satisfaction of the Responsible Authority.
29. All disused vehicle crossing shall be removed and are reinstated to kerb and channel and landscaped to the satisfaction of the Responsible Authority.
30. Prior to the occupation of the building, areas set aside for parking vehicles, loading bays, bicycles, access lanes and paths as shown on the endorsed plans must be:

11.2 Planning Application 492/2017/P/D - 424-426 Nepean Highway, Frankston - Amend the planning permit to allow for the use and development of a fourteen storey building in a Commercial 1 Zone and Design and Development Overlay, Schedule 14 for retail and dwellings and the deletion of the serviced apartments**Officers' Assessment**

- a. Constructed to the satisfaction of the Responsible Authority;
- b. Properly formed to such levels that they can be used in accordance with the plans;
- c. Surfaced with an all-weather sealcoat;
- d. Drained and maintained to the satisfaction;
- e. Line marked to show the direction in which vehicles are to travel;
- f. Sign marked identifying the allocation of car spaces; and;
- g. Properly lit.

to the satisfaction of the responsible authority.

Car spaces, access lanes, bicycle facilities, loading areas and driveways must be kept available for these purposes at all times.

Security Gate

31. Any security boom, barrier or similar device controlling vehicular access to the premises must be located a minimum of six metres inside the property to allow vehicles to prop clear of Young Street.
32. Where the development involves work on or access to Council controlled land including roads, reserves and right of way, the owner, operator and their agents under this permit must at all times take adequate precautions to maintain works to the highest public safety standards, to the satisfaction of the Responsible Authority.

Precautions must include, appropriate signage to AS 1743 *Road Works Signing Code of Practice*, the provision of adequate barricading of works, including trenches of Service Authorities and any other road openings, sufficient to ensure public safety.

All relevant permits must be obtained from Council for works within the existing road reserves, in addition to the planning permit.

Waste Management conditions

33. Before the development starts, an amended Waste Management Plan to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. When approved, the Waste Management Plan will be endorsed and will then form part of the permit. The Waste Management Plan must be generally in accordance with the Waste Management Plan prepared by Leigh Design, dated 7 June 2024 but modified to:
 - a. Address the plans to be endorsed under Condition 1.
 - b. Base waste generation rates in Table 1.2 on Sustainability Victoria's Guide Waste Management and Recycling in Multi-unit Developments.
 - c. Provide chutes for all waste streams.
 - d. Apply full generation rates for organic waste.
 - e. Delete reference to allowing "certified compostable liners" to be used.
 - f. Ensure that the bin schedule and capacity of bins collection in Table 2 is sufficient for the waste generation of the residential properties based on

11.2 Planning Application 492/2017/P/D - 424-426 Nepean Highway, Frankston - Amend the planning permit to allow for the use and development of a fourteen storey building in a Commercial 1 Zone and Design and Development Overlay, Schedule 14 for retail and dwellings and the deletion of the serviced apartments**Officers' Assessment**

Sustainability Victoria's Guide Waste Management and Recycling in Multi-unit Developments.

- g. Provide an area for e-waste in the bin store for at least a 120L-240L MGB for residents in addition to the hard waste area allocated.

The provisions, recommendations and requirements of the endorsed Waste Management Plan must be implemented and complied with to the satisfaction of the Responsible Authority.

- 34. All waste generated by the development must be collected by a Private Waste Management Agency to the satisfaction of the responsible authority.
- 35. No goods must be stored or left exposed outside the building so as to be visible from any public road or thoroughfare.
- 36. No bin or receptacle or any form of rubbish or refuse shall be allowed to remain in view of the public and no odour shall be emitted from any receptacle so as to cause offence to persons outside the land.
- 37. The loading and unloading of goods from vehicles must only be carried out within the designated loading bay area on site.
- 38. Air-conditioning and other plant and equipment installed on or within the buildings must be so positioned and baffled that any noise emitted complies with the appropriate Australian Standards and EPA requirements.

Construction and Environment Management Plan

- 39. Prior to the commencement of the development, a Construction Management Plan must be submitted to and approved by the Responsible Authority. When approved the plan will be endorsed to form part of the permit. Any plans submitted must be consistent with all other documents approved as part of this permit. The information must be drawn to scale with dimensions and three copies must be provided. The Plan is to include details of the following:
 - a. Contact Numbers of responsible owner/contractor including emergency/24 hour mobile contact details.
 - b. Identification of possible environmental risks associated with development works.
 - c. Response measures and monitoring systems to minimise identified environmental risks, including but not limited to creek protection, vegetation protection, runoff, erosion, dust, litter, noise and light.
 - d. Location and specifications of sediment control devices on/off site.
 - e. Location and specification of surface water drainage controls.
 - f. Proposed drainage lines and flow control measures.
 - g. Location and specifications of fencing for the protection of trees and/or vegetation as required by the permit.
 - h. Location of all stockpiles and storage of building materials.
 - i. Location of parking for site workers and any temporary buildings or facilities.
 - j. Details to demonstrate compliance with relevant EPA guidelines.

11.2 Planning Application 492/2017/P/D - 424-426 Nepean Highway, Frankston - Amend the planning permit to allow for the use and development of a fourteen storey building in a Commercial 1 Zone and Design and Development Overlay, Schedule 14 for retail and dwellings and the deletion of the serviced apartments**Officers' Assessment**

- k. Target of recycling and re-using a minimum of 80% of construction and demolition waste by weight.
- l. Hours during which construction activity will take place.
- m. Traffic management plans that show proposed traffic control measures during construction, the heavy vehicle route to and from the site, loading bay/works zone and access and egress from the site.
- n. An Acid Sulphate Management Plan to manage any soil conditions identified in the Geotechnical Report endorsed under Condition 19.

The provisions, recommendations and requirements of the endorsed Construction Environmental Management Plan must be implemented and complied with to the satisfaction of the Responsible Authority.

Urban Design

40. All works on or facing the boundaries of adjoining properties must be finished and surface cleaned to a standard that is well presented to neighbouring properties in a manner to the satisfaction of the Responsible Authority.
41. Mailboxes shall be provided within the development to the satisfaction of the Responsible Authority and Australia Post.
42. All plumbing work, sewer pipes etc. associated with the building shall be concealed from general view.
43. Power and telephone lines to the development shall be placed underground from the main points of service outside the boundaries of the site.
44. All roof plant and equipment must be screened so as not to be visible from public areas.
45. Outdoor lighting must be provided, designed, baffled and located to the satisfaction of the Responsible Authority to prevent any adverse effect on neighbouring land.

Amenity

46. The amenity of the area must not be detrimentally affected by the use or development through the:-
 - a. Transport of materials, goods or commodities to or from the land.
 - b. Appearance of any building, works or materials.
 - c. Emission of noise, artificial light, vibration, smell, fumes, smoke, vapour, steam, soot, ash, dust, waste water, waste products, grit or oil.
 - d. Presence of vermin.
 - e. In any other way.to the satisfaction of the Responsible Authority.
47. Unless with the prior written consent of the Responsible Authority, the outdoor dining areas must only operate between the hours of:
 - a. Monday to Thursday: 8.00 am to 10.00 pm.
 - b. Friday and Saturday: 8.00 am to 11.00 pm.

11.2 Planning Application 492/2017/P/D - 424-426 Nepean Highway, Frankston - Amend the planning permit to allow for the use and development of a fourteen storey building in a Commercial 1 Zone and Design and Development Overlay, Schedule 14 for retail and dwellings and the deletion of the serviced apartments**Officers' Assessment**

- c. Sunday and public holidays: 8.00 am to 10:00 pm.

Noise

48. Noise emissions from the premises must comply with the requirements of EPA Publication 1826/4 'Noise limit and assessment protocol for the control of noise from commercial, industrial and trade premises and entertainment venues Part II' to the satisfaction of the Responsible Authority.
49. No external sound amplification equipment or loudspeakers are to be used for the purpose of announcement, broadcast, playing of music or similar purpose, except for emergency broadcast, announcement, alarm and siren (including testing).

Completion of Buildings and Works

50. Once the development has started it must be continued and completed to the satisfaction of the Responsible Authority.

Completion Prior to Occupancy

51. Unless with the further written consent of the responsible authority, the building must not be occupied until all buildings and works as shown on the endorsed plans have been completed to the satisfaction of the responsible authority.

Melbourne Water

52. The Finished Floor Levels (FFLs) of all ground floor areas, including all lift and stair lobbies, must be set no lower than 3.0 metres to Australian Height Datum (AHD) (with the exception of transitional areas containing landings, steps or ramps to the satisfaction of Melbourne Water), which is 600mm above the applicable flood level of 2.4m to AHD.
53. All doors, windows, vents, openings and access points to the basement that could allow entry of floodwaters to the basement levels, must be set no lower than 3.0 metres to Australian Height Datum, which is 600mm above the applicable flood level of 2.4m to AHD.
54. Prior to the commencement of works a separate application to Melbourne Water must be made and approved of any new or modified storm water connection to Melbourne Water's drains or watercourses. Prior to accepting an application, evidence must be provided demonstrating that Council considers that it is not feasible to connect to the local drainage system.

Permit Expiry

55. This permit will expire if:
- The development has not started within three (3) years of the date of this permit.
 - The development is not completed within five (5) years of the date of this permit.
- In accordance with Section 69 of the Planning and Environment Act 1987, an application may be submitted to the Responsible Authority for an extension of the periods referred to in this condition.

Notes

- A. Any request for an extension of time, or variation/amendment of this permit must be lodged with the relevant fee.

11.2 Planning Application 492/2017/P/D - 424-426 Nepean Highway, Frankston - Amend the planning permit to allow for the use and development of a fourteen storey building in a Commercial 1 Zone and Design and Development Overlay, Schedule 14 for retail and dwellings and the deletion of the serviced apartments**Officers' Assessment**

- B. Prior to the commencement of construction the operator of this planning permit must obtain a non-refundable Asset Protection Permit from Frankston City Council's Infrastructure Department.
- C. Any request for time extension of this Permit shall be lodged with the relevant administration fee at the time the request is made. Pursuant to Section 69 of the Planning and Environment Act 1987 the Responsible Authority may extend the periods referred to if a request is made in writing within the following prescribed timeframes:

- Before or within 6 months after the permit expiry date, where the use or development allowed by the permit has not yet started;
- Within 12 months after the permit expiry date, where the development allowed by the permit has lawfully started before the permit expires.

If a request is made out of time, the Responsible Authority cannot consider the request and the permit holder will not be able to apply to VCAT for a review of the matter.

- D. This permit was amended pursuant to section 74 of the *Planning and Environment Act 1987*, by:

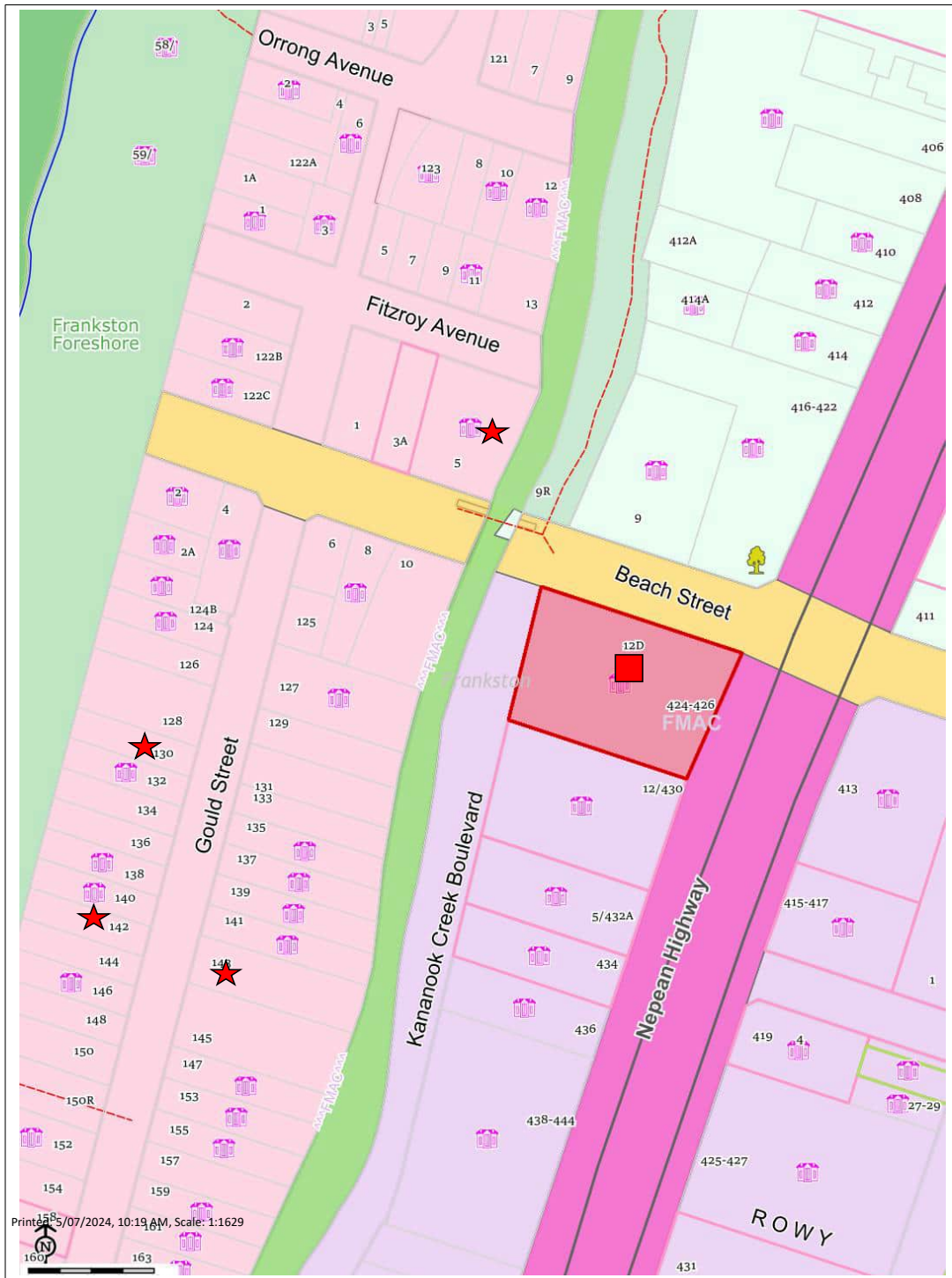
- An amendment to the permit preamble to state:
 - The use and development of the land for a multi-storey building for a fourteen storey building in a Commercial 1 Zone and Design and Development Overlay, Schedule 14 for retail and dwellings.
- The following amendments to the permit conditions:
 - An amendment to Condition 1 to replace the plan references "dated 17 August 2018, Reference 38004, TP-000, TP200-208, TP300-305, TP400-401, TP502 and TP700, Revision C" with "Drawing Nos. TP-200-TP213, TP300-TP303 and TP401-TP403, Revision 9, dated 04/06/2024."
 - Deletion of Condition 1a- 1e, 1g, 1i, 1m, 1o and 1p on the existing permit.
 - The inclusion of new Conditions 1q to 1l.
 - An amendment to Condition 3 in relation to the Landscape Plan.
 - The deletion of Conditions 7-13 which relate to the serviced apartments.
 - The inclusion of Condition 14 to require a Tree Protection Management Plan.
 - The inclusion of Conditions 15 and 16 in relation to a Sustainability Management Plan.
 - The inclusion of Condition 17 in relation to a Green Travel Plan.
 - The inclusion of Condition 18 in relation to a Reflected Glare Assessment.
 - The inclusion of Condition 19 in relation to a Geotechnical Report.
 - The inclusion of Condition 20 in relation to a Wind Assessment Report.

11.2 Planning Application 492/2017/P/D - 424-426 Nepean Highway, Frankston - Amend the planning permit to allow for the use and development of a fourteen storey building in a Commercial 1 Zone and Design and Development Overlay, Schedule 14 for retail and dwellings and the deletion of the serviced apartments

Officers' Assessment

- The renumbering of remaining conditions from 14-23 to 21-30.
- The inclusion of Condition 31 in relation to a security gate.
- The renumbering of the remaining conditions from 24-38 to 32- 46.
- An amendment to Condition 33 in relation to the Waste Management Plan.
- An amendment to Condition 39 in relation to the Construction and Environmental Management Plan.
- The inclusion of Conditions 47 in relation to hours of operation for outdoor dining.
- The inclusion of Conditions 48 and 49 in relation to noise.
- The renumbering of the remaining conditions from 39-40 to 50-51.
- The inclusion of Conditions 52-54 to address Melbourne Water's requirements.
- The renumbering of the remaining condition from 41 to 55.

Planning Application – 492/2017/P/D - 424-426 Nepean Highway, Frankston
Subject Site ■ Objectors ★ (28 of 32 not displayed)

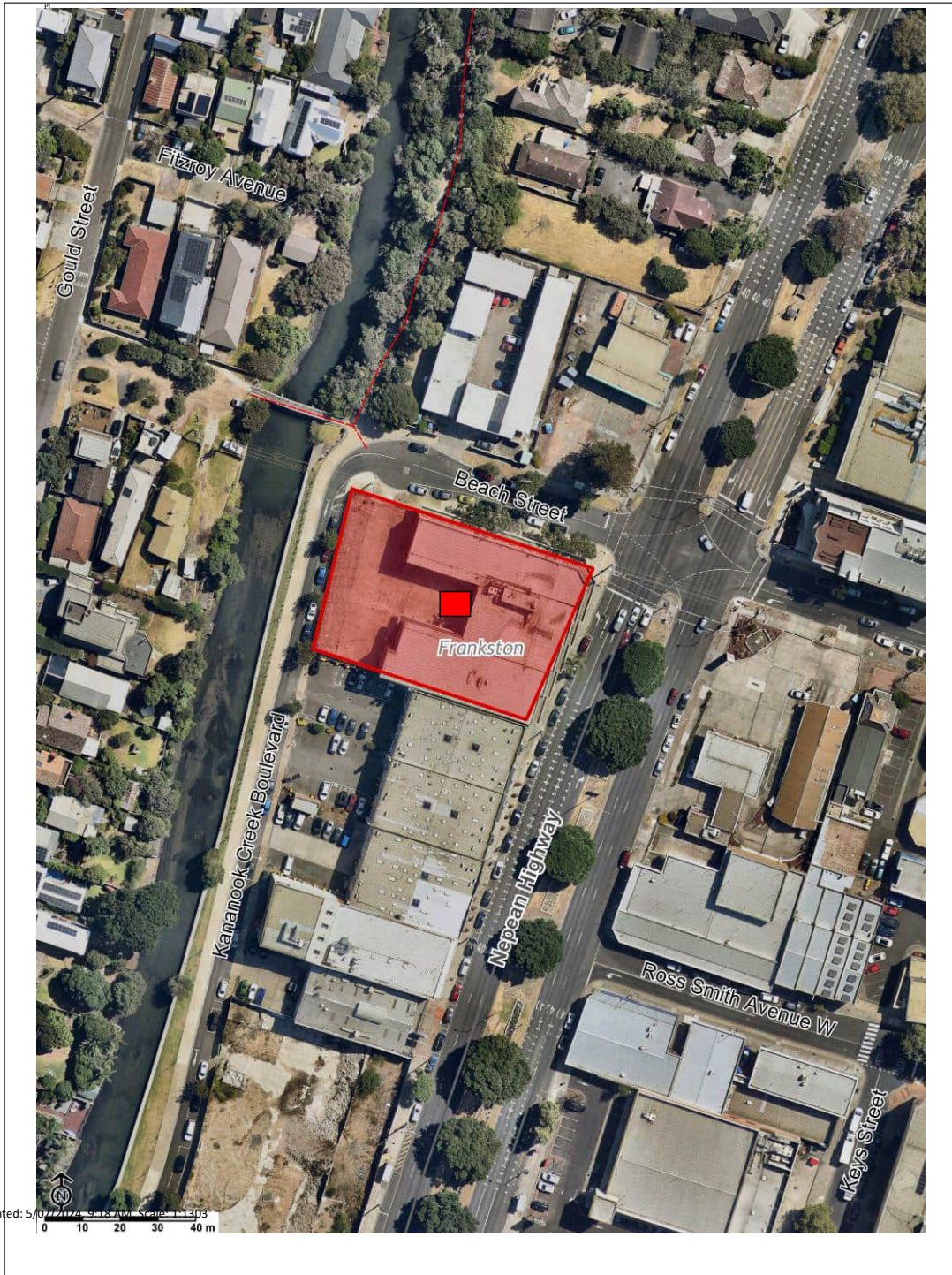


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Frankston City Council

Planning Application – 492/2017/P/D - 424-426 Nepean Highway, Frankston
Subject Site ■



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Frankston City Council

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424 -426 NEPEAN HIGHWAY, FRANKSTON

TOWN PLANNING

JOB N° : 42002 DATE : 04/06/2024

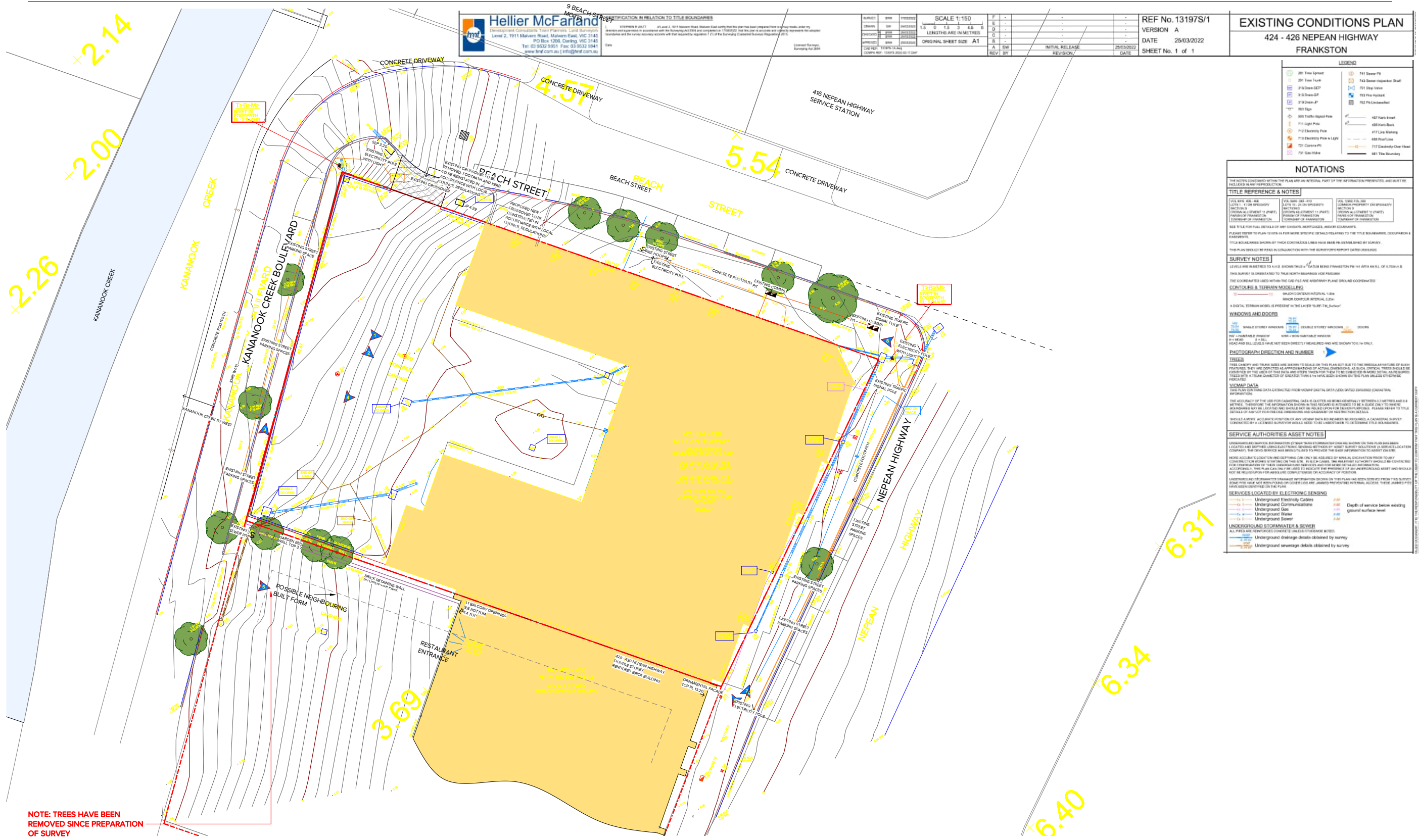
DWG. No.	NAME	REVISION
TP-112	SURVEY	9
TP-200	BASEMENT 02 PLAN	9
TP-201	BASEMENT 01 PLAN	9
TP-202	GROUND FLOOR PLAN	9
TP-203	LEVEL MEZZANINE PLAN	9
TP-204	LEVEL 01 PLAN	9
TP-205	LEVEL 02 PLAN	9
TP-206	LEVEL 03 PLAN	9
TP-207	LEVEL 04 PLAN	9
TP-208	LEVEL 05 PLAN	9
TP-208.1	LEVEL 06 PLAN	9
TP-208.2	LEVEL 07 PLAN	9
TP-208.3	LEVEL 08 PLAN	9
TP-209	LEVEL 09 PLAN	9
TP-210	LEVEL 10 PLAN	9
TP-211	LEVEL 11 PLAN	9
TP-212	LEVEL 12 PLAN	9
TP-213	ROOF PLAN	9
TP-300	NORTH ELEVATION	9
TP-301	EAST ELEVATION	9
TP-302	SOUTH ELEVATION	9
TP-303	WEST ELEVATION	9
TP-401	SECTION A - A	9
TP-402	SECTION B - B	9
TP-403	RAMP SECTION - HEADROOM CLEARANCES	9
TP-600	SHADOW DIAGRAMS - SPRING EQUINOX	9
TP-601	SHADOW DIAGRAMS - SPRING EQUINOX	9
TP-607	SHADOW DIAGRAMS - WINTER SOLSTICE	9
TP-701	EAST FACADE RENDER	9
TP-702	NORTH WEST RENDER	9
TP-704	WEST FACADE RENDER	9
TP-706	NORTH WEST CORNER RENDER	9
TP-708	NORTH PODIUM VIGNETTE	9
TP-800	MATERIAL SCHEDULE	9
TP-801	DEVELOPMENT SUMMARY	9



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REV	DATE	DESCRIPTION
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2	19/09/22	ISSUED FOR TOWNPLANNING
3	17/03/23	
4	24/03/23	
5	19/06/23	RESPONSE TO COUNCIL RFI
6	17/08/23	RESPONSE TO COUNCIL RFI
7	08/05/24	TOWNPLANNING
9	04/06/24	ISSUED FOR TOWNPLANNING - MW AHD 3.000



EXISTING CONDITIONS PLAN
424 - 426 NEPEAN HIGHWAY
FRANKSTON

LEGEND

201 Tree Spread	211 Sewer 75
201 Tree Trunk	212 Sewer Inspection Shaft
210 Down-SP	213 Sewer Valve
210 Down-CP	214 Manhole
210 Down-AP	215 Fire Hydrant
203 Sign	216 Fire Standoff
208 Traffic Signal Pole	217 Mark Inset
211 Light Pole	218 Mark Back
212 Sewer Pole	219 Lane Marking
213 Sewer Pole w/ Light	220 Mark Line
214 Camera Pole	221 Electrician/Chamber
215 Gas Valve	222 Title Boundary

NOTATIONS

THE NOTES CONTAINED WITHIN THIS PLAN ARE AN INTEGRAL PART OF THE INFORMATION PROVIDED AND MUST BE READ IN CONJUNCTION WITH THE PLAN.

TITLE REFERENCE & NOTES

THIS SURVEY IS CONDUCTED TO TRUE NORTH-BASIS AND PROVISIONS FOR THE COORDINATE SYSTEM AND BOUNDARY COORDINATES.

BOUNDARY COORDINATES

A DIGITAL TERRAIN MODEL IS PRESENT IN THE LAYER 'DEM-TM-Survey'.

WINDOWS AND DOORS

PHOTOGRAPH DIRECTION AND NUMBER

TREES

VEGETATION DATA

SURVEY AUTHORITIES ASSET NOTES

SERVICES LOCATED BY ELECTRONIC SENSING

UNDERGROUND UTILITIES & SEWER

NOTE: TREES HAVE BEEN REMOVED SINCE PREPARATION OF SURVEY



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7	08/05/24	TOWNPLANNING
8	28/05/24	MELBOURNE WATER AHD 3.000
9	04/06/24	ISSUED FOR TOWNPLANNING - MW AHD 3.000

PROJECT:
THE NEPEAN
424 - 426 Nepean Highway, Frankston

DRAWING TITLE:
SURVEY

DATE:	04/06/2024	JOB No:	42002
SCALE:		REVISION No:	9
DRAWN:	BHA	DRAWING STATUS:	TOWN PLANNING
DRAWING No:		DRAWING No:	TP-112



ESD SCHEDULE OF COMMITMENTS

- A 50,000L RAINWATER TANK WILL HARVEST RAINWATER FROM THE ROOFS AND LG BALCONIES. THIS TANK WILL BE CONNECTED TO ALL BASEMENT 1 TO LEVEL 3 WC'S. SUITABLE FILTRATION IS TO BE INTRODUCED AS RAINWATER IS COLLECTED OFF TRAFFICABLE AREAS.
- RESIDENTIAL UNITS MUST ACHIEVE AN AVERAGE STAR RATING OF 7 STARS WITH NO APARTMENT TO BE BELOW 5 STARS.
- DOUBLE GLAZING OR BETTER TO BE PROVIDED TO THE DEVELOPMENT.
- CENTRALISED HEAT PUMP HOT WATER SYSTEM.
- MIN. SKW SOLAR PV SYSTEM INSTALLED AT LG SERVICES ROOF FACING DUE NORTH AT A 10 DEGREE INCLINATION.
- SPLIT SYSTEMS IN HABITABLE AREAS TO ACHIEVE WITHIN A 1 STAR RATING OF BEST AVAILABLE UNDER MERS POST-OCTOBER 2015 MEASUREMENT STANDARDS.
- PROVISION FOR 24 SECURE BICYCLE SPACES FOR RESIDENTS.
- PROVISION FOR SEPARATE GENERAL, RECYCLING AND GREENWASTES WASTE STORAGE WILL BE PROVIDED IN ALL BIN ROOMS.
- PROVISION FOR 1 ELECTRICAL VEHICLE CHARGING POINT INTEGRATED IN PROPOSED DEVELOPMENT.
- PROVISION OF SUITABLE SHADING TO NORTH, EAST AND WEST ORIENTATED WINDOWS.
- 80 OUT OF 105 APARTMENTS ARE REQUIRED TO BE EFFECTIVELY NATURALLY VENTILATED.
- CURRENTLY: 44 APARTMENTS ARE ACHIEVING THIS VIA CROSS OR SINGLE SIDED VENTILATION.
- AN ADDITIONAL 19 APARTMENTS ARE TO BE PROVIDED WITH MECHANICALLY ASSISTED NATURAL VENTILATION.

EXISTING TREES TO BE RETAINED	1
EXISTING TREES TO BE REMOVED	0
PARKING NO. THIS LEVEL	58
RETAIL	0
RESIDENTIAL	58
TOTAL (ALL LEVELS)	190

WASTE STORAGE	RECYCLING	0
	GENERAL	0
	ORGANICS	0
	RFG	0
	RECYCLING - FUTURE GLASS	0
	COM R	0
	COMMERCIAL RECYCLING	0
	COM G	0
	COMMERCIAL GENERAL	0
	COM O	0
	COMMERCIAL ORGANICS	0
	COM R FG	0
	COMMERCIAL RECYCLING - FUTURE GLASS	0

NOTES:
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7	08/05/24	TOWNPLANNING
9	04/06/24	ISSUED FOR TOWNPLANNING - MW AHD 3.000



PROJECT:
THE NEPEAN
424 - 426 Nepean Highway, Frankston

DRAWING TITLE:
BASEMENT 02 PLAN

DATE: 04/06/2024 JOB No: 42002

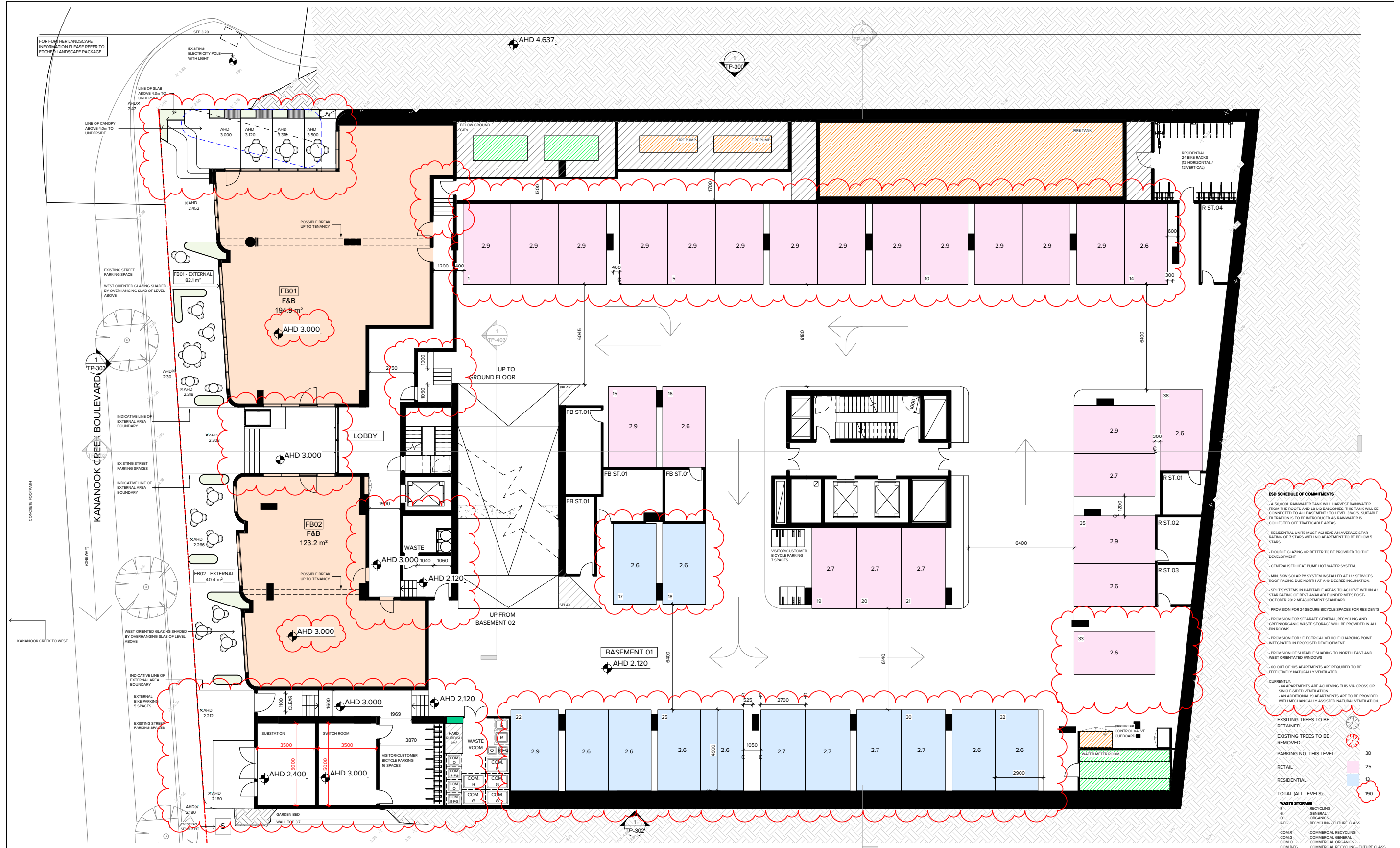
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DRAWN: BHA

DRAWING STATUS: TOWN PLANNING DRAWING No: TP-200



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ESD SCHEDULE OF COMMITMENTS

- A 50,000L RAINWATER TANK WILL HARVEST RAINWATER FROM THE ROOFS AND L&L BALCONIES. THIS TANK WILL BE CONNECTED TO ALL BASEMENT 1 TO LEVEL 3 WC'S. SUITABLE FILTRATION IS TO BE INTRODUCED AS RAINWATER IS COLLECTED OFF TRAFFICABLE AREAS
- RESIDENTIAL UNITS MUST ACHIEVE AN AVERAGE STAR RATING OF 7 STARS WITH NO APARTMENT TO BE BELOW 5 STARS
- DOUBLE GLAZING OR BETTER TO BE PROVIDED TO THE DEVELOPMENT
- CENTRALISED HEAT PUMP HOT WATER SYSTEM
- MIN. SKW SOLAR PV SYSTEM INSTALLED AT L10 SERVICES ROOF FACING DUE NORTH AT A 10 DEGREE INCLINATION
- SPLIT SYSTEMS IN HABITABLE AREAS TO ACHIEVE WITHIN A 1 STAR RATING OF BEST AVAILABLE UNDER MEPS POST-OCTOBER 2010 MEASUREMENT STANDARDS
- PROVISION FOR 24 SECURE BICYCLE SPACES FOR RESIDENTS
- PROVISION FOR SEPARATE GENERAL, RECYCLING AND GREENWASTES WASTE STORAGE WILL BE PROVIDED IN ALL BIN ROOMS
- PROVISION FOR 1 ELECTRICAL VEHICLE CHARGING POINT INTEGRATED IN PROPOSED DEVELOPMENT
- PROVISION OF SUITABLE SHADING TO NORTH, EAST AND WEST ORIENTED WINDOWS
- 80 OUT OF 105 APARTMENTS ARE REQUIRED TO BE EFFECTIVELY NATURALLY VENTILATED.
- CURRENTLY:
 - 44 APARTMENTS ARE ACHIEVING THIS VIA CROSS OR SINGLE SIDED VENTILATION
 - AN ADDITIONAL 19 APARTMENTS ARE TO BE PROVIDED WITH MECHANICALLY ASSISTED NATURAL VENTILATION

EXISTING TREES TO BE RETAINED	38
EXISTING TREES TO BE REMOVED	25
PARKING NO. THIS LEVEL	13
RETAIL	38
RESIDENTIAL	13
TOTAL (ALL LEVELS)	190

DATE:	04/06/2024	JOB No:	42002
SCALE:	1:100@A1	REVISION No:	9
DRAWN:	BHA	DRAWING STATUS:	TOWN PLANNING
DRAWING TITLE:	BASEMENT 01 PLAN	DRAWING No:	TP-201

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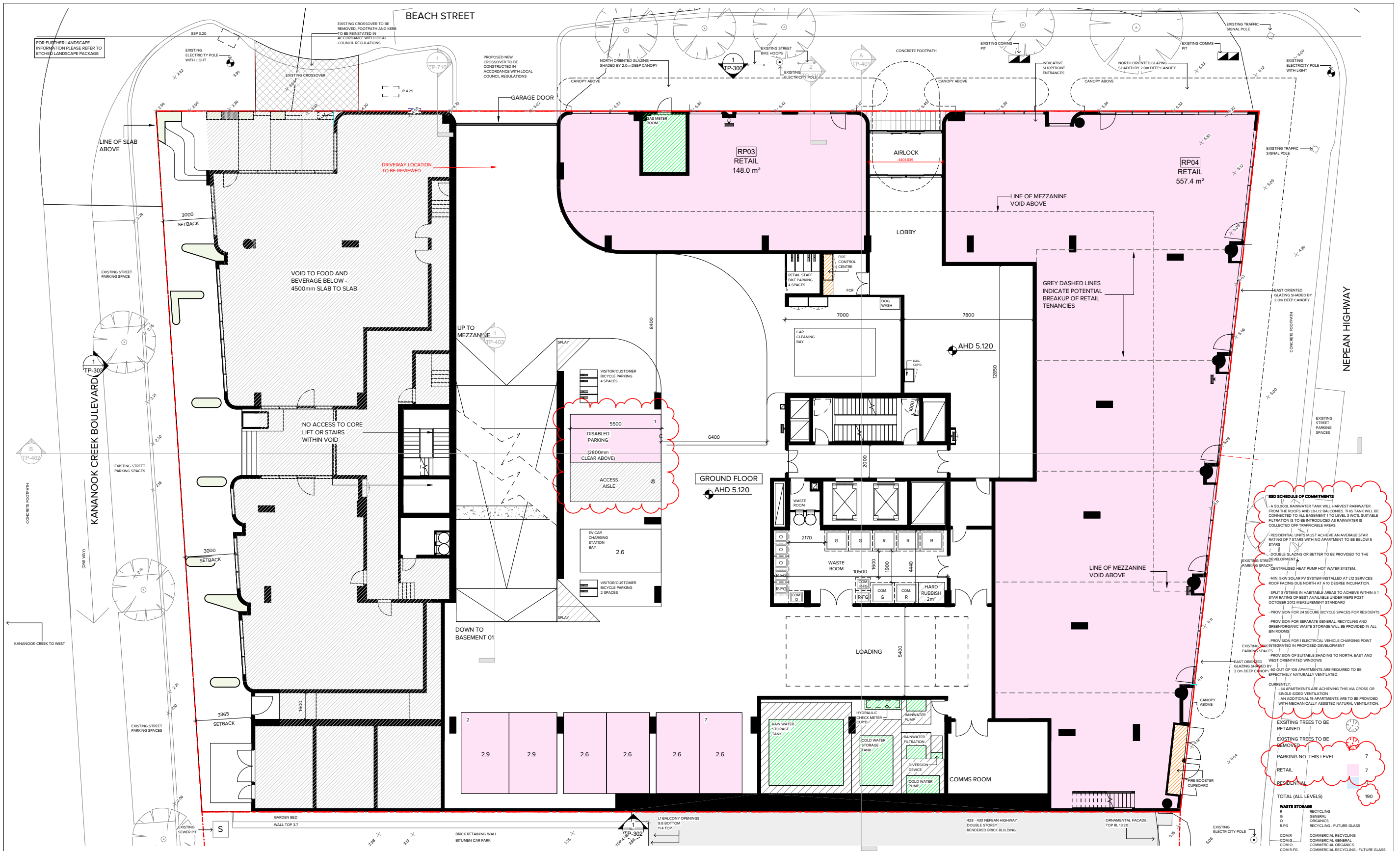
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REV	DATE	DESCRIPTION
1	12/04/22	ISSUED FOR TOWNPLANNING
2	19/09/22	ISSUED FOR TOWNPLANNING
3	17/03/23	
4	24/03/23	
5	19/06/23	RESPONSE TO COUNCIL RFI
6	17/08/23	RESPONSE TO COUNCIL RFI
7	08/05/24	TOWNPLANNING
8	28/05/24	MELBOURNE WATER AHD 3.000
9	04/06/24	ISSUED FOR TOWNPLANNING - MW AHD 3.000

PROJECT:
THE NEPEAN
424 - 426 Nepean Highway, Frankston

DRAWING TITLE:
BASEMENT 01 PLAN



ESD SCHEDULE OF COMMITMENTS

- A 50,000L RAINWATER TANK WILL HARVEST RAINWATER FROM THE ROOFS AND 18 x 1.0 BALCONIES. THIS TANK WILL BE CONNECTED TO ALL BASEMENT 1 TO LEVEL 3 WCs. SUITABLE FILTRATION IS TO BE INTRODUCED AS RAINWATER IS COLLECTED OFF TRAFFICABLE AREAS.
- RESIDENTIAL UNITS MUST ACHIEVE AN AVERAGE STAR RATING OF 7 STARS WITH NO APARTMENT TO BE BELOW 5 STARS.
- DESIGN GLAZING OR BETTER TO BE PROVIDED TO THE EXISTING DEVELOPMENT AND PARKING SPACES.
- CENTRALISED HEAT PUMP HOT WATER SYSTEM.
- MIN. SKY SOLAR PV SYSTEM INSTALLED AT LG SERVICES ROOF FACING DUE NORTH AT A 10 DEGREE INCLINATION.
- SPLIT SYSTEMS IN HABITABLE AREAS TO ACHIEVE WITHIN A 1 STAR RATING OF BEST AVAILABLE UNDER MEPS POST-OCTOBER 2015 MEASUREMENT STANDARDS.
- PROVISION FOR 24 SECURE BICYCLE SPACES FOR RESIDENTS.
- PROVISION FOR SEPARATE GENERAL, RECYCLING AND GREENWASTES WASTE STORAGE WILL BE PROVIDED IN ALL BIN ROOMS.
- PROVISION FOR ELECTRICAL VEHICLE CHARGING POINT PARKING SPACES.
- EXISTING ORIENTED GLAZING TO BE MAINTAINED.
- PROVISION OF SUITABLE SHADING TO NORTH, EAST AND WEST ORIENTED WINDOWS.
- EAST ORIENTED GLAZING SHADDED BY 2.0m DEEP CANOPY.
- WEST ORIENTED GLAZING TO BE EFFECTIVELY NATURALLY VENTILATED.
- CURRENTLY: 44 APARTMENTS ARE ACHIEVING THIS VIA CROSS OR SINGLE SIDED VENTILATION.
- AN ADDITIONAL 19 APARTMENTS ARE TO BE PROVIDED WITH MECHANICALLY ASSISTED NATURAL VENTILATION.

EXISTING TREES TO BE RETAINED

EXISTING TREES TO BE REMOVED

PARKING NO. THIS LEVEL

7

7

RESIDENTIAL

TOTAL (ALL LEVELS)

190

WASTE STORAGE

- R RECYCLING
- G GENERAL
- O ORGANICS
- RFG RECYCLING - FUTURE GLASS
- COM R COMMERCIAL RECYCLING
- COM G COMMERCIAL GENERAL
- COM O COMMERCIAL ORGANICS
- COM RFG COMMERCIAL RECYCLING - FUTURE GLASS



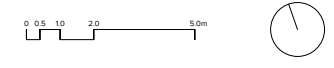
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2	19/09/22	ISSUED FOR TOWNPLANNING
3	17/03/23	
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PROJECT:
THE NEPEAN
424 - 426 Nepean Highway, Frankston

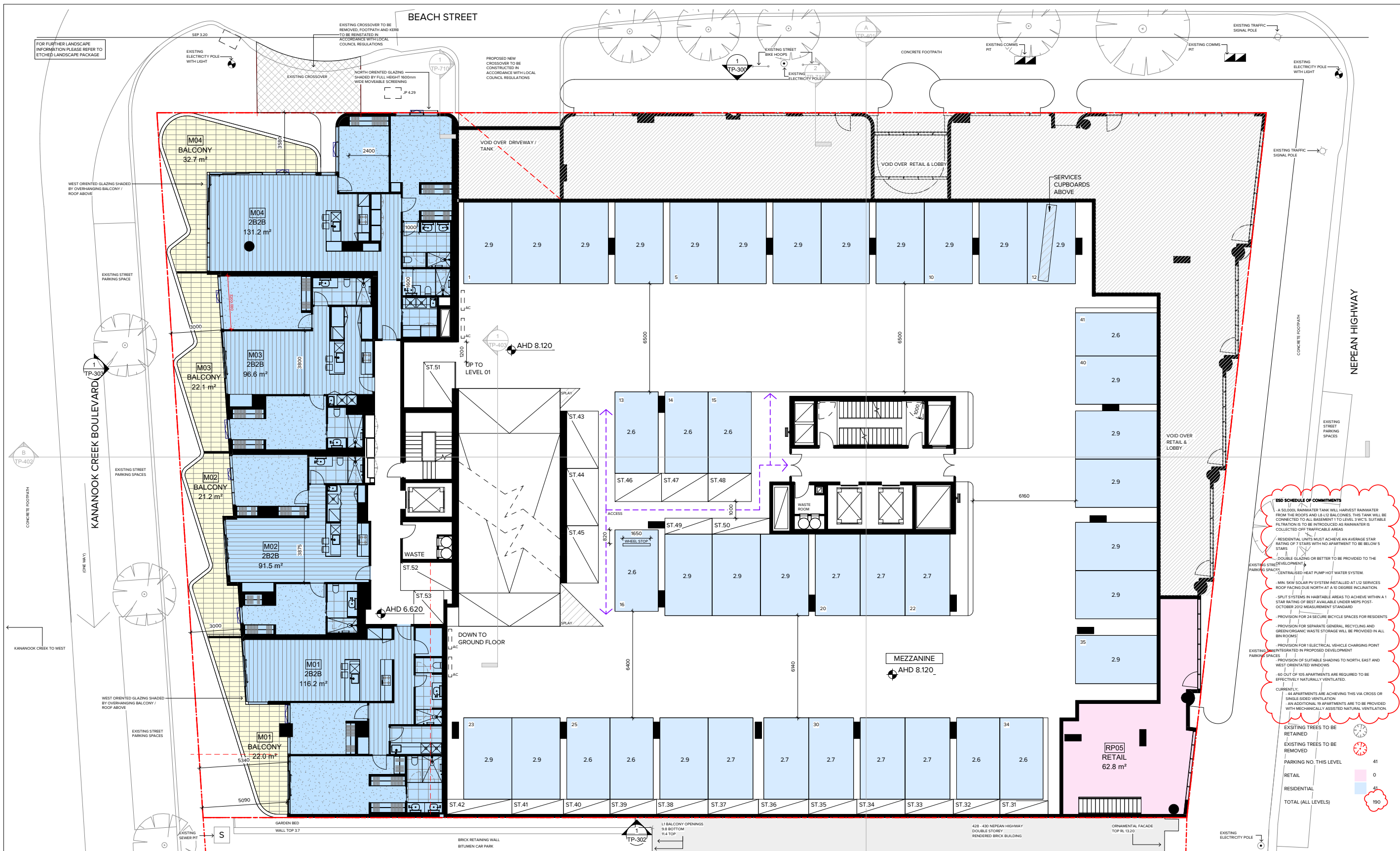
DRAWING TITLE:
GROUND FLOOR PLAN

DATE: 04/06/2024 **JOB No:** 42002

SCALE: 1:100@A1 **REVISION No:** 9

DRAWN: BHA

DRAWING STATUS: TOWN PLANNING **DRAWING No:** TP-202



EXISTING TREES TO BE RETAINED	41
EXISTING TREES TO BE REMOVED	0
PARKING NO. THIS LEVEL	41
RETAIL	0
RESIDENTIAL	190
TOTAL (ALL LEVELS)	190

BRUCE HENDERSON ARCHITECTS

MELBOURNE LONDON HANOI

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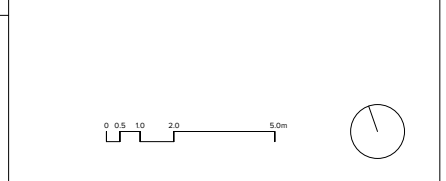
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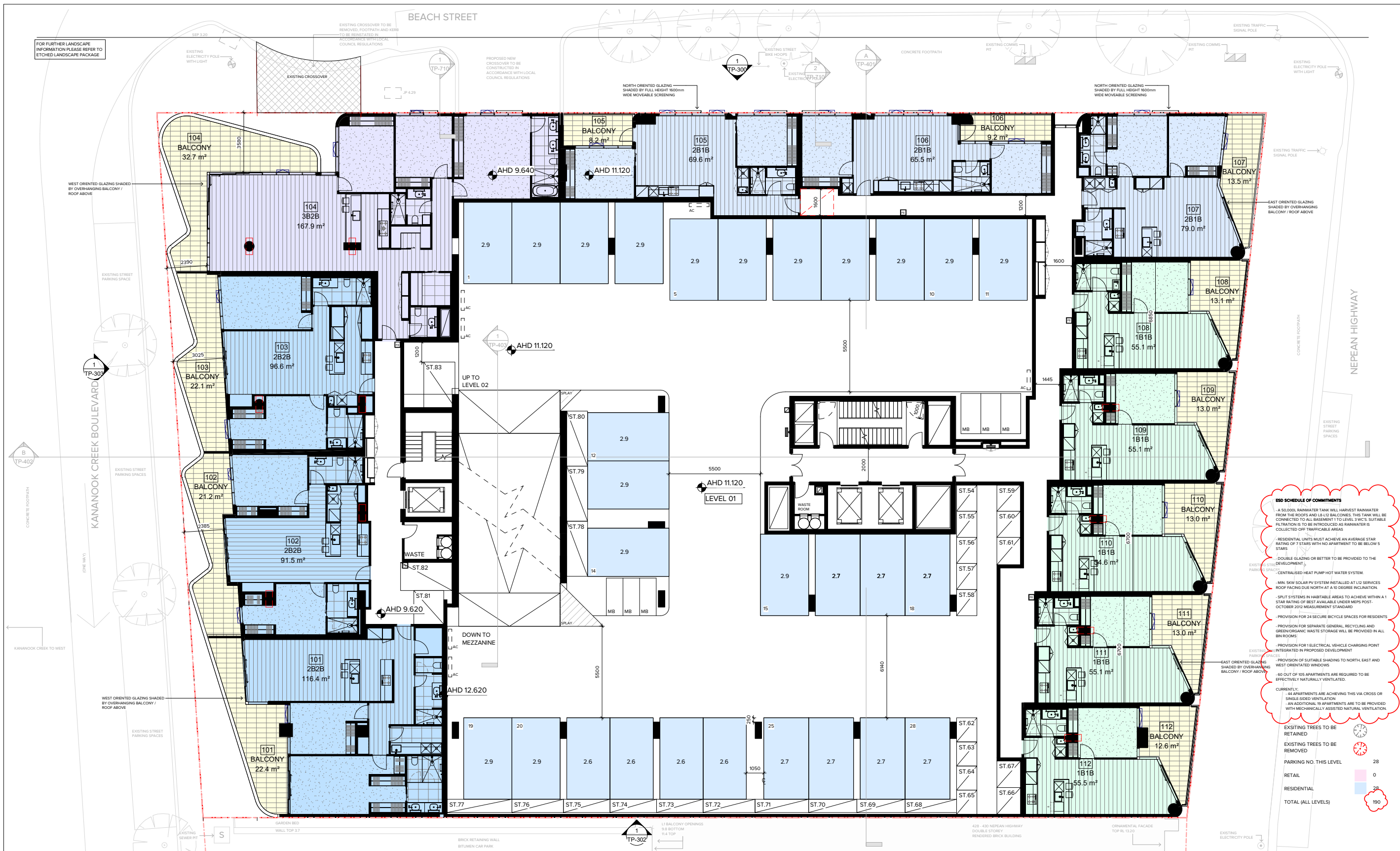
REV	DATE	DESCRIPTION
1	12/04/22	ISSUED FOR TOWNPLANNING
2	19/09/22	ISSUED FOR TOWNPLANNING
3	17/03/23	
4	24/03/23	
5	19/06/23	RESPONSE TO COUNCIL RFI
6	17/08/23	RESPONSE TO COUNCIL RFI
7	08/05/24	TOWNPLANNING
9	04/06/24	ISSUED FOR TOWNPLANNING - MW AHD 3.000



PROJECT:
THE NEPEAN
424 - 426 Nepean Highway, Frankston

DRAWING TITLE:
LEVEL MEZZANINE PLAN

DATE: 04/06/2024	JOB No: 42002
SCALE: 1:100@A1	REVISION No: 9
DRAWN: BHA	
DRAWING STATUS: TOWN PLANNING	DRAWING No: TP-203



ESD SCHEDULE OF COMMITMENTS

- A 50,000L RAINWATER TANK WILL HARVEST RAINWATER FROM THE ROOFS AND 18 TO BALCONIES. THIS TANK WILL BE CONNECTED TO ALL BASEMENT 1 TO LEVEL 3 WC'S. SUITABLE FILTRATION IS TO BE INTRODUCED AS RAINWATER IS COLLECTED OFF TRAFFICABLE AREAS.
- RESIDENTIAL UNITS MUST ACHIEVE AN AVERAGE STAR RATING OF 7 STARS WITH NO APARTMENT TO BE BELOW 5 STARS.
- DOUBLE GLAZING OR BETTER TO BE PROVIDED TO THE DEVELOPMENT.
- CENTRALISED HEAT PUMP HOT WATER SYSTEM.
- MINI SKY SOLAR PV SYSTEM INSTALLED AT LG SERVICES ROOF FACING DUE NORTH AT A 10 DEGREE INCLINATION.
- SPLIT SYSTEMS IN HABITABLE AREAS TO ACHIEVE WITHIN A 1 STAR RATING OF BEST AVAILABLE UNDER MEPS POST-OCTOBER 2015 MEASUREMENT STANDARDS.
- PROVISION FOR 24 SECURE BICYCLE SPACES FOR RESIDENTS.
- PROVISION FOR SEPARATE GENERAL, RECYCLING AND GREENWASTO/WASTE STORAGE WILL BE PROVIDED IN ALL BIN ROOMS.
- PROVISION FOR ELECTRICAL VEHICLE CHARGING POINT INTEGRATED IN PROPOSED DEVELOPMENT.
- PROVISION OF SUITABLE SHADING TO NORTH, EAST AND WEST ORIENTED WINDOWS.
- 80 OUT OF 105 APARTMENTS ARE REQUIRED TO BE EFFECTIVELY NATURALLY VENTILATED.
- CURRENTLY: 44 APARTMENTS ARE ACHIEVING THIS VIA CROSS OR SINGLE SIDED VENTILATION.
- AN ADDITIONAL 19 APARTMENTS ARE TO BE PROVIDED WITH MECHANICALLY ASSISTED NATURAL VENTILATION.

EXISTING TREES TO BE RETAINED

EXISTING TREES TO BE REMOVED

PARKING NO. THIS LEVEL

RETAIL

RESIDENTIAL

TOTAL (ALL LEVELS)

BRUCE HENDERSON ARCHITECTS

MELBOURNE LONDON HANOI

162 TOORAK ROAD SOUTH YARRA VICTORIA 3141

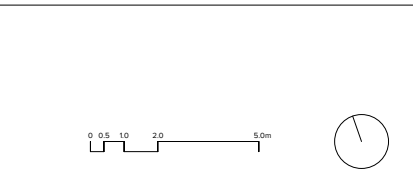
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NOTES:
Do not scale. All drawings, layouts and area calculations are indicative only and are subject to approval by the relevant Authorities and alterations due to Design Development. Drawings are not to be used for construction. All apartment and balcony areas are calculated as Gross Floor Area in accordance with the Method of Measurement for Residential Property as published by the Property Council of Australia.

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REV	DATE	DESCRIPTION
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2	19/09/22	ISSUED FOR TOWNPLANNING
3	17/03/23	
4	24/03/23	
5	19/06/23	RESPONSE TO COUNCIL RFI
6	17/08/23	RESPONSE TO COUNCIL RFI
7	08/05/24	TOWNPLANNING
9	04/06/24	ISSUED FOR TOWNPLANNING - MW AHD 3.000



PROJECT:
THE NEPEAN
424 - 426 Nepean Highway, Frankston

DRAWING TITLE:
LEVEL 01 PLAN

DATE: 04/06/2024 JOB No: 42002

SCALE: 1:100@A1 REVISION No: 9

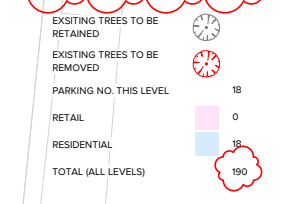
DRAWN: BHA

DRAWING STATUS: TOWN PLANNING DRAWING No: TP-204



ESD SCHEDULE OF COMMITMENTS

- A 50,000L RAINWATER TANK WILL HARVEST RAINWATER FROM THE ROOFS AND 18 TO BALCONIES. THIS TANK WILL BE CONNECTED TO ALL BASEMENT 1 TO LEVEL 3 WC'S. SUITABLE FILTRATION IS TO BE INTRODUCED AS RAINWATER IS COLLECTED OFF TRAFFICABLE AREAS.
- RESIDENTIAL UNITS MUST ACHIEVE AN AVERAGE STAR RATING OF 7 STARS WITH NO APARTMENT TO BE BELOW 5 STARS.
- DOUBLE GLAZING OR BETTER TO BE PROVIDED TO THE DEVELOPMENT.
- CENTRALISED HEAT PUMP HOT WATER SYSTEM.
- MINI SKY SOLAR PV SYSTEM INSTALLED AT LG SERVICES ROOF FACING DUE NORTH AT A 10 DEGREE INCLINATION.
- SPLIT SYSTEMS IN HABITABLE AREAS TO ACHIEVE WITHIN A 1 STAR RATING OF BEST AVAILABLE UNDER MEPS POST-OCTOBER 2015 MEASUREMENT STANDARDS.
- PROVISION FOR 24 BICYCLE SPACES FOR RESIDENTS.
- PROVISION FOR SEPARATE GENERAL, RECYCLING AND GREENWASTES WASTE STORAGE WILL BE PROVIDED IN ALL BIN ROOMS.
- PROVISION FOR ELECTRICAL VEHICLE CHARGING POINT.
- EXISTING TREES INTEGRATED IN PROPOSED DEVELOPMENT.
- EAST ORIENTED GLAZING SHADING BY OVERHANGING BALCONY / ROOF ABOVE.
- 80 OUT OF 105 APARTMENTS ARE REQUIRED TO BE EFFECTIVELY NATURALLY VENTILATED.
- CURRENTLY: 44 APARTMENTS ARE ACHIEVING THIS VIA CROSS OR SINGLE SIDED VENTILATION. AN ADDITIONAL 19 APARTMENTS ARE TO BE PROVIDED WITH MECHANICALLY ASSISTED NATURAL VENTILATION.



BRUCE HENDERSON ARCHITECTS

MELBOURNE
LONDON
HANOI

162 TOORAK ROAD
SOUTH YARRA VICTORIA 3141

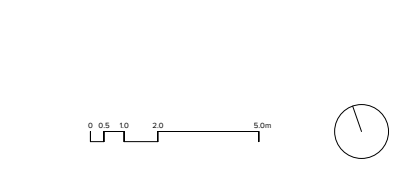
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5	19/06/23	RESPONSE TO COUNCIL RFI
6	17/08/23	RESPONSE TO COUNCIL RFI
7	08/05/24	TOWNPLANNING
9	04/06/24	ISSUED FOR TOWNPLANNING - MW AHD 3.000



PROJECT:
THE NEPEAN
424 - 426 Nepean Highway, Frankston

DRAWING TITLE:
LEVEL 02 PLAN

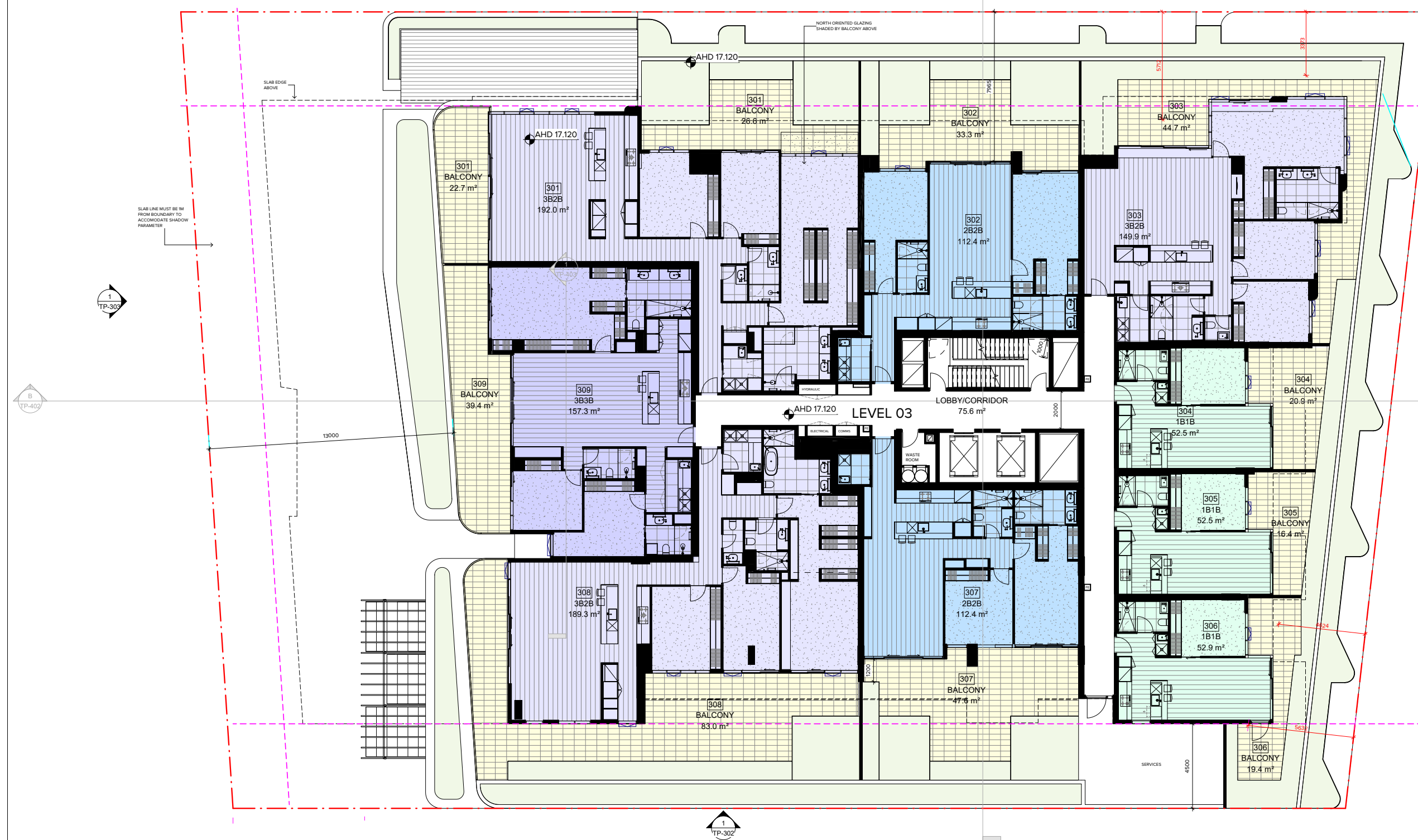
DATE: 04/06/2024 JOB No: 42002

SCALE: 1:100@A1 REVISION No: 9

DRAWN: BHA

DRAWING STATUS: TOWN PLANNING DRAWING No: TP-205

FOR FURTHER LANDSCAPE INFORMATION PLEASE REFER TO ETCHED LANDSCAPE PACKAGE



ESD SCHEDULE OF COMMENTS

- A 50,000L RAINWATER TANK WILL HARVEST RAINWATER FROM THE ROOFS AND LB10 BALCONIES. THIS TANK WILL BE CONNECTED TO ALL BASEMENT 1 TO LEVEL 3 WCs. SUITABLE FILTRATION IS TO BE INTRODUCED AS RAINWATER IS COLLECTED OFF TRAFFICABLE AREAS.
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 - AN ADDITIONAL 19 APARTMENTS ARE TO BE PROVIDED WITH MECHANICALLY ASSISTED NATURAL VENTILATION.

BRUCE HENDERSON ARCHITECTS

MELBOURNE LONDON HANOI

162 TOORAK ROAD SOUTH YARRA VICTORIA 3141

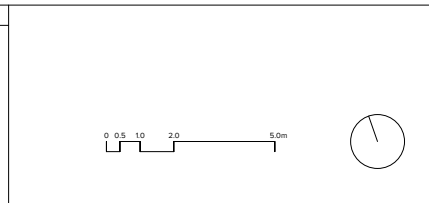
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4	24/03/23	
5	19/06/23	RESPONSE TO COUNCIL RFI
6	17/08/23	RESPONSE TO COUNCIL RFI
7	08/05/24	TOWNPLANNING
8	28/05/24	MELBOURNE WATER AHD 3.000
9	04/06/24	ISSUED FOR TOWNPLANNING - MW AHD 3.000



PROJECT:
THE NEPEAN
424 - 426 Nepean Highway, Frankston

DRAWING TITLE:
LEVEL 03 PLAN

DATE: 04/06/2024 JOB No: 42002

SCALE: 1:100@A1 REVISION No: 9

DRAWN: BHA

DRAWING STATUS: TOWN PLANNING DRAWING No: TP-206



ESD SCHEDULE OF COMMENTS

- A 50,000L RAINWATER TANK WILL HARVEST RAINWATER FROM THE ROOFS AND LB10 BALCONIES. THIS TANK WILL BE CONNECTED TO ALL BASEMENT 1 TO LEVEL 3 WC'S. SUITABLE FILTRATION IS TO BE INTRODUCED AS RAINWATER IS COLLECTED OFF TRAFFICABLE AREAS.
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 - AN ADDITIONAL 19 APARTMENTS ARE TO BE PROVIDED WITH MECHANICALLY ASSISTED NATURAL VENTILATION.

BRUCE HENDERSON ARCHITECTS

MELBOURNE LONDON HANOI

162 TOORAK ROAD SOUTH YARRA VICTORIA 3141

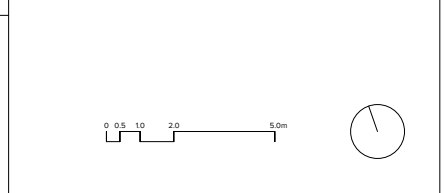
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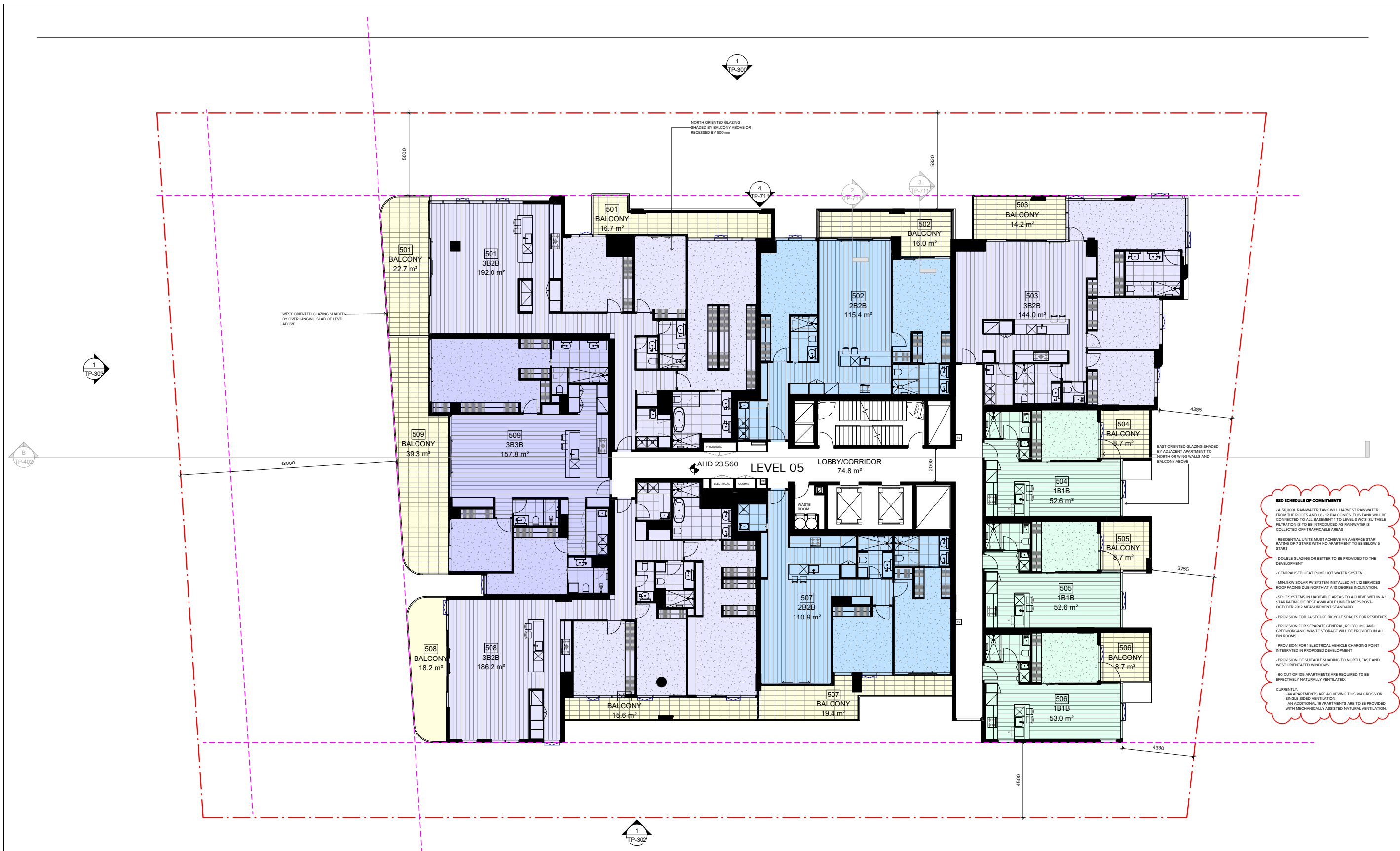
REV	DATE	DESCRIPTION
1	12/04/22	ISSUED FOR TOWNPLANNING
2	19/09/22	ISSUED FOR TOWNPLANNING
3	17/03/23	
4	24/03/23	
5	19/06/23	RESPONSE TO COUNCIL RFI
6	17/08/23	RESPONSE TO COUNCIL RFI
7	08/05/24	TOWNPLANNING
8	28/05/24	MELBOURNE WATER AHD 3.000
9	04/06/24	ISSUED FOR TOWNPLANNING - MW AHD 3.000



PROJECT:
THE NEPEAN
424 - 426 Nepean Highway, Frankston

DRAWING TITLE:
LEVEL 04 PLAN

DATE: 04/06/2024	JOB No: 42002
SCALE: 1:100@A1	REVISION No: 9
DRAWN: BHA	
DRAWING STATUS: TOWN PLANNING	DRAWING No: TP-207



ESD SCHEDULE OF COMMITMENTS

- A 50,000L RAINWATER TANK WILL HARVEST RAINWATER FROM THE ROOFS AND LB12 BALCONIES. THIS TANK WILL BE CONNECTED TO ALL BASEMENT 1 TO LEVEL 3 WCs. SUITABLE FILTRATION IS TO BE INTRODUCED AS RAINWATER IS COLLECTED OFF TRAFFICABLE AREAS.
- RESIDENTIAL UNITS MUST ACHIEVE AN AVERAGE STAR RATING OF 7 STARS WITH NO APARTMENT TO BE BELOW 5 STARS.
- DOUBLE GLAZING OR BETTER TO BE PROVIDED TO THE DEVELOPMENT.
- CENTRALISED HEAT PUMP HOT WATER SYSTEM.
- MIN. 5KW SOLAR PV SYSTEM INSTALLED AT LG SERVICES ROOF FACING DUE NORTH AT A 10 DEGREE INCLINATION.
- SPLIT SYSTEMS IN HABITABLE AREAS TO ACHIEVE WITHIN A 1 STAR RATING OF BEST AVAILABLE UNDER MEPS POST-OCTOBER 2015 MEASUREMENT STANDARDS.
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BRUCE HENDERSON ARCHITECTS

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REV	DATE	DESCRIPTION
1	12/04/22	ISSUED FOR TOWNPLANNING
2	19/09/22	ISSUED FOR TOWNPLANNING
3	17/03/23	
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5	19/06/23	RESPONSE TO COUNCIL RFI
6	17/08/23	RESPONSE TO COUNCIL RFI
7	08/05/24	TOWNPLANNING
8	28/05/24	MELBOURNE WATER AHD 3.000
9	04/06/24	ISSUED FOR TOWNPLANNING - MW AHD 3.000

PROJECT:
THE NEPEAN
424 - 426 Nepean Highway, Frankston

DRAWING TITLE:
LEVEL 05 PLAN

DATE: 04/06/2024
JOB No: 42002

SCALE: 1:100@A1
REVISION No: 9

DRAWN: BHA

DRAWING STATUS: TOWN PLANNING
DRAWING No: TP-208

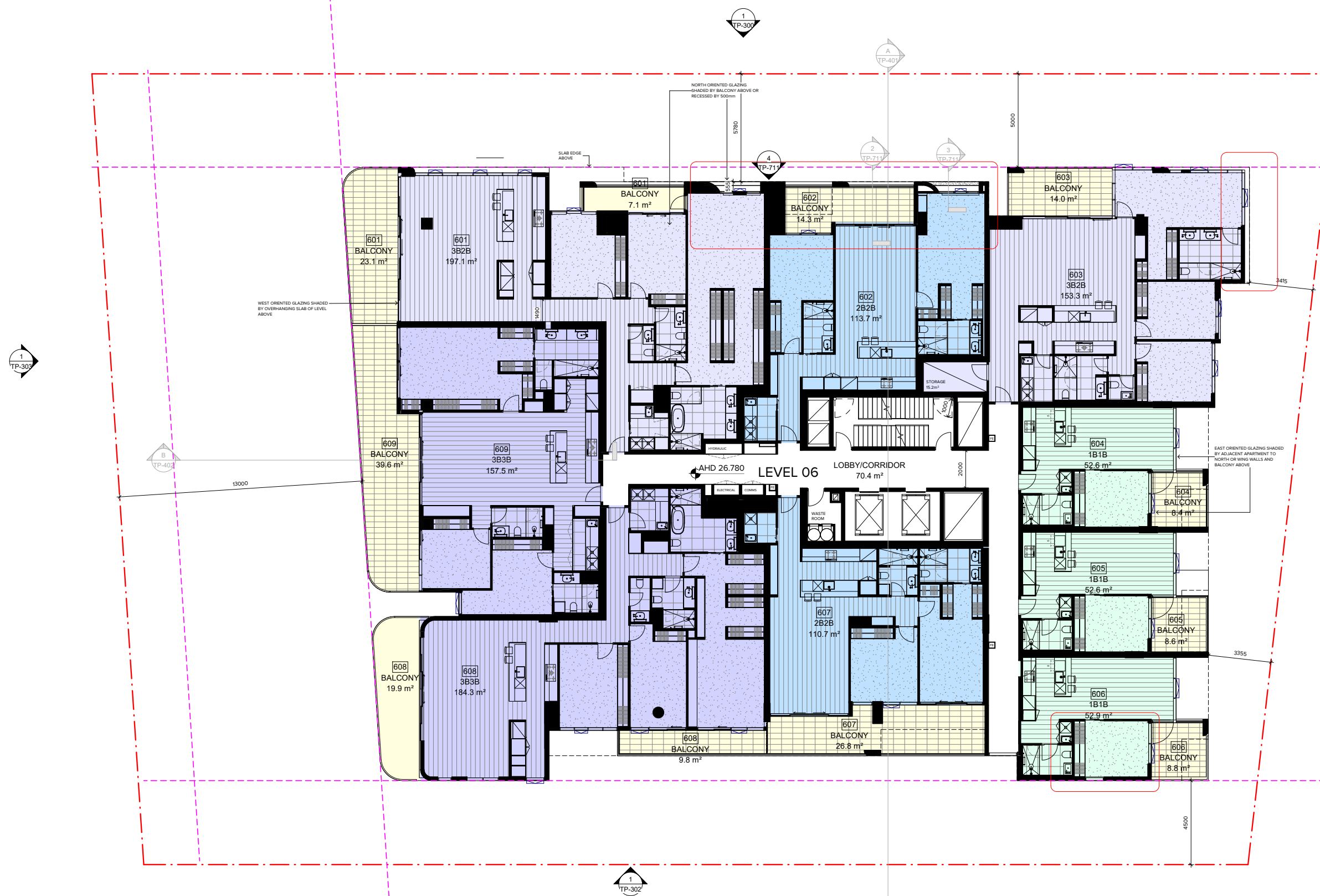
DATE	DESCRIPTION
12/04/22	ISSUED FOR TOWNPLANNING
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24/03/23	
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08/05/24	TOWNPLANNING
28/05/24	MELBOURNE WATER AHD 3.000
04/06/24	ISSUED FOR TOWNPLANNING - MW AHD 3.000

DATE: 04/06/2024
JOB No: 42002

SCALE: 1:100@A1
REVISION No: 9

DRAWN: BHA

DRAWING STATUS: TOWN PLANNING
DRAWING No: TP-208



ESD SCHEDULE OF COMMITMENTS

- A 50,000L RAINWATER TANK WILL HARVEST RAINWATER FROM THE ROOFS AND 18 TO BALCONIES. THIS TANK WILL BE CONNECTED TO ALL BASEMENT 1 TO LEVEL 3 WC'S. SUITABLE FILTRATION IS TO BE INTRODUCED AS RAINWATER IS COLLECTED OFF TRAFFICABLE AREAS.
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 - AN ADDITIONAL 19 APARTMENTS ARE TO BE PROVIDED WITH MECHANICALLY ASSISTED NATURAL VENTILATION.

BRUCE HENDERSON ARCHITECTS

MELBOURNE LONDON HANOI

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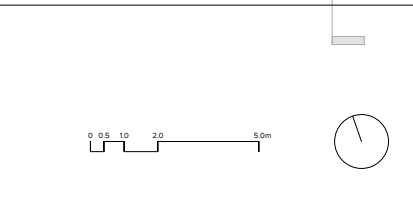
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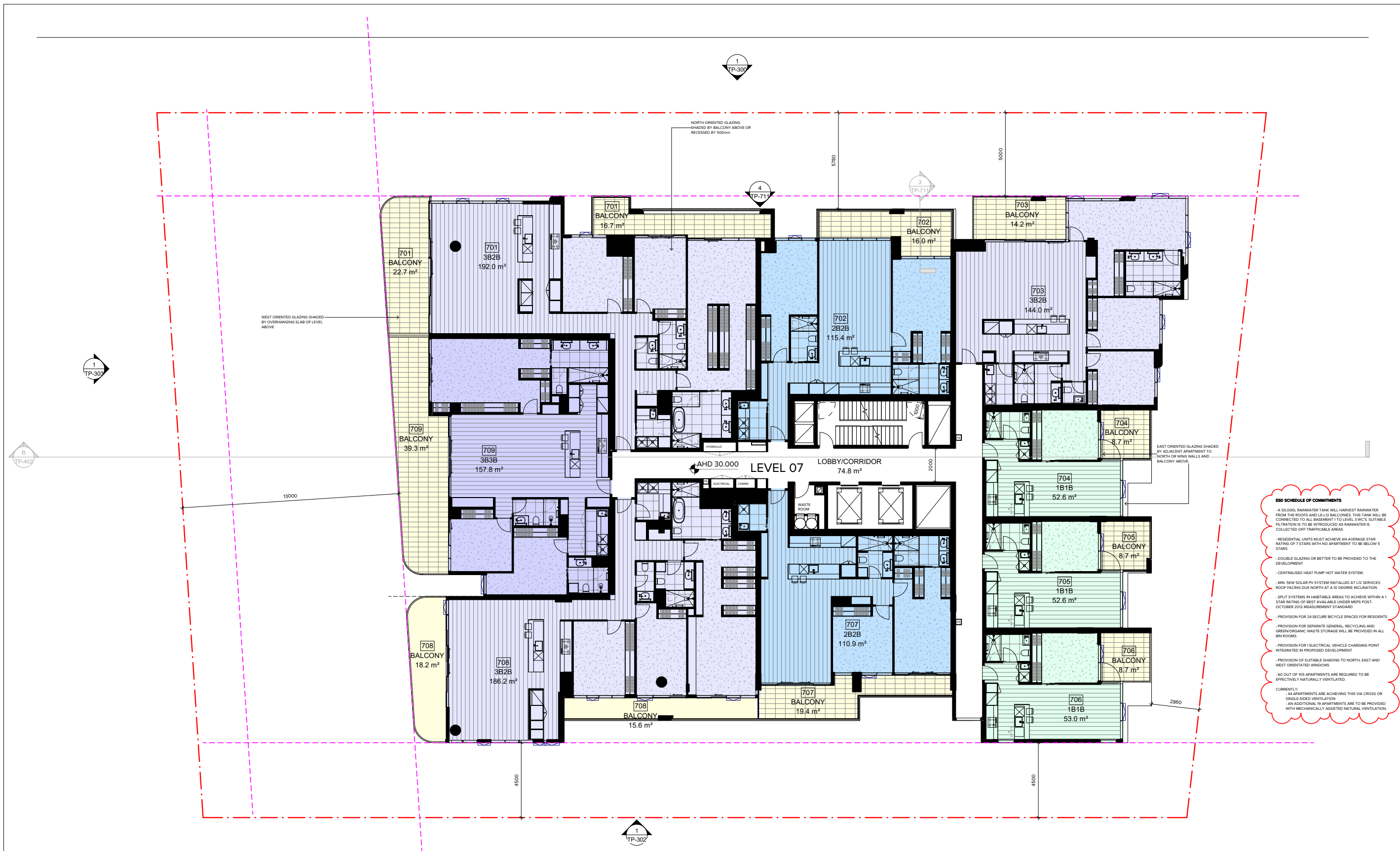
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9	04/06/24	ISSUED FOR TOWNPLANNING - MW AHD 3.000



PROJECT:
THE NEPEAN
424 - 426 Nepean Highway, Frankston

DRAWING TITLE:
LEVEL 06 PLAN

DATE: 04/06/2024	JOB No: 42002
SCALE: 1:100@A1	REVISION No: 9
DRAWN: BHA	
DRAWING STATUS: TOWN PLANNING	DRAWING No: TP-208.1



- ESD SCHEDULE OF COMMITMENTS**
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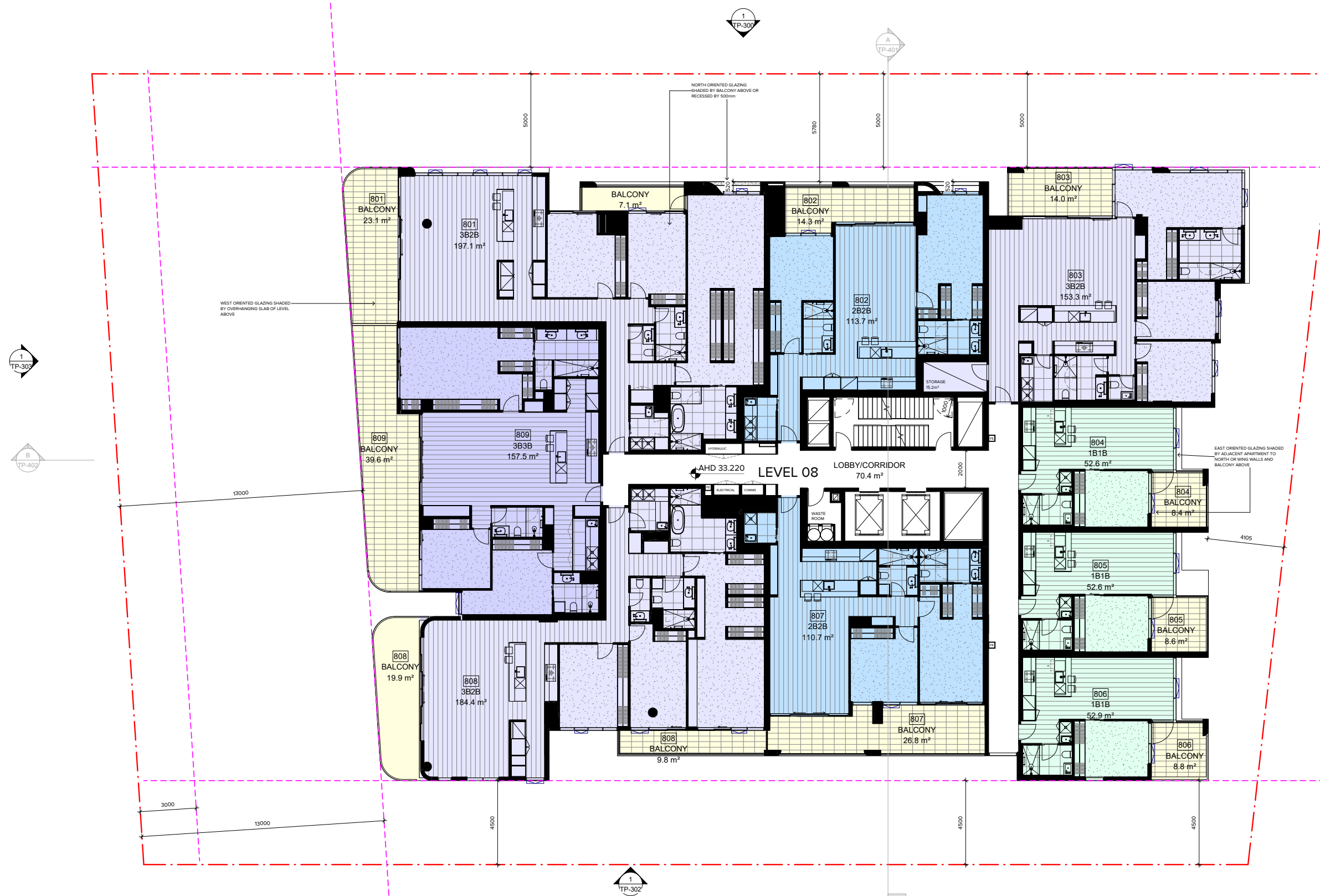
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REV	DATE	DESCRIPTION
1	12/04/22	ISSUED FOR TOWNPLANNING
2	19/09/22	ISSUED FOR TOWNPLANNING
3	17/03/23	
4	24/03/23	
5	19/06/23	RESPONSE TO COUNCIL RFI
6	17/08/23	RESPONSE TO COUNCIL RFI
7	08/05/24	TOWNPLANNING
8	28/05/24	MELBOURNE WATER AHD 3.000
9	04/06/24	ISSUED FOR TOWNPLANNING - MW AHD 3.000

PROJECT:
THE NEPEAN
424 - 426 Nepean Highway, Frankston

DRAWING TITLE:
LEVEL 07 PLAN

DATE: 04/06/2024	JOB No: 42002
SCALE: 1:100@A1	REVISION No: 9
DRAWN: BHA	
DRAWING STATUS: TOWN PLANNING	DRAWING No: TP-208.2



ESD SCHEDULE OF COMMENTS

- A 50,000L RAINWATER TANK WILL HARVEST RAINWATER FROM THE ROOFS AND 18 x 2 BALCONIES. THIS TANK WILL BE CONNECTED TO ALL BASEMENT 1 TO LEVEL 3 WC'S. SUITABLE FILTRATION IS TO BE INTRODUCED AS RAINWATER IS COLLECTED OFF TRAFFICABLE AREAS.
- RESIDENTIAL UNITS MUST ACHIEVE AN AVERAGE STAR RATING OF 7 STARS WITH NO APARTMENT TO BE BELOW 5 STARS.
- DOUBLE GLAZING OR BETTER TO BE PROVIDED TO THE DEVELOPMENT.
- CENTRALISED HEAT PUMP HOT WATER SYSTEM.
- MINI SKYW SOLAR PV SYSTEM INSTALLED AT LG SERVICES ROOF FACING DUE NORTH AT A 10 DEGREE INCLINATION.
- SPLIT SYSTEMS IN HABITABLE AREAS TO ACHIEVE WITHIN A 1 STAR RATING OF BEST AVAILABLE UNDER MEPS POST-OCTOBER 2015 MEASUREMENT STANDARDS.
- PROVISION FOR 24 SECURE BICYCLE SPACES FOR RESIDENTS
- PROVISION FOR SEPARATE GENERAL, RECYCLING AND GREENWASTES WASTE STORAGE WILL BE PROVIDED IN ALL BIN ROOMS
- PROVISION FOR ELECTRICAL VEHICLE CHARGING POINT INTEGRATED IN PROPOSED DEVELOPMENT
- PROVISION OF SUITABLE SHADING TO NORTH, EAST AND WEST ORIENTED WINDOWS
- 80 OUT OF 105 APARTMENTS ARE REQUIRED TO BE EFFECTIVELY NATURALLY VENTILATED.
- CURRENTLY:
 - 44 APARTMENTS ARE ACHIEVING THIS VIA CROSS OR SINGLE SIDED VENTILATION
 - AN ADDITIONAL 19 APARTMENTS ARE TO BE PROVIDED WITH MECHANICALLY ASSISTED NATURAL VENTILATION

BRUCE HENDERSON ARCHITECTS

MELBOURNE LONDON HANOI

162 TOORAK ROAD SOUTH YARRA VICTORIA 3141

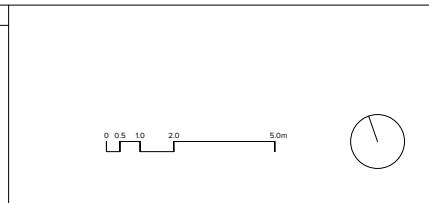
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3	17/03/23	
4	24/03/23	
5	19/06/23	RESPONSE TO COUNCIL RFI
6	17/08/23	RESPONSE TO COUNCIL RFI
7	08/05/24	TOWNPLANNING
8	28/05/24	MELBOURNE WATER AHD 3.000
9	04/06/24	ISSUED FOR TOWNPLANNING - MW AHD 3.000



PROJECT:
THE NEPEAN
424 - 426 Nepean Highway, Frankston

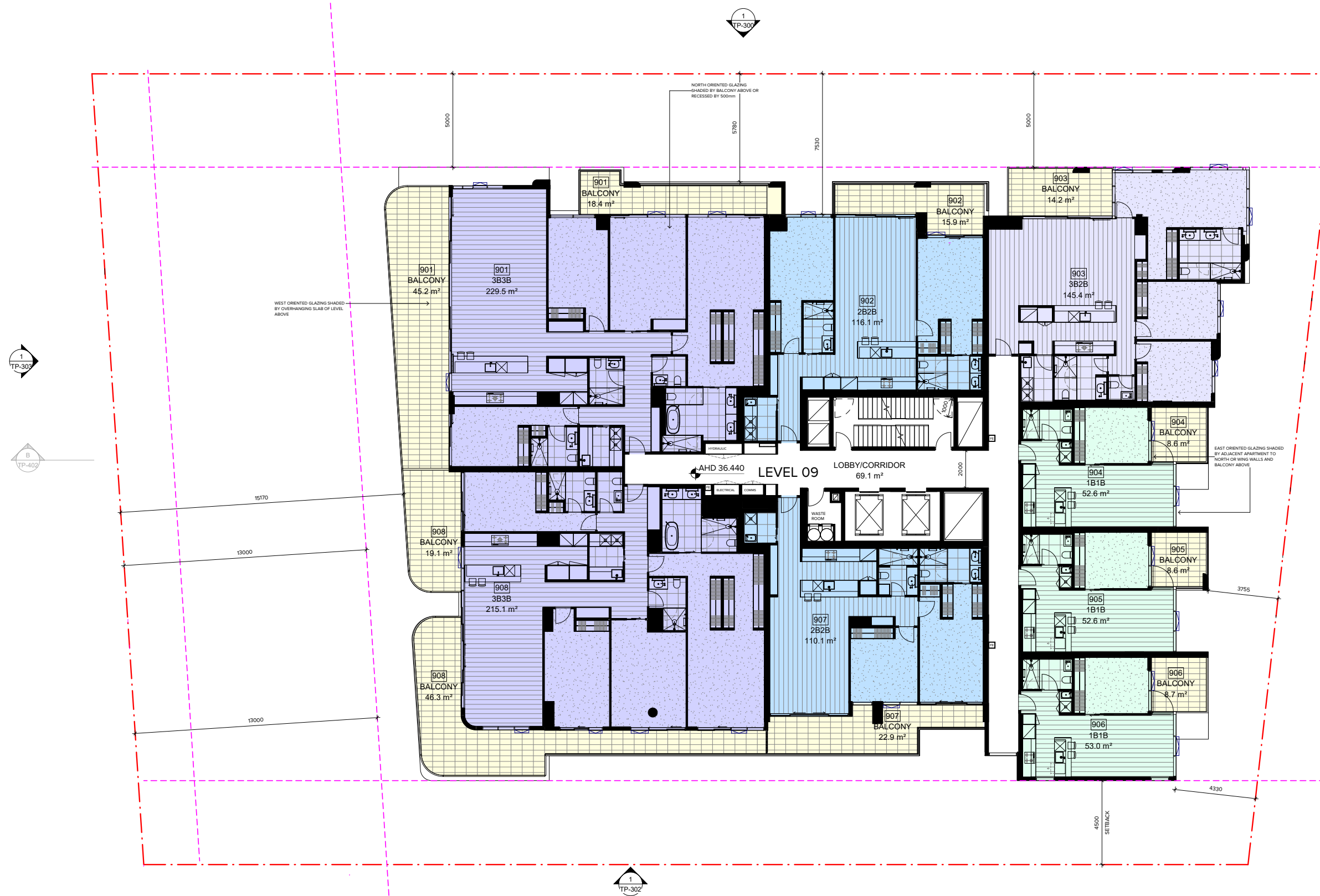
DRAWING TITLE:
LEVEL 08 PLAN

DATE: 04/06/2024 JOB No: 42002

SCALE: 1:100@A1 REVISION No: 9

DRAWN: BHA

DRAWING STATUS: TOWN PLANNING DRAWING No: TP-208.3



ESD SCHEDULE OF COMMITMENTS

- A 50,000L RAINWATER TANK WILL HARVEST RAINWATER FROM THE ROOFS AND BALCONIES. THIS TANK WILL BE CONNECTED TO ALL BASEMENT 1 TO LEVEL 3 WCs. SUITABLE FILTRATION IS TO BE INTRODUCED AS RAINWATER IS COLLECTED OFF TRAFFICABLE AREAS.
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CURRENTLY:
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 - AN ADDITIONAL 19 APARTMENTS ARE TO BE PROVIDED WITH MECHANICALLY ASSISTED NATURAL VENTILATION.

BRUCE HENDERSON ARCHITECTS
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6	17/08/23	RESPONSE TO COUNCIL RFI
7	08/05/24	TOWNPLANNING
8	28/05/24	MELBOURNE WATER AHD 3.000
9	04/06/24	ISSUED FOR TOWNPLANNING - MW AHD 3.000

PROJECT:
THE NEPEAN
 424 - 426 Nepean Highway, Frankston

DRAWING TITLE:
LEVEL 09 PLAN

SCALE: 0 0.5 1.0 2.0 5.0m

DATE: 04/06/2024
 SCALE: 1:100@A1
 DRAWN: BHA
 DRAWING STATUS: TOWN PLANNING

JOB No: 42002
 REVISION No: 9
 DRAWING No: TP-209



ESD SCHEDULE OF COMMITMENTS

- A 50,000L RAINWATER TANK WILL HARVEST RAINWATER FROM THE ROOFS AND BALCONIES. THIS TANK WILL BE CONNECTED TO ALL BASEMENT 1 TO LEVEL 3 WC'S. SUITABLE FILTRATION IS TO BE INTRODUCED AS RAINWATER IS COLLECTED OFF TRAFFICABLE AREAS.
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BRUCE HENDERSON ARCHITECTS

MELBOURNE LONDON HANOI

162 TOORAK ROAD SOUTH YARRA VICTORIA 3141

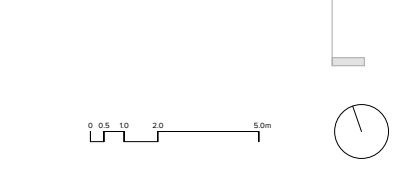
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7	08/05/24	TOWNPLANNING
8	28/05/24	MELBOURNE WATER AHD 3.000
9	04/06/24	ISSUED FOR TOWNPLANNING - MW AHD 3.000



PROJECT:
THE NEPEAN
424 - 426 Nepean Highway, Frankston

DRAWING TITLE:
LEVEL 10 PLAN

DATE: 04/06/2024	JOB No: 42002
SCALE: 1:100@A1	REVISION No: 9
DRAWN: BHA	
DRAWING STATUS: TOWN PLANNING	DRAWING No: TP-210



ESD SCHEDULE OF COMMITMENTS

- A 50,000L RAINWATER TANK WILL HARVEST RAINWATER FROM THE ROOFS AND 18 TO BALCONIES. THIS TANK WILL BE CONNECTED TO ALL BASEMENT 1 TO LEVEL 3 WCs. SUITABLE FILTRATION IS TO BE INTRODUCED AS RAINWATER IS COLLECTED OFF TRAFFICABLE AREAS.
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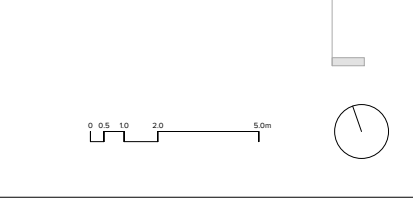
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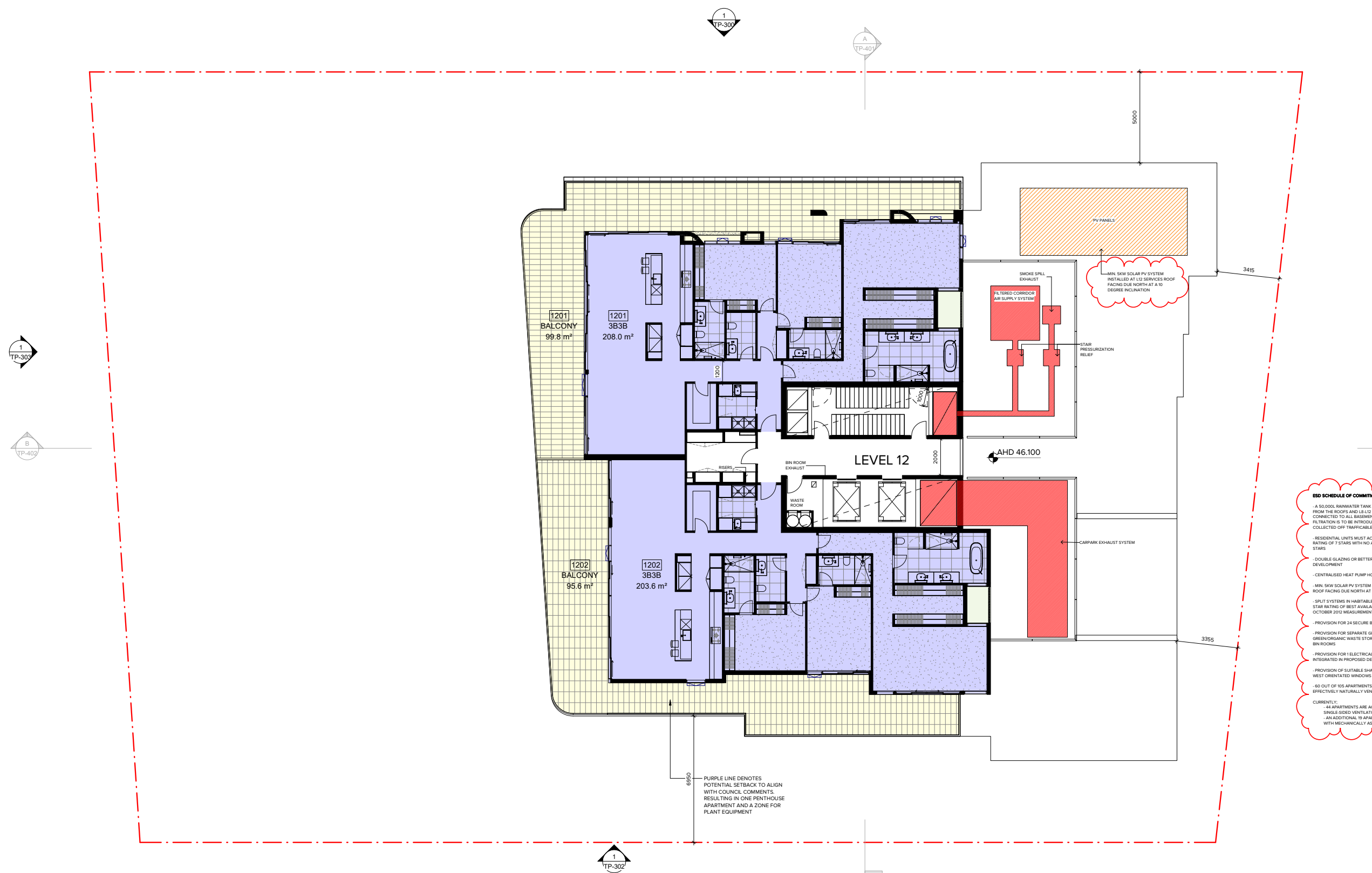
REV	DATE	DESCRIPTION
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3	17/03/23	
4	24/03/23	
5	19/06/23	RESPONSE TO COUNCIL RFI
6	17/08/23	RESPONSE TO COUNCIL RFI
7	08/05/24	TOWNPLANNING
8	28/05/24	MELBOURNE WATER AHD 3.000
9	04/06/24	ISSUED FOR TOWNPLANNING - MW AHD 3.000



PROJECT:
THE NEPEAN
 424 - 426 Nepean Highway, Frankston

DRAWING TITLE:
LEVEL 11 PLAN

DATE: 04/06/2024	JOB No: 42002
SCALE: 1:100@A1	REVISION No: 9
DRAWN: BHA	
DRAWING STATUS: TOWN PLANNING	DRAWING No: TP-211



ESD SCHEDULE OF COMMENTS

- A 50,000L RAINWATER TANK WILL HARVEST RAINWATER FROM THE ROOFS AND L12 BALCONIES. THIS TANK WILL BE CONNECTED TO ALL BASEMENT 1 TO LEVEL 3 WCs. SUITABLE FILTRATION IS TO BE INTRODUCED AS RAINWATER IS COLLECTED OFF TRAFFICABLE AREAS
- RESIDENTIAL UNITS MUST ACHIEVE AN AVERAGE STAR RATING OF 7 STARS WITH NO APARTMENT TO BE BELOW 5 STARS
- DOUBLE GLAZING OR BETTER TO BE PROVIDED TO THE DEVELOPMENT
- CENTRALISED HEAT PUMP HOT WATER SYSTEM
- MIN. SKW SOLAR PV SYSTEM INSTALLED AT L12 SERVICES ROOF FACING DUE NORTH AT A 10 DEGREE INCLINATION
- SPLIT SYSTEMS IN HABITABLE AREAS TO ACHIEVE WITHIN A 1 STAR RATING OF BEST AVAILABLE UNDER MEPS POST-OCTOBER 2015 MEASUREMENT STANDARDS
- PROVISION FOR 24 SECURE BICYCLE SPACES FOR RESIDENTS
- PROVISION FOR SEPARATE GENERAL, RECYCLING AND GREENWASTES WASTE STORAGE WILL BE PROVIDED IN ALL BIN ROOMS
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BRUCE HENDERSON ARCHITECTS

MELBOURNE LONDON HANOI

162 TOORAK ROAD SOUTH YARRA VICTORIA 3141

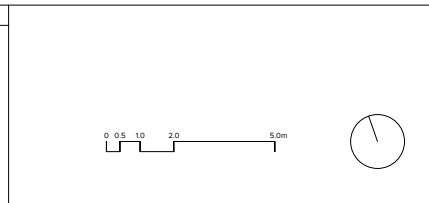
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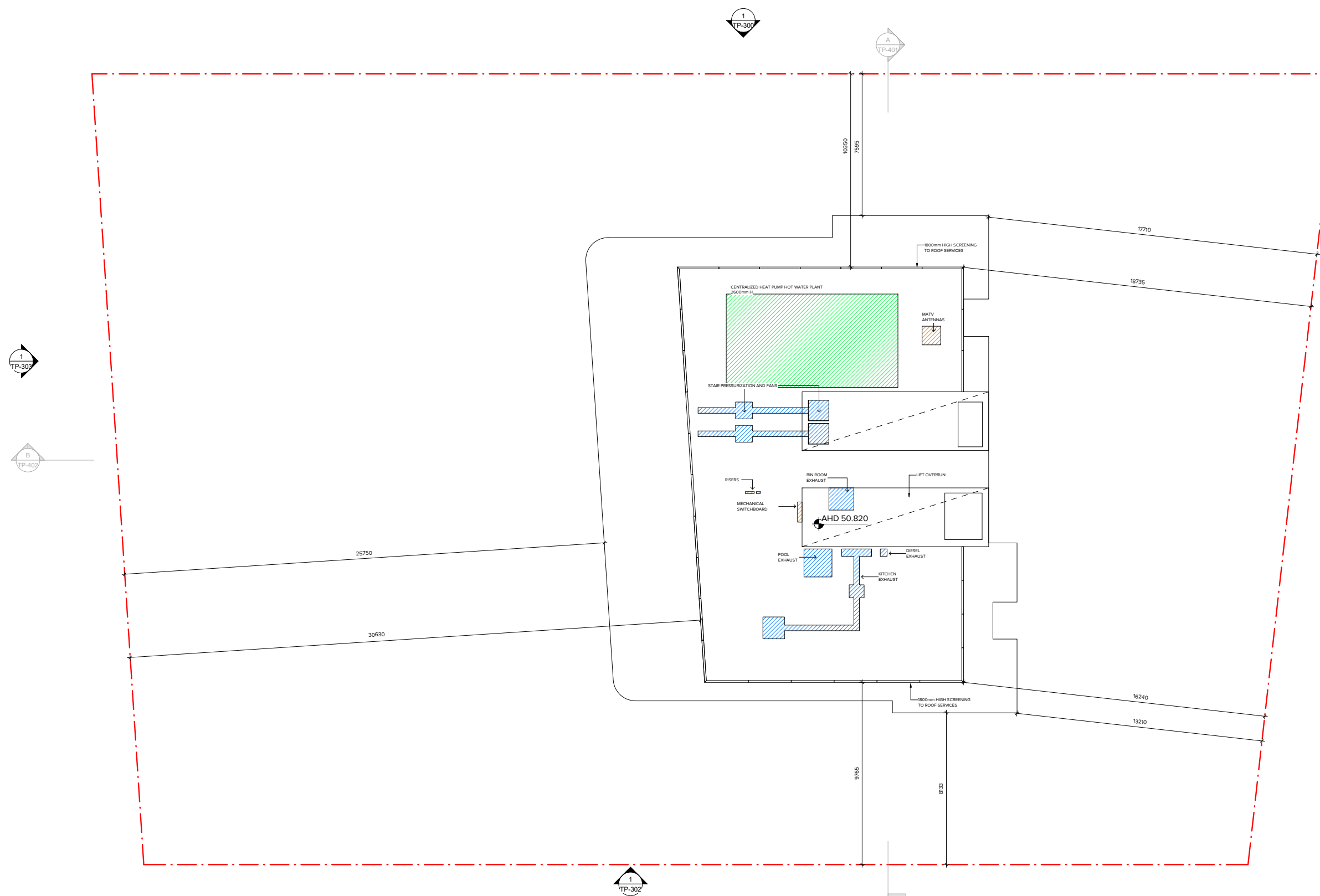
REV	DATE	DESCRIPTION
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7	08/05/24	TOWNPLANNING
8	28/05/24	MELBOURNE WATER AHD 3.000
9	04/06/24	ISSUED FOR TOWNPLANNING - MW AHD 3.000



PROJECT:
THE NEPEAN
424 - 426 Nepean Highway, Frankston

DRAWING TITLE:
LEVEL 12 PLAN

DATE: 04/06/2024	JOB No: 42002
SCALE: 1:100@A1	REVISION No: 9
DRAWN: BHA	
DRAWING STATUS: TOWN PLANNING	DRAWING No: TP-212



- ESD SCHEDULE OF COMMITMENTS**
- A 50,000L RAINWATER TANK WILL HARVEST RAINWATER FROM THE ROOFS AND LB LO BALCONIES. THIS TANK WILL BE CONNECTED TO ALL BASEMENT 1 TO LEVEL 3 WCs. SUITABLE FILTRATION IS TO BE INTRODUCED AS RAINWATER IS COLLECTED OFF TRAFFICABLE AREAS.
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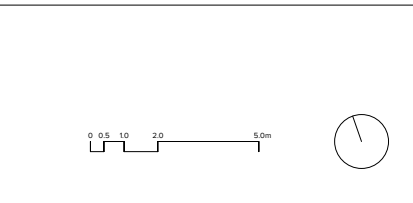
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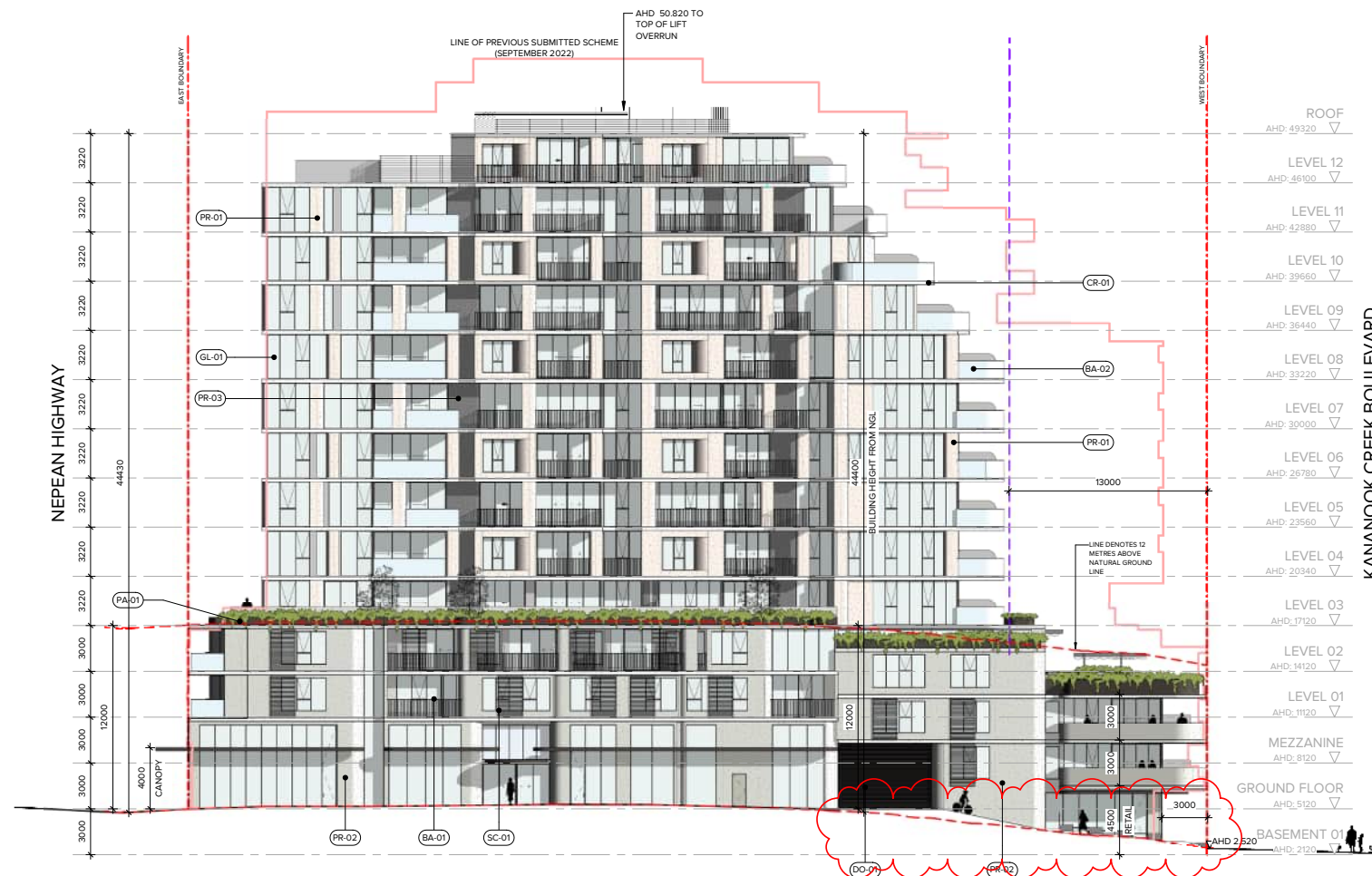
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9	04/06/24	ISSUED FOR TOWNPLANNING - MW AHD 3.000



PROJECT:
THE NEPEAN
424 - 426 Nepean Highway, Frankston

DRAWING TITLE:
ROOF PLAN

DATE: 04/06/2024	JOB No: 42002
SCALE: 1:100@A1	REVISION No: 9
DRAWN: BHA	
DRAWING STATUS: TOWN PLANNING	DRAWING No: TP-213



ESD SCHEDULE OF COMMITMENTS

- A 50,000L RAINWATER TANK WILL HARVEST RAINWATER FROM THE ROOFS AND BALCONIES. THIS TANK WILL BE CONNECTED TO ALL BASEMENT 1 TO LEVEL 3 WC'S. SUITABLE FILTRATION IS TO BE INTRODUCED AS RAINWATER IS COLLECTED OFF TRAFFICABLE AREAS.
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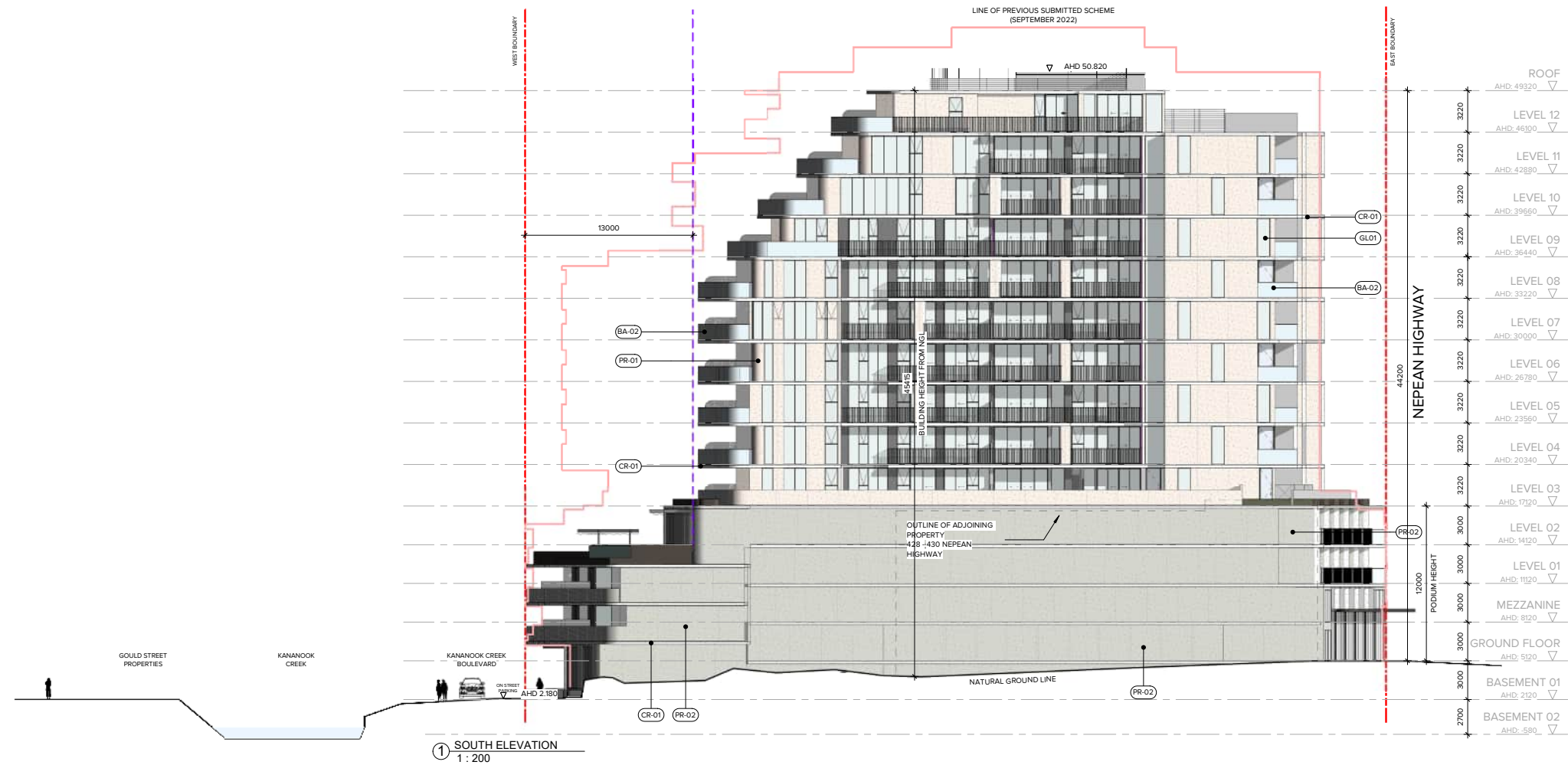
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7	08/05/24	TOWNPLANNING																																	
8	28/05/24	MELBOURNE WATER AHD 3.000																																	
9	04/06/24	ISSUED FOR TOWNPLANNING - MW AHD 3.000																																	



A SECTION A - A
1 : 200

INTERNAL APARTMENT
NATURAL GROUND LINE



MELBOURNE
LONDON
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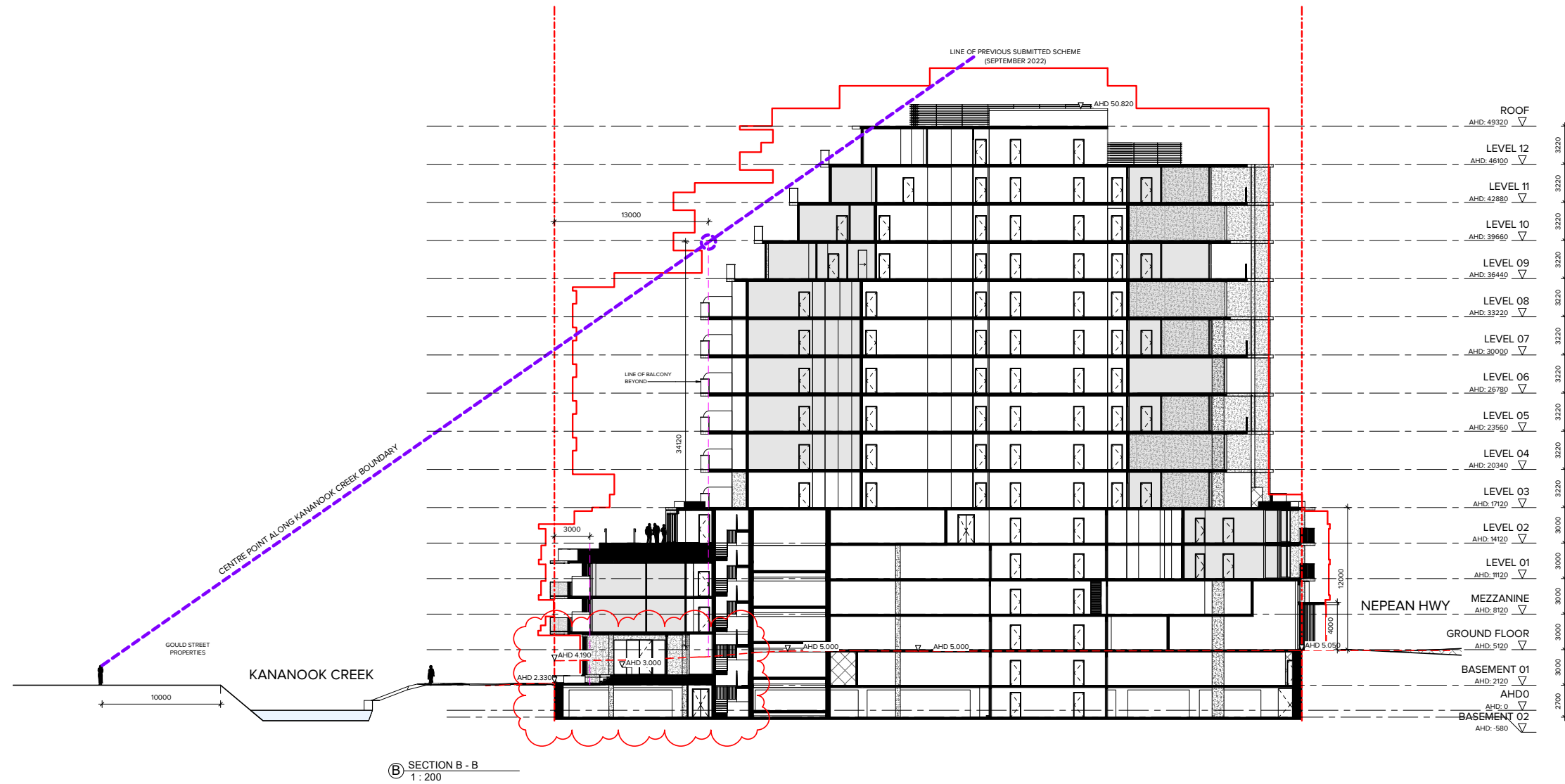
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9	04/06/24	ISSUED FOR TOWNPLANNING - MW AHD 3.000



PROJECT:
THE NEPEAN
424 - 426 Nepean Highway, Frankston

DRAWING TITLE:
SECTION A - A

DATE: 04/06/2024 JOB No: 42002
SCALE: 1:200 @ A1 REVISION No: 9
DRAWN: BHA
DRAWING STATUS: TOWN PLANNING DRAWING No: TP-401



ROOF	AHD: 49.920
LEVEL 12	AHD: 46.100
LEVEL 11	AHD: 42.880
LEVEL 10	AHD: 39.660
LEVEL 09	AHD: 36.440
LEVEL 08	AHD: 33.220
LEVEL 07	AHD: 30.000
LEVEL 06	AHD: 26.780
LEVEL 05	AHD: 23.560
LEVEL 04	AHD: 20.340
LEVEL 03	AHD: 17.120
LEVEL 02	AHD: 13.900
LEVEL 01	AHD: 10.680
MEZZANINE	AHD: 8.120
GROUND FLOOR	AHD: 5.120
BASEMENT 01	AHD: 2.120
AHD0	AHD: 0
BASEMENT 02	AHD: -5.80

SECTION B - B
1:200

INTERNAL APARTMENT
NATURAL GROUND LINE

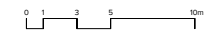
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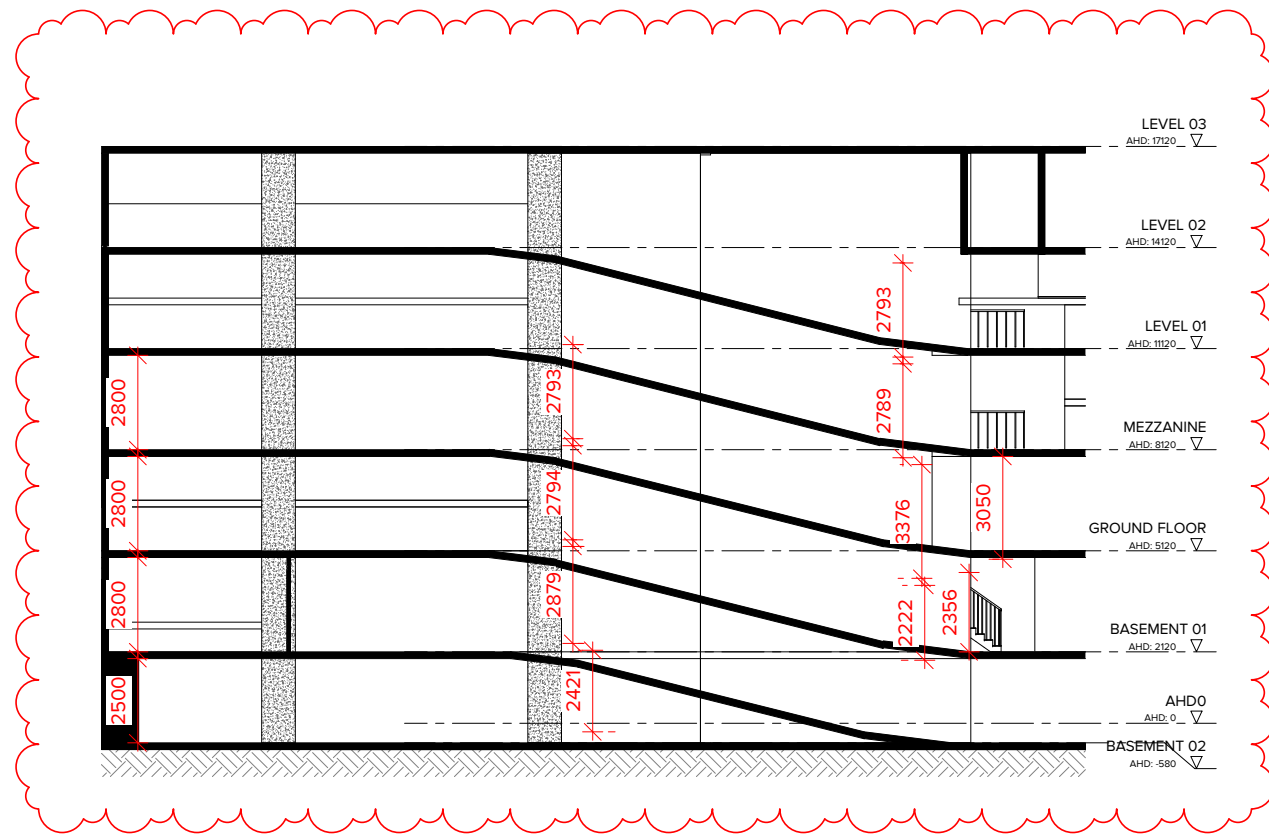
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PROJECT:
THE NEPEAN
424 - 426 Nepean Highway, Frankston

DRAWING TITLE:
SECTION B - B

DATE: 04/06/2024	JOB No: 42002
SCALE: 1:200 @ A1	REVISION No: 9
DRAWN: BHA	
DRAWING STATUS: TOWN PLANNING	DRAWING No: TP-402



① RAMP SECTION - HEADROOM CLEARANCE
1 : 100



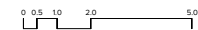
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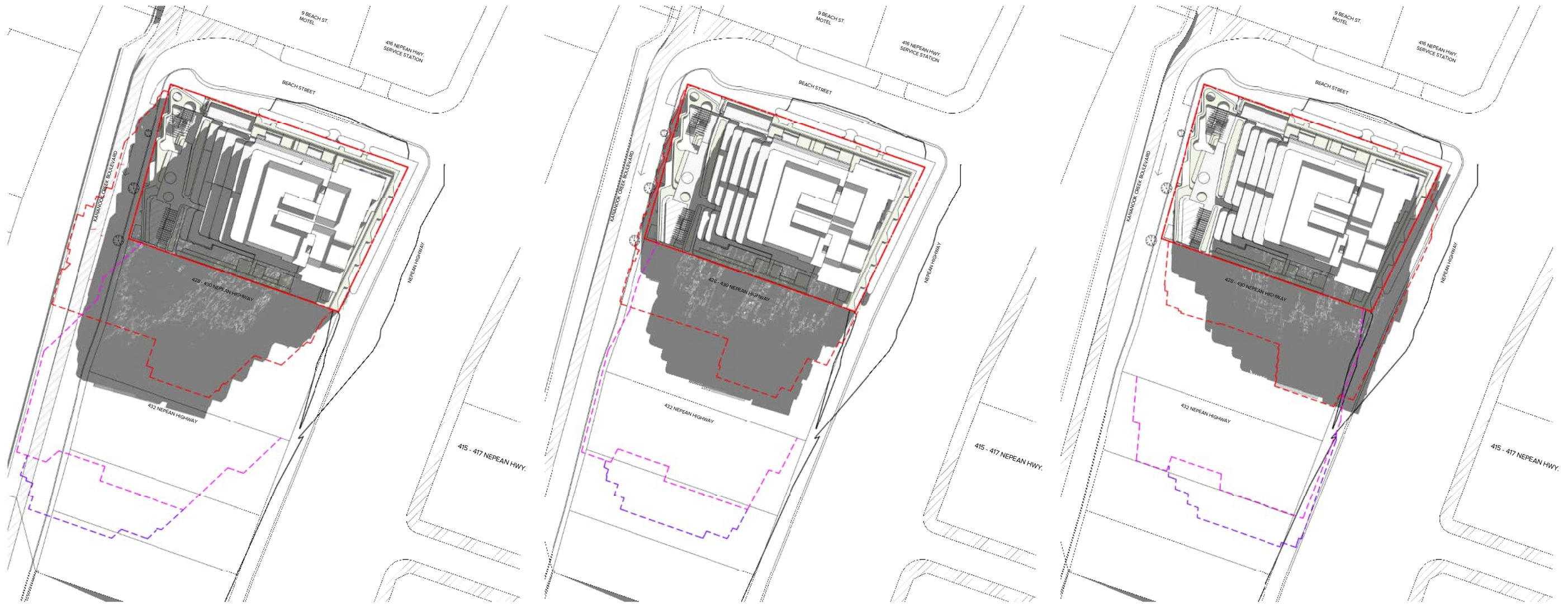
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5	19/06/23	RESPONSE TO COUNCIL RFI
6	17/08/23	RESPONSE TO COUNCIL RFI
9	04/06/24	ISSUED FOR TOWNPLANNING - MW AHD 3.000



PROJECT:
THE NEPEAN
424 - 426 Nepean Highway, Frankston

DRAWING TITLE:
RAMP SECTION - HEADROOM CLEARANCES

DATE: 04/06/2024 JOB No: 42002
SCALE: 1:100@A1 REVISION No: 9
DRAWN: BHA
DRAWING STATUS: TOWN PLANNING DRAWING No: TP-403



September 22 - 10am

September 22 - 11am

September 22 - 12noon

- PURPLE DASHED LINE DENOTES SOUTH SITE POSSIBLE EQUITABLE DEVELOPMENT AT 13 LEVELS
- MAGENTA DASHED LINE DENOTES SOUTH SITE POSSIBLE EQUITABLE DEVELOPMENT AT 9 LEVELS
- RED DASHED LINE DENOTES OUTLINE OF PREVIOUS APPROVED SCHEME



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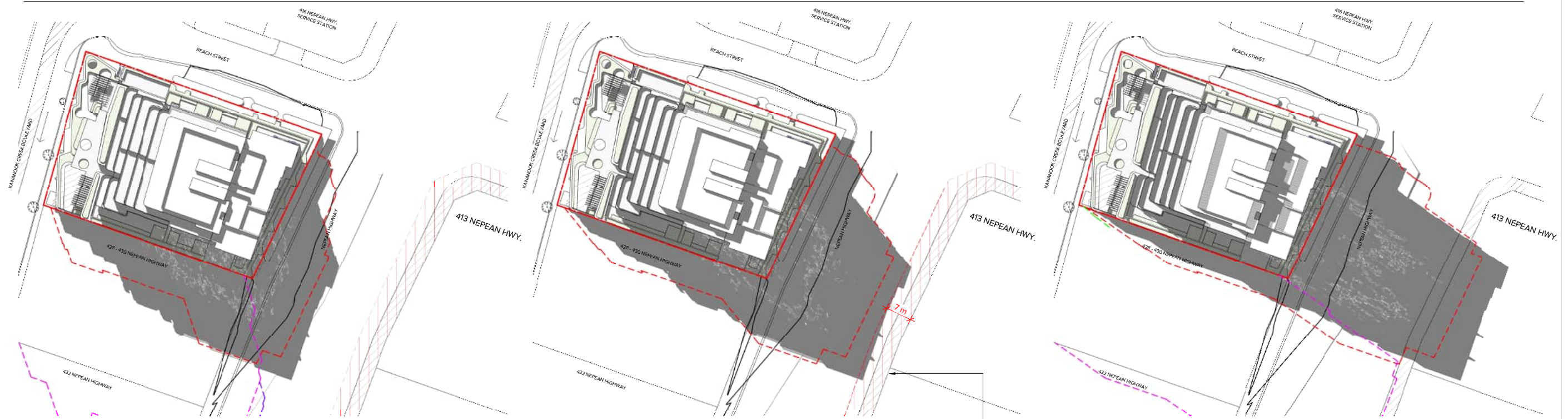
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PROJECT:
THE NEPEAN
424 - 426 Nepean Highway, Frankston

DRAWING TITLE:
SHADOW DIAGRAMS - SPRING EQUINOX

DATE: 04/06/2024 JOB No: 42002
SCALE: 1:500@A1 REVISION No: 9
DRAWN: BHA
DRAWING STATUS: TOWN PLANNING DRAWING No: TP-600



September 22 - 1pm

September 22 - 2pm

September 22 - 3pm

SOLAR ACCESS REQUIRED
"WITHIN 7.0m OF THE EASTERN
PROPERTY BOUNDARY OF NEPEAN
HIGHWAY"
PREFERRED TIME BETWEEN 10AM AND
2PM ON 22ND SEPTEMBER

- PURPLE DASHED LINE DENOTES SOUTH SITE
POSSIBLE EQUITABLE DEVELOPMENT AT 13 LEVELS
- MAGENTA DASHED LINE DENOTES SOUTH SITE
POSSIBLE EQUITABLE DEVELOPMENT AT 9 LEVELS
- RED DASHED LINE DENOTES OUTLINE
OF PREVIOUS APPROVED SCHEME

BRUCE HENDERSON ARCHITECTS

MELBOURNE
LONDON
HANOI

162 TOORAK ROAD
SOUTH YARRA VICTORIA 3141

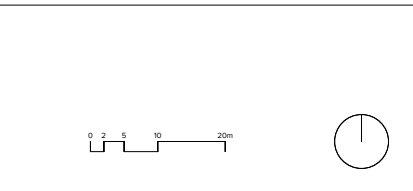
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PROJECT:
THE NEPEAN
424 - 426 Nepean Highway, Frankston

DRAWING TITLE:
SHADOW DIAGRAMS - SPRING EQUINOX

DATE:	04/06/2024	JOB No:	42002
SCALE:	1:500@A1	REVISION No:	9
DRAWN:	BHA		
DRAWING STATUS:	TOWN PLANNING	DRAWING No:	TP-601





June 22 - 10am


June 22 - 11am

SOLAR ACCESS ACHIEVED BY 10:06AM TO 'EASTERN EDGE OF KANANOOK CREEK' (GREEN DASHED LINE)

--- GREEN LINE DENOTES LOCATION OF SOLAR ACCESS REQUIRED
 --- BLUE LINE DENOTES OUTLINE OF CURRENT SHADOW

 <p>BRUCE HENDERSON ARCHITECTS</p>	<p>MELBOURNE LONDON HANOI</p> <p>152 TOORAK ROAD SOUTH YARRA VICTORIA 3141</p> <p>T: +613 9860 4000</p> <p>ARBV REG. NO. 50072</p> <p>www.bh-architects.com</p>	<p>NOTES: Do not scale. All drawings, layouts and area calculations are indicative only and are subject to approval by the relevant Authorities and alterations due to Design Development. Drawings are not to be used for construction. All apartment and balcony areas are calculated as Gross Floor Area in accordance with the Method of Measurement for Residential Property as published by the Property Council of Australia.</p>	<table border="1"> <thead> <tr> <th>REV</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>2</td> <td>19/09/22</td> <td>ISSUED FOR TOWNPLANNING</td> </tr> <tr> <td>3</td> <td>17/03/23</td> <td></td> </tr> <tr> <td>5</td> <td>19/06/23</td> <td>RESPONSE TO COUNCIL RFI</td> </tr> <tr> <td>6</td> <td>17/08/23</td> <td>RESPONSE TO COUNCIL RFI</td> </tr> <tr> <td>7</td> <td>08/05/24</td> <td>TOWNPLANNING</td> </tr> <tr> <td>8</td> <td>31/05/24</td> <td>ISSUED FOR TOWNPLANNING</td> </tr> <tr> <td>9</td> <td>04/06/24</td> <td>ISSUED FOR TOWNPLANNING - MW AHD 3.000</td> </tr> </tbody> </table>	REV	DATE	DESCRIPTION	2	19/09/22	ISSUED FOR TOWNPLANNING	3	17/03/23		5	19/06/23	RESPONSE TO COUNCIL RFI	6	17/08/23	RESPONSE TO COUNCIL RFI	7	08/05/24	TOWNPLANNING	8	31/05/24	ISSUED FOR TOWNPLANNING	9	04/06/24	ISSUED FOR TOWNPLANNING - MW AHD 3.000	<p>PROJECT</p> <p>THE NEPEAN</p> <p>424 - 426 Nepean Highway, Frankston</p> <p>DRAWING TITLE:</p> <p>SHADOW DIAGRAMS - WINTER SOLSTICE</p>	<p>DATE 04/06/2024 JOB No: 42002</p> <p>SCALE 1:750 @ A1 REVISION No: 9</p> <p>DRAWN: BHA</p> <p>DRAWING STATUS: TOWN PLANNING DRAWING No: TP-607</p>
		REV	DATE	DESCRIPTION																									
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9	04/06/24	ISSUED FOR TOWNPLANNING - MW AHD 3.000																											
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PROJECT:
THE NEPEAN
 424 - 426 Nepean Highway, Frankston

DRAWING TITLE:
NORTH WEST RENDER

DATE: 04/06/2024 JOB No: 42002
 SCALE: REVISION No: 9
 DRAWN: BHA
 DRAWING STATUS: TOWN PLANNING DRAWING No: TP-702



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PROJECT:
THE NEPEAN
424 - 426 Nepean Highway, Frankston

DRAWING TITLE:
WEST FACADE RENDER

DATE: 04/06/2024 JOB No: 42002
SCALE: REVISION No: 9
DRAWN: BHA
DRAWING STATUS: TOWN PLANNING DRAWING No: TP-704



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PROJECT:
THE NEPEAN
 424 - 426 Nepean Highway, Frankston

DRAWING TITLE:
NORTH WEST CORNER RENDER

DATE: 04/06/2024	JOB No: 42002
SCALE:	REVISION No: 9
DRAWN: BHA	
DRAWING STATUS: TOWN PLANNING	DRAWING No: TP-706



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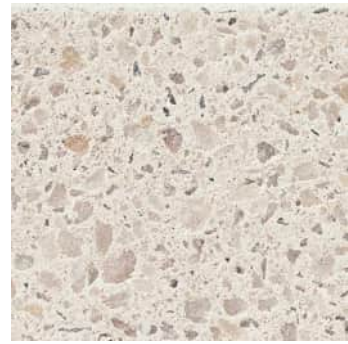
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REV	DATE	DESCRIPTION
2	19/09/22	ISSUED FOR TOWNPLANNING
3	17/03/23	
4	24/03/23	
5	19/06/23	RESPONSE TO COUNCIL RFI
6	17/08/23	RESPONSE TO COUNCIL RFI
7	08/05/24	TOWNPLANNING
8	28/05/24	MELBOURNE WATER AHD 3.000
9	04/06/24	ISSUED FOR TOWNPLANNING - MW AHD 3.000

PROJECT:
THE NEPEAN
424 - 426 Nepean Highway, Frankston

DRAWING TITLE:
NORTH PODIUM VIGNETTE

DATE: 04/06/2024 JOB No: 42002
SCALE: REVISION No: 9
DRAWN: BHA
DRAWING STATUS: DRAWING No:
TOWN PLANNING **TP-708**



PR-01



PR-02



PR-03



GL-01



CR-01



PA-01

BA-01



SC-01



BA-02

PR-01 PRECAST CONCRETE PANELS WITH 'LIGHT SANDSTONE' COLOR WITH SAND BLASTED OR SLIGHTLY TEXTURED NATURAL FINISH

PR-02 PRECAST CONCRETE PANELS WITH 'SANDSTONE' COLOR WITH SAND BLASTED OR SLIGHTLY TEXTURED NATURAL FINISH.

PR-03 PRECAST CONCRETE COLUMNS WITH SANDBLASTED FINISH – FINAL COLOR INCLUDES A MIXTURE OF STONE TYPES TO FUTURE DETAIL.

SC-01 SCREENS COMPRISING SQUARE HOLLOW SECTION ALUMINIUM CHANNELS SIMILAR TO HAVE TIMBER APPEARANCE.

DO-01 GARAGE ENTRY DOOR – STEEL FRAMED DOOR STRUCTURE WITH 'SCULPTFORM', 40 X 40MM SQUARE HOLLOW SECTION ALUMINIUM BATTENS (BLOCK) DULUX ELECTRO 'DARK BRONZE' FLAT 9068184K

GL-01 PROPOSED GENERAL GLAZING TYPE. CLEAR GLASS INFILLS. GLAZING TO INCORPORATE SASH WINDOWS AND SLIDING DOORS AS PER PLANS / ELEVATIONS. WHERE DENOTED 'OB' GLAZED WINDOWS TO INCORPORATE REEDED GLASS OR OBSCURE GLASS AS APPROVED. ALUMINIUM GLAZING FRAME POWDERCOAT COLOR: DULUX ELECTRO 'DARK BRONZE' FLAT 9068184K.

PA-01 METAL PLANTER UPSTAND – DULUX ELECTRO 'DARK BRONZE' FLAT 9068184K

CR-01 EXPRESSED CONCRETE SLAB EDGE

CA-01 STEEL FRAMED CANOPY WITH MIRROR FINISH STAINLESS STEEL CLADDING TO FASCIA. SOFFIT TO COMPRISE 'SCULPTFORM' FLUTE 120 ALUMINIUM CLADDING IN WHITEWASH TIMBER LOOK TO MANUFACTURERS DETAILS.

BA-01 METAL BALUSTRADE - COLOUR TO MATCH GL-01 FRAME AND PA-01

BA-02 FRAMELESS TOUGHENED CLEAR GLASS BALUSTRADE WITH TOP RAIL (POWDERCOATED BASE CHANNEL FRAME AND MINIMAL GLASS CHANNEL AT TOP – TO FUTURE DETAIL)



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CHECKED: Checker

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PROJECT:
THE NEPEAN
424 - 426 Nepean Highway, Frankston

DRAWING TITLE:
MATERIAL SCHEDULE

DATE: 04/06/2024 JOB No: 42002

SCALE: REVISION No: 9

DRAWN: BHA

DRAWING STATUS: TOWN PLANNING DRAWING No: TP-800

BASMENT 02				
NUMBER	TENANCY TYPE	INTERNAL AREA	EXTERNAL AREA	TOTAL AREA
BASMENT 01				
NUMBER	TENANCY TYPE	INTERNAL AREA	EXTERNAL AREA	TOTAL AREA
F801	RETAIL	194.9	0.0	194.9
F802	RETAIL	123.2	80.4	203.6
TOTAL	2	318.1	80.4	398.5
GROUND LEVEL				
NUMBER	TENANCY TYPE	INTERNAL AREA	EXTERNAL AREA	TOTAL AREA
B903	RETAIL	188.0	0.0	188.0
B904	RETAIL	557.4	0.0	557.4
TOTAL	2	745.4	0.0	745.4
MEZZANINE				
NUMBER	TENANCY TYPE	INTERNAL AREA	EXTERNAL AREA	TOTAL AREA
M905	RETAIL	62.8	0.0	62.8
TOTAL	1	62.8	0.0	62.8
TOTAL RETAIL		5		1068.3
			TOTAL RETAIL CAR PARK REQ.	33
MEZZANINE				
NUMBER	TENANCY TYPE	INTERNAL AREA	EXTERNAL AREA	TOTAL APARTMENT AREA
M01	2B/2B	186.2	22.0	208.2
M02	2B/2B	91.5	21.2	112.7
M03	2B/2B	98.6	22.1	120.7
M04	2B/2B	131.2	32.7	163.9
TOTAL	4	407.5	98.0	505.5
LEVEL 01				
NUMBER	TENANCY TYPE	INTERNAL AREA	EXTERNAL AREA	TOTAL APARTMENT AREA
101	2B/2B	186.4	22.4	208.8
102	2B/2B	91.5	21.2	112.7
103	2B/2B	98.6	22.1	120.7
104	2B/2B	157.9	32.7	190.6
105	2B/2B	69.6	8.2	77.8
106	2B/2B	65.5	9.2	74.7
107	2B/2B	79.0	13.5	92.5
108	2B/2B	55.1	13.1	68.2
109	2B/2B	55.1	13.0	68.1
110	2B/2B	54.6	12.0	66.6
111	2B/2B	55.1	13.0	68.1
112	2B/2B	55.5	12.6	68.1
TOTAL	12	961.9	194.0	1155.9
LEVEL 02				
NUMBER	TENANCY TYPE	INTERNAL AREA	EXTERNAL AREA	TOTAL APARTMENT AREA
201	2B/2B	53.3	15.5	68.8
202	2B/2B	53.4	16.4	69.8
203	2B/2B	56.9	17.4	74.3
204	2B/2B	79.3	15.5	94.8
205	2B/2B	54.9	12.8	67.7
206	2B/2B	54.9	12.8	67.7
207	2B/2B	54.9	12.8	67.7
208	2B/2B	54.9	12.8	67.7
209	2B/2B	54.8	12.4	67.2
TOTAL	9	537.3	125.4	662.7
LEVEL 03				
NUMBER	TENANCY TYPE	INTERNAL AREA	EXTERNAL AREA	TOTAL APARTMENT AREA
301	2B/2B	192.0	49.3	241.3
302	2B/2B	112.4	33.3	145.7
303	2B/2B	149.9	44.7	194.6
304	2B/2B	52.5	20.9	73.4
305	2B/2B	52.5	18.4	70.9
306	2B/2B	52.9	18.1	71.0
307	2B/2B	112.4	47.6	160.0
308	2B/2B	189.3	63.0	252.3
309	2B/2B	157.3	39.4	196.7
TOTAL	9	1244.6	236.6	1481.2
LEVEL 04				
NUMBER	TENANCY TYPE	INTERNAL AREA	EXTERNAL AREA	TOTAL APARTMENT AREA
401	2B/2B	197.1	30.2	227.3
402	2B/2B	113.7	14.3	128.0
403	2B/2B	153.3	14.0	167.3
404	2B/2B	52.6	8.4	61.0
405	2B/2B	52.6	8.6	61.2
406	2B/2B	52.9	8.8	61.7
407	2B/2B	110.7	26.8	137.5
408	2B/2B	187.7	39.3	227.0
409	2B/2B	157.5	39.6	197.1
TOTAL	9	1076.1	186.7	1262.8

LEVEL 05				
NUMBER	TENANCY TYPE	INTERNAL AREA	EXTERNAL AREA	TOTAL APARTMENT AREA
501	2B/2B	192.0	49.3	241.3
502	2B/2B	112.4	33.3	145.7
503	2B/2B	149.9	44.7	194.6
504	2B/2B	52.5	20.9	73.4
505	2B/2B	52.5	18.4	70.9
506	2B/2B	52.9	18.1	71.0
507	2B/2B	112.4	47.6	160.0
508	2B/2B	189.3	63.0	252.3
509	2B/2B	157.3	39.4	196.7
TOTAL	9	1076.1	186.7	1262.8
LEVEL 06				
NUMBER	TENANCY TYPE	INTERNAL AREA	EXTERNAL AREA	TOTAL APARTMENT AREA
601	2B/2B	197.1	30.2	227.3
602	2B/2B	113.7	14.3	128.0
603	2B/2B	153.3	14.0	167.3
604	2B/2B	52.6	8.4	61.0
605	2B/2B	52.6	8.6	61.2
606	2B/2B	52.9	8.8	61.7
607	2B/2B	110.7	26.8	137.5
608	2B/2B	187.7	39.3	227.0
609	2B/2B	157.5	39.6	197.1
TOTAL	9	1076.1	186.7	1262.8
LEVEL 07				
NUMBER	TENANCY TYPE	INTERNAL AREA	EXTERNAL AREA	TOTAL APARTMENT AREA
701	2B/2B	192.0	49.3	241.3
702	2B/2B	112.4	33.3	145.7
703	2B/2B	149.9	44.7	194.6
704	2B/2B	52.5	20.9	73.4
705	2B/2B	52.5	18.4	70.9
706	2B/2B	52.9	18.1	71.0
707	2B/2B	112.4	47.6	160.0
708	2B/2B	189.3	63.0	252.3
709	2B/2B	157.3	39.4	196.7
TOTAL	9	1076.1	186.7	1262.8
LEVEL 08				
NUMBER	TENANCY TYPE	INTERNAL AREA	EXTERNAL AREA	TOTAL APARTMENT AREA
801	2B/2B	197.1	30.2	227.3
802	2B/2B	113.7	14.3	128.0
803	2B/2B	153.3	14.0	167.3
804	2B/2B	52.6	8.4	61.0
805	2B/2B	52.6	8.6	61.2
806	2B/2B	52.9	8.8	61.7
807	2B/2B	110.7	26.8	137.5
808	2B/2B	187.7	39.3	227.0
809	2B/2B	157.5	39.6	197.1
TOTAL	9	1076.1	186.7	1262.8
LEVEL 09				
NUMBER	TENANCY TYPE	INTERNAL AREA	EXTERNAL AREA	TOTAL APARTMENT AREA
901	2B/2B	229.5	57.6	287.1
902	2B/2B	181.5	15.9	197.4
903	2B/2B	145.4	14.2	159.6
904	2B/2B	52.6	8.6	61.2
905	2B/2B	52.6	8.6	61.2
906	2B/2B	53.0	8.7	61.7
907	2B/2B	181.1	22.9	204.0
908	2B/2B	275.1	65.4	340.5
TOTAL	8	994.4	207.9	1202.3
LEVEL 10				
NUMBER	TENANCY TYPE	INTERNAL AREA	EXTERNAL AREA	TOTAL APARTMENT AREA
1001	2B/2B	191.1	63.4	254.5
1002	2B/2B	113.7	14.3	128.0
1003	2B/2B	154.9	14.2	169.1
1004	2B/2B	52.9	8.7	61.6
1005	2B/2B	52.6	8.7	61.3
1006	2B/2B	52.9	8.7	61.6
1007	2B/2B	181.1	28.3	209.4
1008	2B/2B	174.5	45.6	220.1
TOTAL	8	902.4	191.5	1093.9
LEVEL 11				
NUMBER	TENANCY TYPE	INTERNAL AREA	EXTERNAL AREA	TOTAL APARTMENT AREA
1101	2B/2B	147.0	57.5	204.5
1102	2B/2B	186.2	16.0	202.2
1103	2B/2B	145.4	14.2	159.6
1104	2B/2B	52.6	8.7	61.3
1105	2B/2B	52.6	8.7	61.3
1106	2B/2B	53.0	8.7	61.7
1107	2B/2B	181.2	22.9	204.1
1108	2B/2B	136.6	48.1	184.7
TOTAL	8	807.6	194.8	1002.4

LEVEL 12				
NUMBER	TENANCY TYPE	INTERNAL AREA	EXTERNAL AREA	TOTAL APARTMENT AREA
1201	2B/2B	229.5	57.6	287.1
1202	2B/2B	181.5	15.9	197.4
1203	2B/2B	145.4	14.2	159.6
1204	2B/2B	52.6	8.6	61.2
1205	2B/2B	52.6	8.6	61.2
1206	2B/2B	52.9	8.8	61.7
1207	2B/2B	110.7	26.8	137.5
1208	2B/2B	187.7	39.3	227.0
1209	2B/2B	157.5	39.6	197.1
TOTAL	9	1076.1	186.7	1262.8

TOTAL APARTMENT AREA		TOTAL RETAIL CAR PARK REQ.	
NUMBER	INTERNAL AREA (m²)	NUMBER	INTERNAL AREA (m²)
120	11020	15	32
120	2407	15	32
TOTAL AREA (m²)	13427	CURRENT NO.	150
		NOTE: INCLUDES 15 BICYCLE PARKING SPACES	19
		SURPLUS	19



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CHECKED: Checker

REV	DATE	DESCRIPTION
1	12/04/22	ISSUED FOR TOWNPLANNING
2	19/09/22	ISSUED FOR TOWNPLANNING
3	17/03/23	
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5	19/06/23	RESPONSE TO COUNCIL RF1
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PROJECT:
THE NEPEAN
424 - 426 Nepean Highway, Frankston
DRAWING TITLE:
DEVELOPMENT SUMMARY

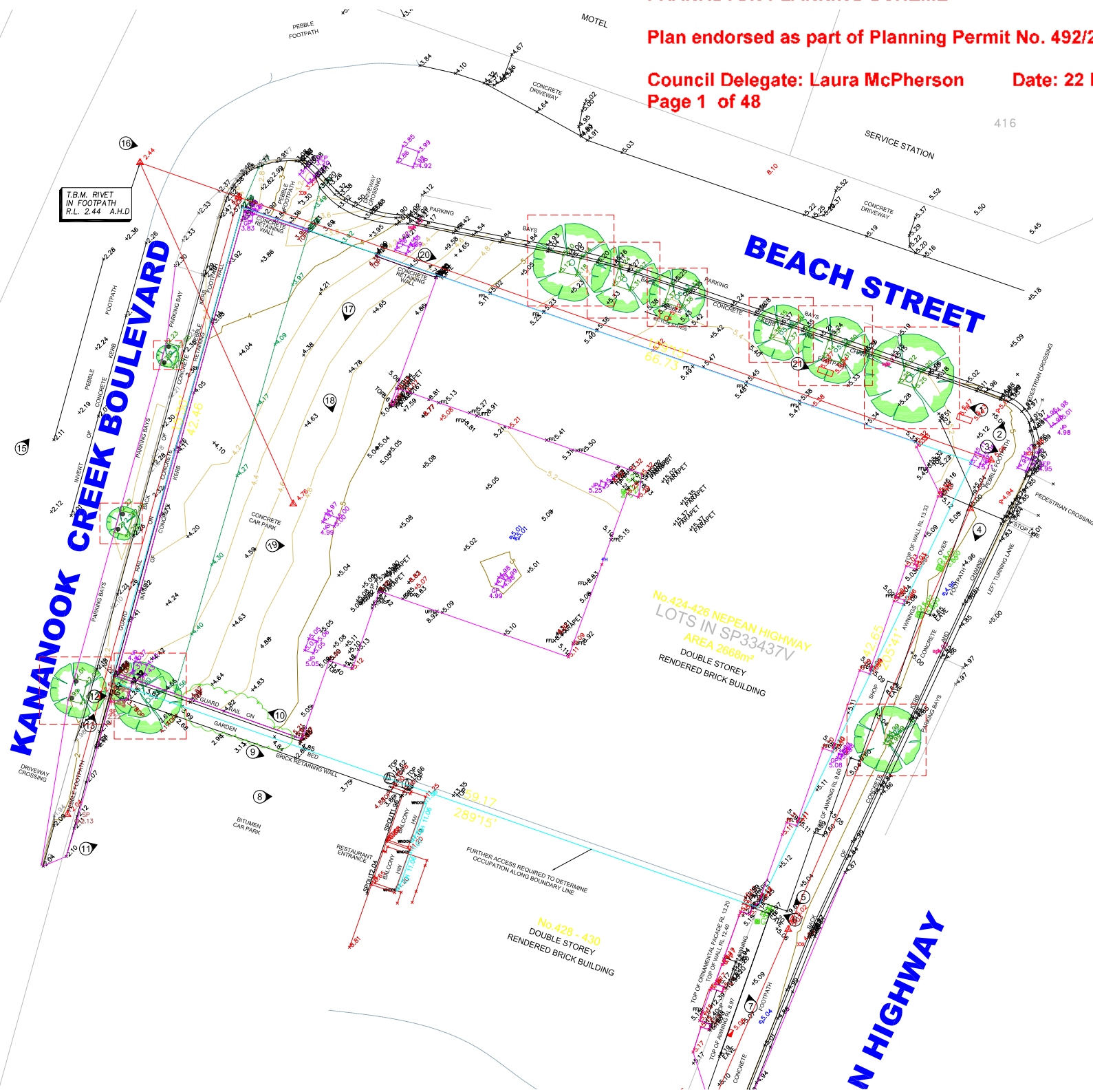
DATE: 04/06/2024 JOB No: 42002
SCALE: REVISION No: 9
DRAWN: BHA
DRAWING STATUS: TOWN PLANNING DRAWING No: TP-801

**FRANKSTON CITY COUNCIL
 PLANNING AND ENVIRONMENT ACT 1987
 FRANKSTON PLANNING SCHEME**

Plan endorsed as part of Planning Permit No. 492/2017/P

Council Delegate: Laura McPherson
 Page 1 of 48

Date: 22 December 2021



TP PERMIT CONDITION 16

THE DEVELOPMENT MUST BE UNDERTAKEN IN ACCORDANCE WITH AUSTRALIAN STANDARDS AS 4570 - 2005 PROTECTION OF TREES ON DEVELOPMENT SITES TO ENSURE THAT THE DEVELOPMENT DOES NOT ADVERSELY IMPACT ON THE HEALTH, LIFE EXPECTANCY AND STRUCTURAL STABILITY OF ANY STREET TREES, TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY.

TP PERMIT CONDITION 17

- PRIOR TO THE COMMENCEMENT OF THE DEVELOPMENT (INCLUDING VEGETATION REMOVAL), A TREE PROTECTION FENCE DEFINED BY A 1.8m HIGH (MINIMUM) TEMPORARY FENCE CONSTRUCTED USING STEEL OR TIMBER POSTS FIRED TO THE GROUND OR TO A CONCRETE PAD, WITH THE FENCE'S PANELS TO BE CONSTRUCTED OF CYCLONE MESH WIRE OR SIMILAR STRONG METAL MESH OR NETTING WITH A HIGH VISIBILITY PLASTIC HAZARD TAPE, MUST BE INSTALLED AT A RADIUS OF NOT LESS THAN THE TREE PROTECTION ZONE (TPZ) FOR ALL STREET TREES ADJACENT TO THE SITE, TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY. A FIXED SIGN IS TO BE PROVIDED ON ALL VISIBLE SIDES OF THE TREE PRESERVATION FENCING, STATING 'TREE PRESERVATION ZONE - NO ENTRY WITHOUT PERMISSION FROM FRANKSTON CITY COUNCIL'. FENCING MUST BE INSPECTED BY A SUITABLE QUALIFIED AND EXPERIENCED ARBORIST PRIOR TO COMMENCEMENT ON CONSTRUCTION WORKS. REQUIREMENTS BELOW MUST BE OBSERVED:
- a) NO VEHICULAR OR PEDESTRIAN ACCESS
 - b) THE EXISTING SOIL LEVEL MUST NOT BE ALTERED EITHER BY FILL OR EXCAVATION
 - c) THE SOIL MUST NOT BE COMPACTED OR THE SOIL'S DRAINAGE CHANGED
 - d) NO FUELS, OILS, CHEMICALS, POISONS, RUBBISH OR OTHER MATERIALS HARMFUL TO TREES ARE TO BE DISPOSED OF OR STORED
 - e) NO STORAGE OF EQUIPMENT, MACHINERY OR MATERIAL IS TO OCCUR
 - f) OPEN TRENCHING TO LAY UNDERGROUND SERVICES MUST NOT BE USED UNLESS APPROVED BY THE RESPONSIBLE AUTHORITY TO TUNNEL BENEATH
 - g) NOTHING WHATSOEVER, INCLUDING TEMPORARY SERVICES WIRES, NAILS, SCREWS OR ANY OTHER FIXING DEVICE, IS TO BE ATTACH TO ANY TREE
 - h) TREE ROOTS MUST NOT BE SEVERED OR INJURED
 - i) MACHINERY MUST NOT BE USED TO REMOVE ANY EXISTING CONCRETE, BRICKS OR OTHER MATERIALS

Legend

- 1 Beach Bank
- 104 Existing Surface
- 107 Floor Lev. / Upper Floor Lev.
- 110 Change of Grade
- 201 Tree - 2m
- 203 Group Tree/Structure
- 300 Group Tree
- 305 Single Tree
- 308 Slope Entry PE
- 309 Group PE
- 310 Single PE
- 403 Edge of Human
- 406 Lip of Kerb/Channel
- 407 Invert of Kerb/Channel
- 408 Back of Kerb/Channel
- 411 Photostation Point
- 412 Railway
- 418 Parking and Traffic Lines
- 421 Edge of Public Footpath
- 503 Slope
- 505 Traffic Signal Pole
- 521 Submittal Marked Point
- 602 Outline of Upper Storey
- 603 Building
- 604 Shop Awning
- 605 Window
- 617 Retaining Wall
- 618 Town/Channel
- 628 Stairs / Steps
- 629 Ramp
- 630 Top of Wall
- 632 Eaves
- 633 Parapet
- 635 Roofing
- 641 Aerial Photo Spire
- 712 Electricity Pole
- 713 Boundary Pole with Light
- 721 Telecom PE
- 733 Gas Unclassified
- 736 Gas Meter
- 741 Sewerage PE
- 742 Sewerage PE Lid
- 751 Stop Valve
- 753 Fire Hydrant
- 810 Top of Paving/Bit
- 900 Title
- 998 Digital Cadastral Map Base

Scale 1:200

Client Orton Homes Australia Pty/Ltd Melbourne

Project 424-426 Nepean Highway Frankston Lots in SP33437V

Drawn Boundary Re-establishment, Feature and Level Survey and Site Analysis

Sheet 1 of 1

Author Bruce Henderson Architects

Date 07/07/17

Survey Date 31/9/2014 see

CAD drawing number 3193400BA

Original sheet size A1

Services

Services that were not visible at the time of survey may not be shown on this Plan. Reference should be made to Service Authority plans prior to commencement of works.

In all instances, it is essential that the position of underground services (whether or not shown on this Plan) be verified on site and adjusted prior to any critical design or commencement of works. This should be done in consultation with all relevant Service Authorities.

Boaco Jonson Pty Ltd
 A.B.N. 15 181 827
 P.O. Box 507, South Melbourne, Vic. 3205
 16 Eastern Road, South Melbourne
 Vic. 3202 Australia
 Tel: 03 9599 1400 Fax: 03 9599 5992



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REV	DATE	DESCRIPTION	REV	DATE	DESCRIPTION
4	08.12.2021	CONDITION 1 DRAWING			

PROJECT: Nepean Hwy-424-426 Frankston

DRAWING TITLE: Survey Tree Protection Plan

DATE: 08.12.2021 **JOB N°:** 38004

SCALE: 1:100@A1 **REVISION N°:** 04

DRAWN:

DRAWING STATUS: TOWNPLANNING **DRAWING N°:** TP-100

**FRANKSTON CITY COUNCIL
PLANNING AND ENVIRONMENT ACT 1987
FRANKSTON PLANNING SCHEME**

Plan endorsed as part of Planning Permit No. 492/2017/P

Council Delegate: **Laura McPherson** Date: **22 December 2021**
Page 2 of 48

TP PERMIT CONDITION 1K
Habitable room walls adjacent to communal space/roof garden, lifts or service area to be acoustically treated

ACOUSTIC WALL

CUSTOMER SPACES LOCATED AT B1
33 SPACES IN TOTAL INCLUDING 13 VISITORS

TP PERMIT CONDITION 16

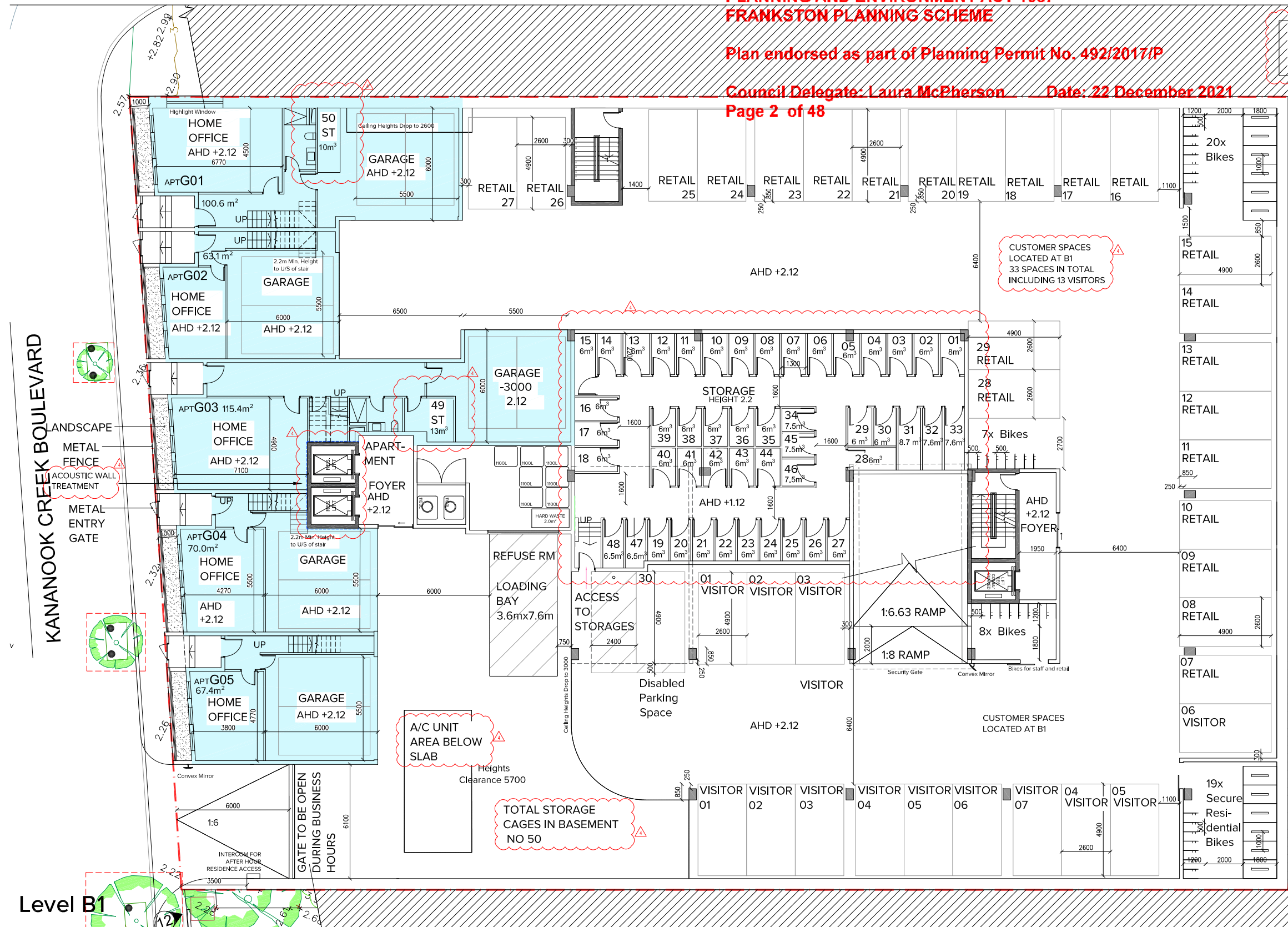
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- h) TREE ROOTS MUST NOT BE SEVERED OR INJURED
- i) MACHINERY MUST NOT BE USED TO REMOVE ANY EXISTING CONCRETE, BRICKS OR OTHER MATERIALS

- SERVICE APARTMENT
- RESIDENTIAL APARTMENT
- HOME OFFICE



KANANOOK CREEK BOULEVARD

Level B1

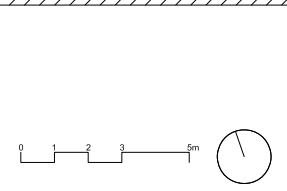


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2	02.08.2018	VCAT ISSUE
3	17.08.2018	VCAT ISSUE
4	08.12.2021	CONDITION 1 DRAWING

REV	DATE	DESCRIPTION



PROJECT:
Nepean Hwy-424-426 Frankston

DRAWING TITLE:
Level B1 Plan

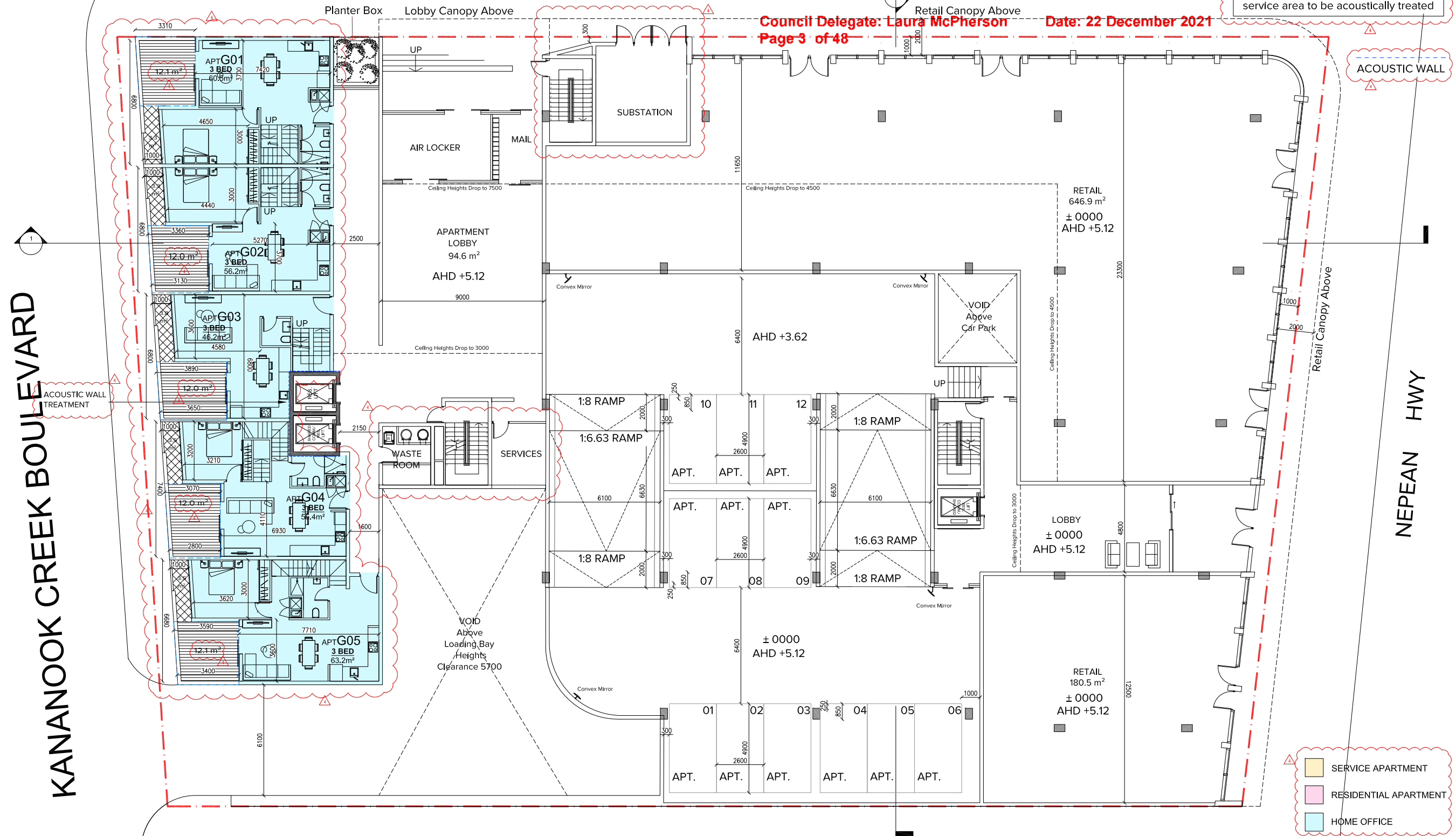
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DRAWING STATUS: TOWNPLANNING DRAWING N^o: TP-200

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PLANNING AND ENVIRONMENT ACT 1987
FRANKSTON PLANNING SCHEME**

Plan endorsed as part of Planning Permit No. 492/2017/P

Council Delegate: **Laura McPherson** Date: **22 December 2021**
Page 3 of 48

TP PERMIT CONDITION 1K
Habitable room walls adjacent to communal space/roof garden, lifts or service area to be acoustically treated



KANANOOK CREEK BOULEVARD

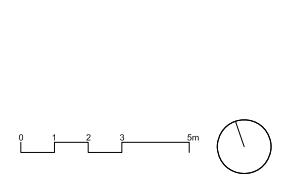
NEPEAN HWY

SERVICE APARTMENT
 RESIDENTIAL APARTMENT
 HOME OFFICE


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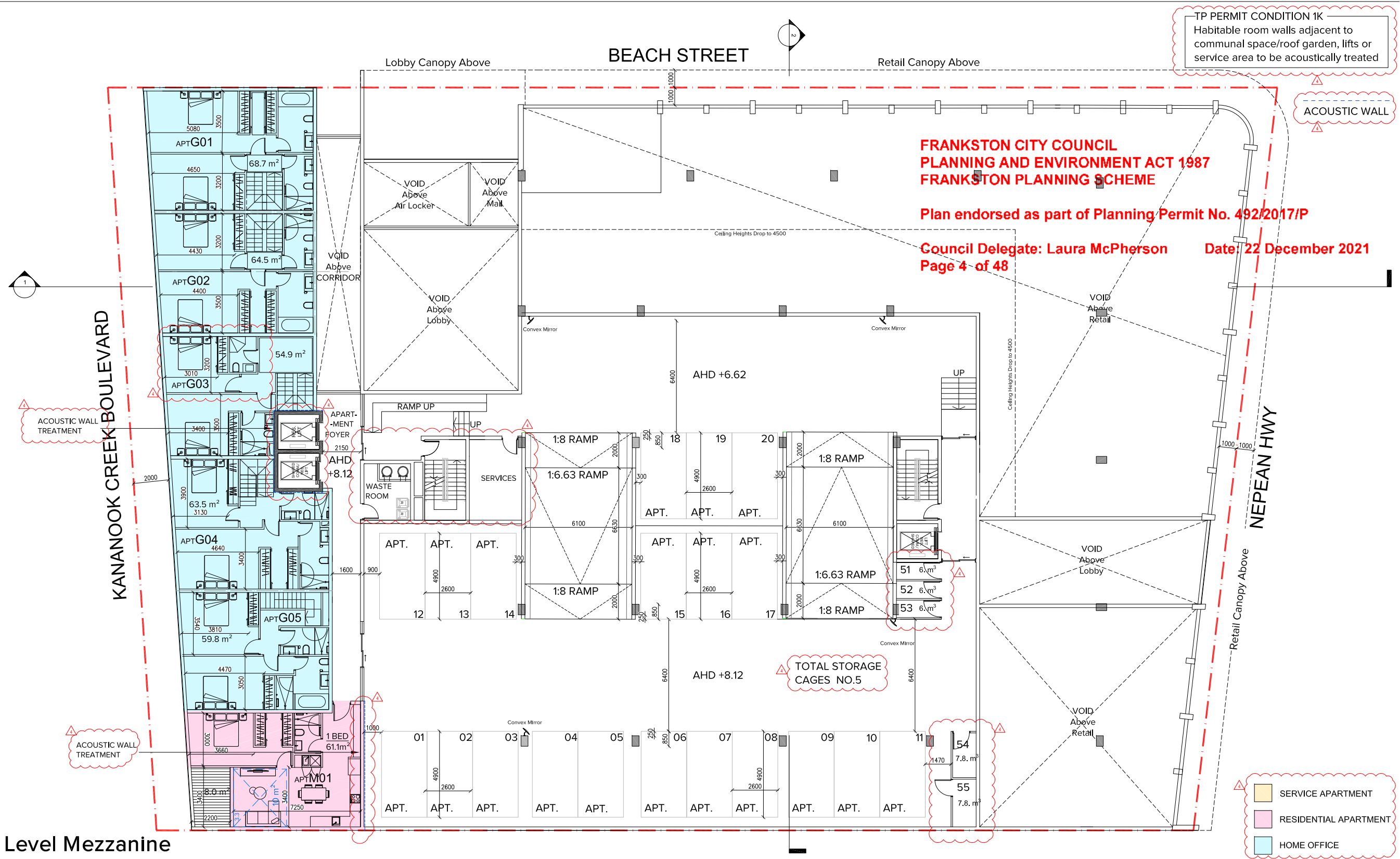
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4	08.12.2021	CONDITION 1 DRAWING			



PROJECT:
Nepean Hwy-424-426 Frankston

DRAWING TITLE:
Level Ground

DATE:	28/08/18	JOB N°:	38004
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DRAWN:		DRAWING STATUS:	
TOWNPLANNING		DRAWING N°:	TP-201



Level Mezzanine

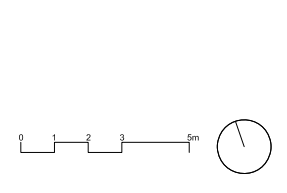
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4	08.12.2021	CONDITION 1 DRAWING			



PROJECT:
Nepean Hwy-424-426 Frankston

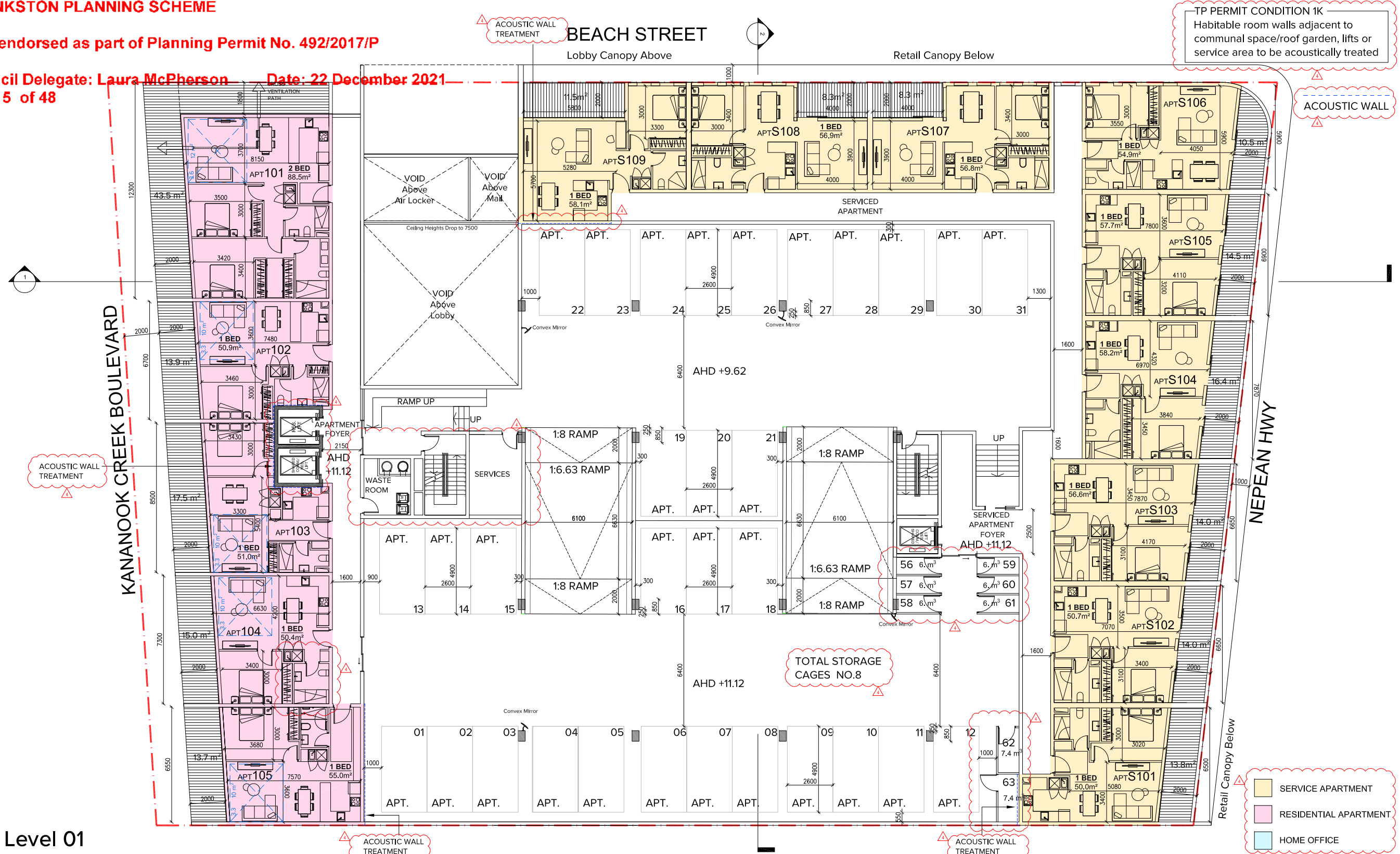
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Level Mezzanine Plan

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		DRAWING N°:	TP-202

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Council Delegate: Laura McPherson Date: 22 December 2021
 Page 5 of 48



Level 01

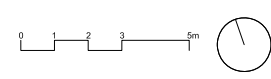


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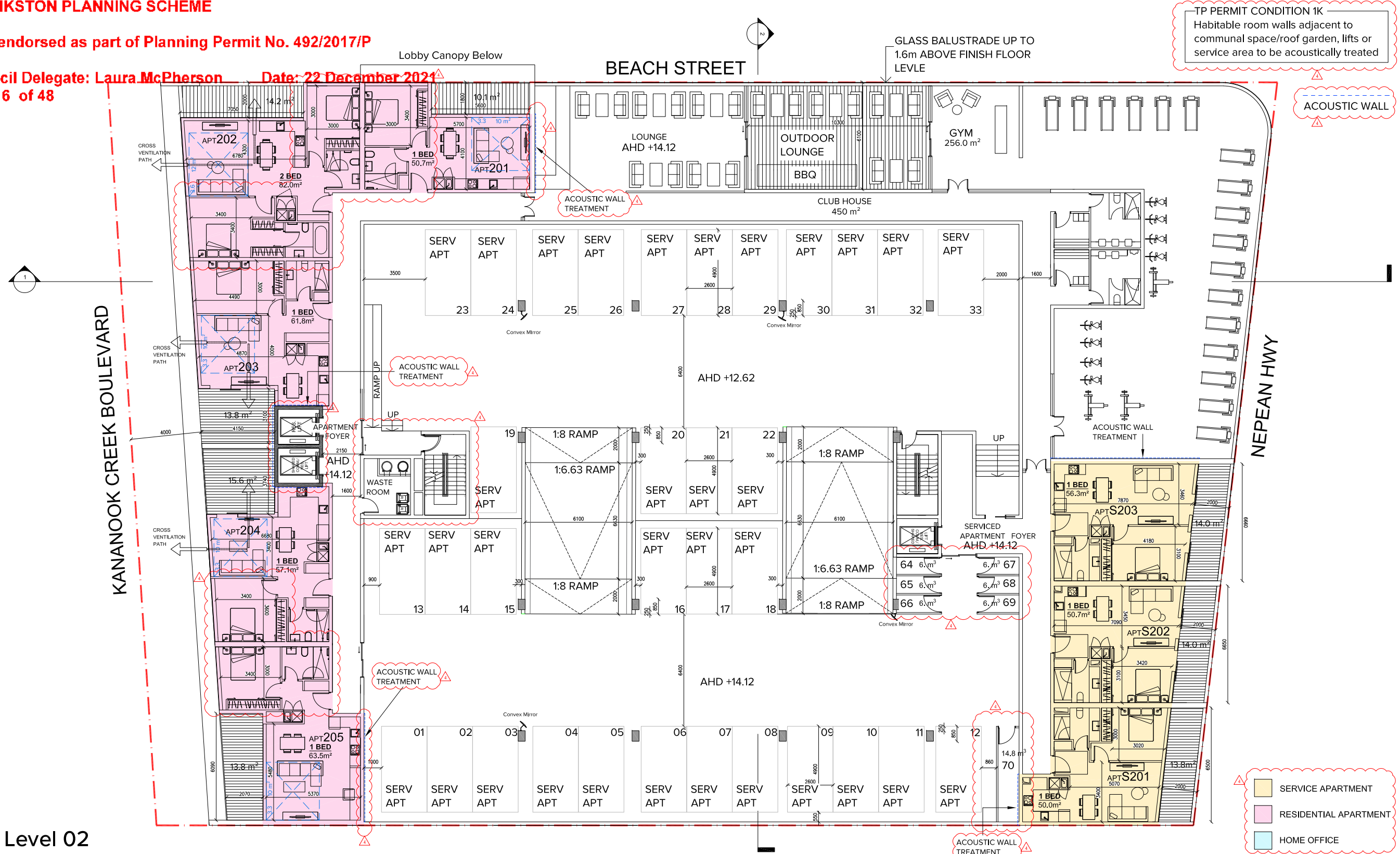
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 Nepean Hwy-424-426 Frankston
 DRAWING TITLE:
 Level 01 Plan

DATE: 28/08/18 JOB N^o: 38004
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Page 6 of 48



Level 02

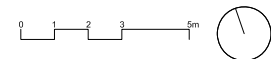


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REV	DATE	DESCRIPTION



PROJECT:
Nepean Hwy-424-426 Frankston
DRAWING TITLE:
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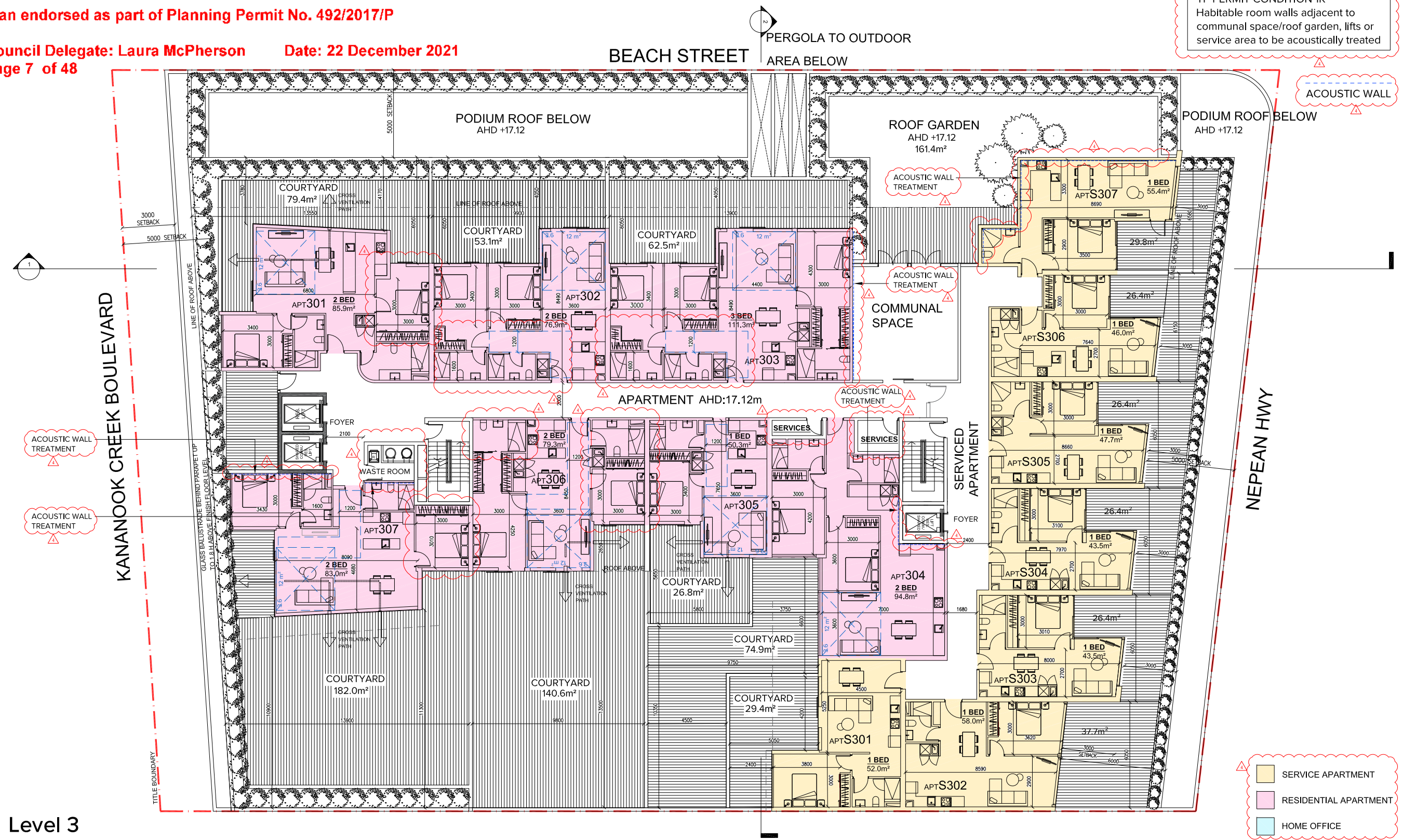
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 Page 7 of 48

TP PERMIT CONDITION 1K
 Habitable room walls adjacent to communal space/roof garden, lifts or service area to be acoustically treated



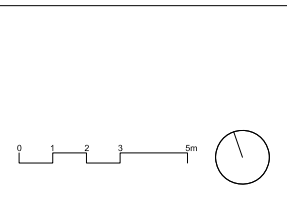
Level 3

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REV	DATE	DESCRIPTION



PROJECT:
 Nepean Hwy-424-426 Frankston
 DRAWING TITLE:
 Level 3 Plan

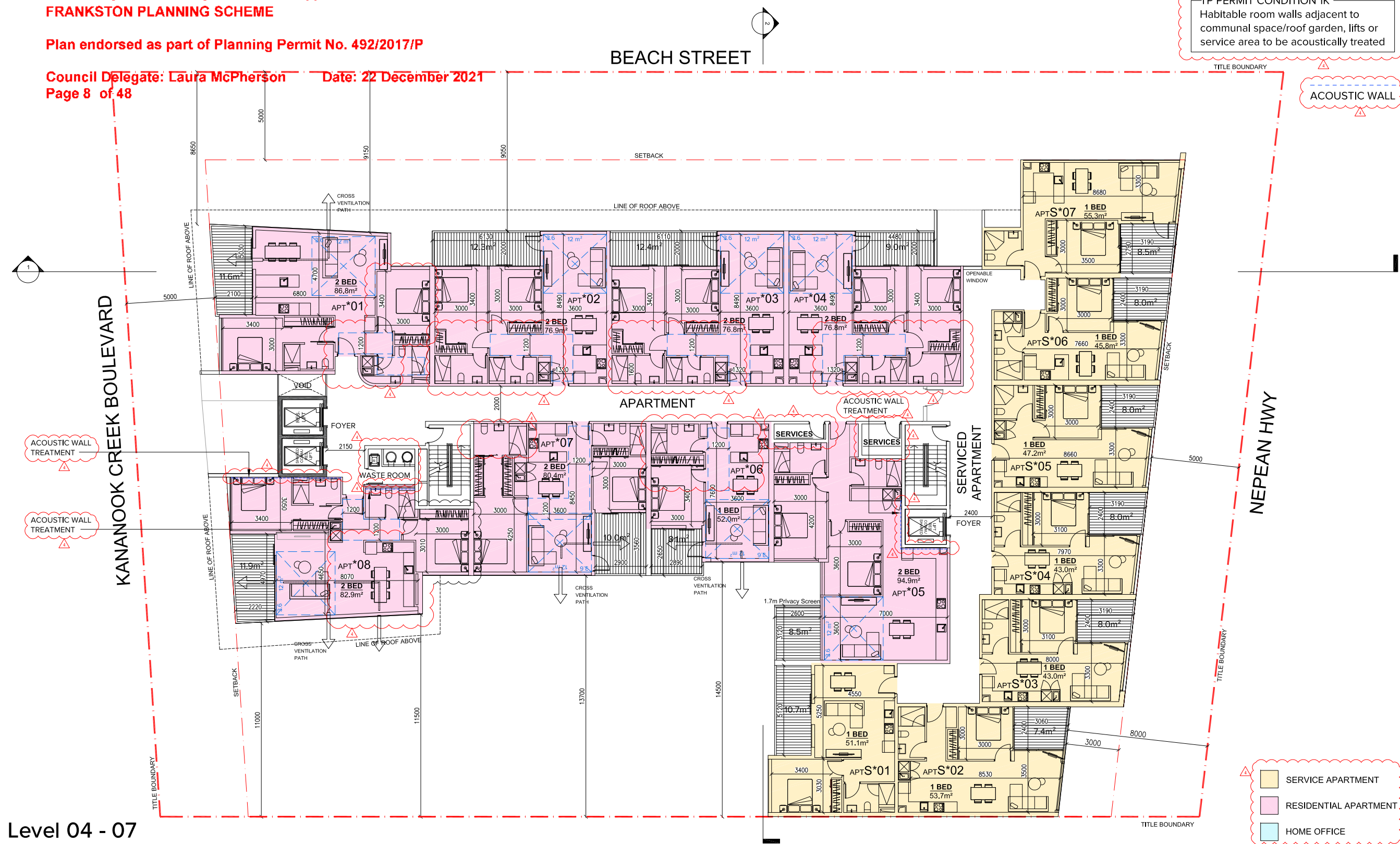
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 Page 8 of 48

TP PERMIT CONDITION 1K
 Habitable room walls adjacent to
 communal space/roof garden, lifts or
 service area to be acoustically treated

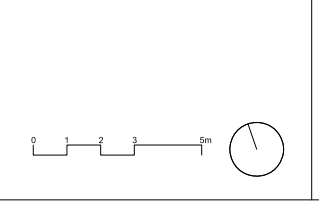


Level 04 - 07

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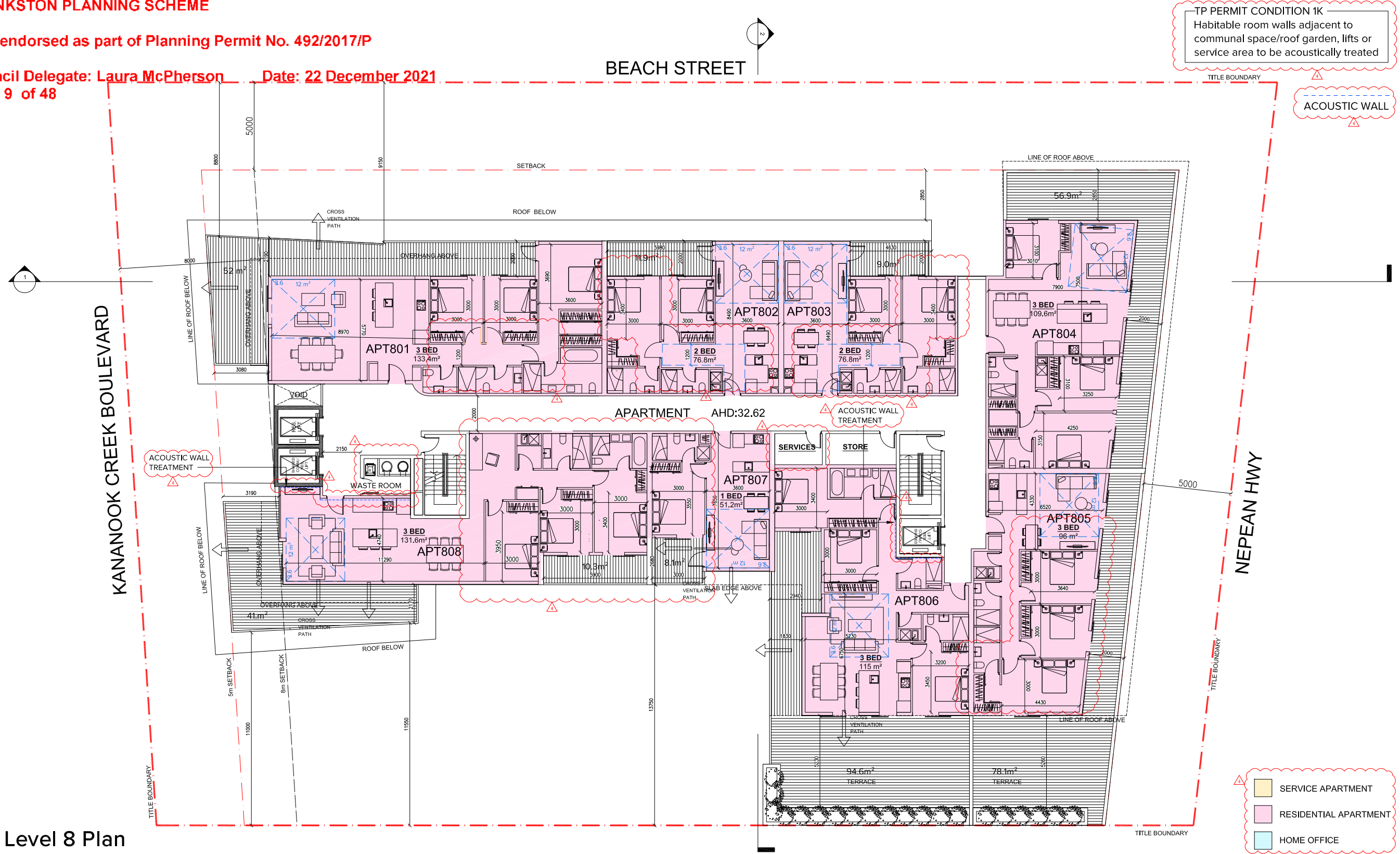
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 Nepean Hwy-424-426 Frankston
 DRAWING TITLE:
 Level 04-07Plan

DATE:	28/08/18	JOB N°:	38004
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TOWMPLANNING		DRAWING N°:	TP-206

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Page 9 of 48

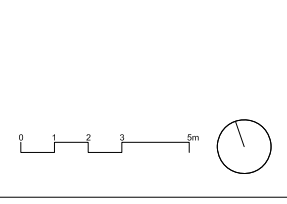


Level 8 Plan

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PROJECT:
Nepean Hwy-424-426 Frankston
DRAWING TITLE:
Level 8 Plan

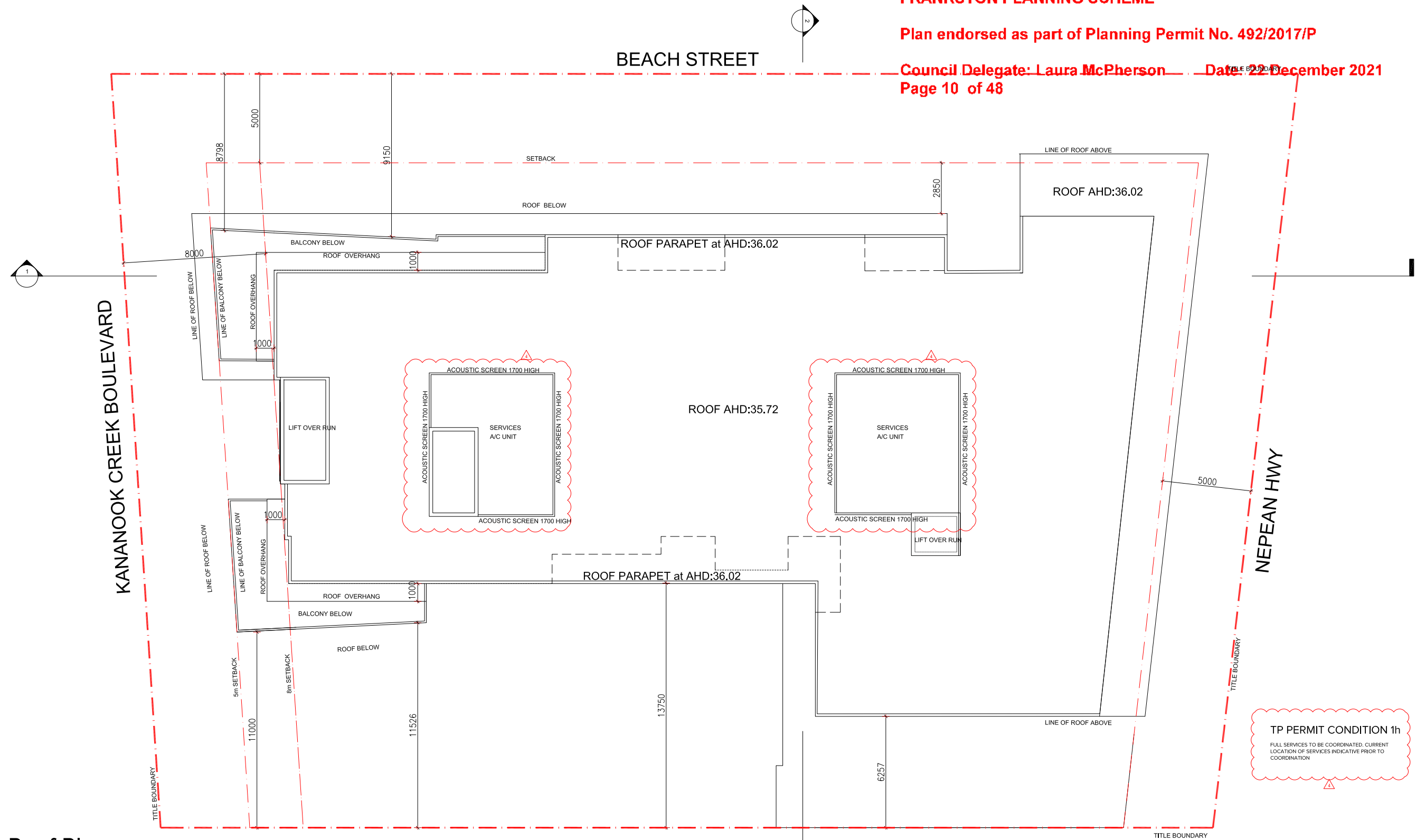
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		DRAWING N°:	TP-207

SERVICE APARTMENT
 RESIDENTIAL APARTMENT
 HOME OFFICE

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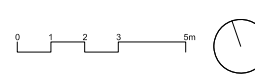
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Page 10 of 48



TP PERMIT CONDITION 1h
FULL SERVICES TO BE COORDINATED. CURRENT LOCATION OF SERVICES INDICATIVE PRIOR TO COORDINATION

Roof Plan

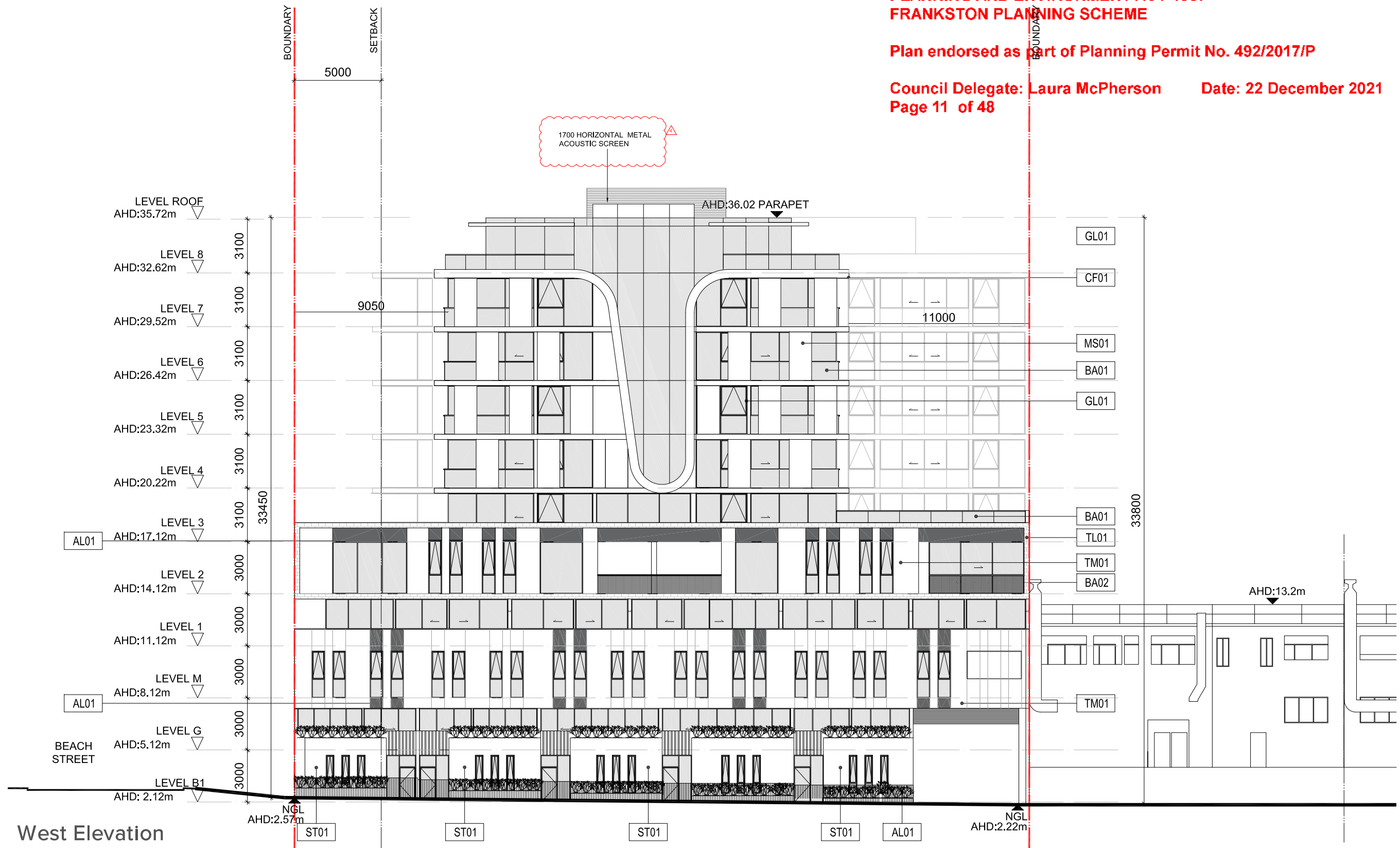
 <p>MELBOURNE LONDON HANOI 162 TOORAK ROAD SOUTH YARRA VICTORIA 3141 T: +61 3 9860 4000 ARBV REG. NO. 50072 www.bh-architects.com</p>	<p>Do not scale. All drawings, layouts and area calculations are indicative only and are subject to approval by the relevant Authorities and alterations due to Design Development. Drawings are not to be used for construction. All apartment and balcony areas are calculated as Gross Floor Area in accordance with the Method of Measurement for Residential Property as published by the Property Council of Australia. © COPYRIGHT Bruce Henderson Architects P/L</p>	<table border="1"> <thead> <tr> <th>REV</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>2</td> <td>02.08.2018</td> <td>VCAT ISSUE</td> </tr> <tr> <td>3</td> <td>17.08.2018</td> <td>VCAT ISSUE</td> </tr> <tr> <td>4</td> <td>08.12.2021</td> <td>CONDITION 1 DRAWING</td> </tr> </tbody> </table>	REV	DATE	DESCRIPTION	2	02.08.2018	VCAT ISSUE	3	17.08.2018	VCAT ISSUE	4	08.12.2021	CONDITION 1 DRAWING	<table border="1"> <thead> <tr> <th>REV</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	REV	DATE	DESCRIPTION																									<p>PROJECT: Nepean Hwy-424-426 Frankston</p> <p>DRAWING TITLE: Roof Plan</p>	<table border="1"> <tr> <td>DATE:</td> <td>28/08/18</td> <td>JOB N°:</td> <td>38004</td> </tr> <tr> <td>SCALE:</td> <td>1:100@A1</td> <td>REVISION N°:</td> <td>04</td> </tr> <tr> <td>DRAWN:</td> <td> </td> <td>DRAWING STATUS:</td> <td> </td> </tr> <tr> <td>TOWNPLANNING</td> <td> </td> <td>DRAWING N°:</td> <td>TP-208</td> </tr> </table>	DATE:	28/08/18	JOB N°:	38004	SCALE:	1:100@A1	REVISION N°:	04	DRAWN:		DRAWING STATUS:		TOWNPLANNING		DRAWING N°:	TP-208
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Page 11 of 48**

Date: 22 December 2021



West Elevation

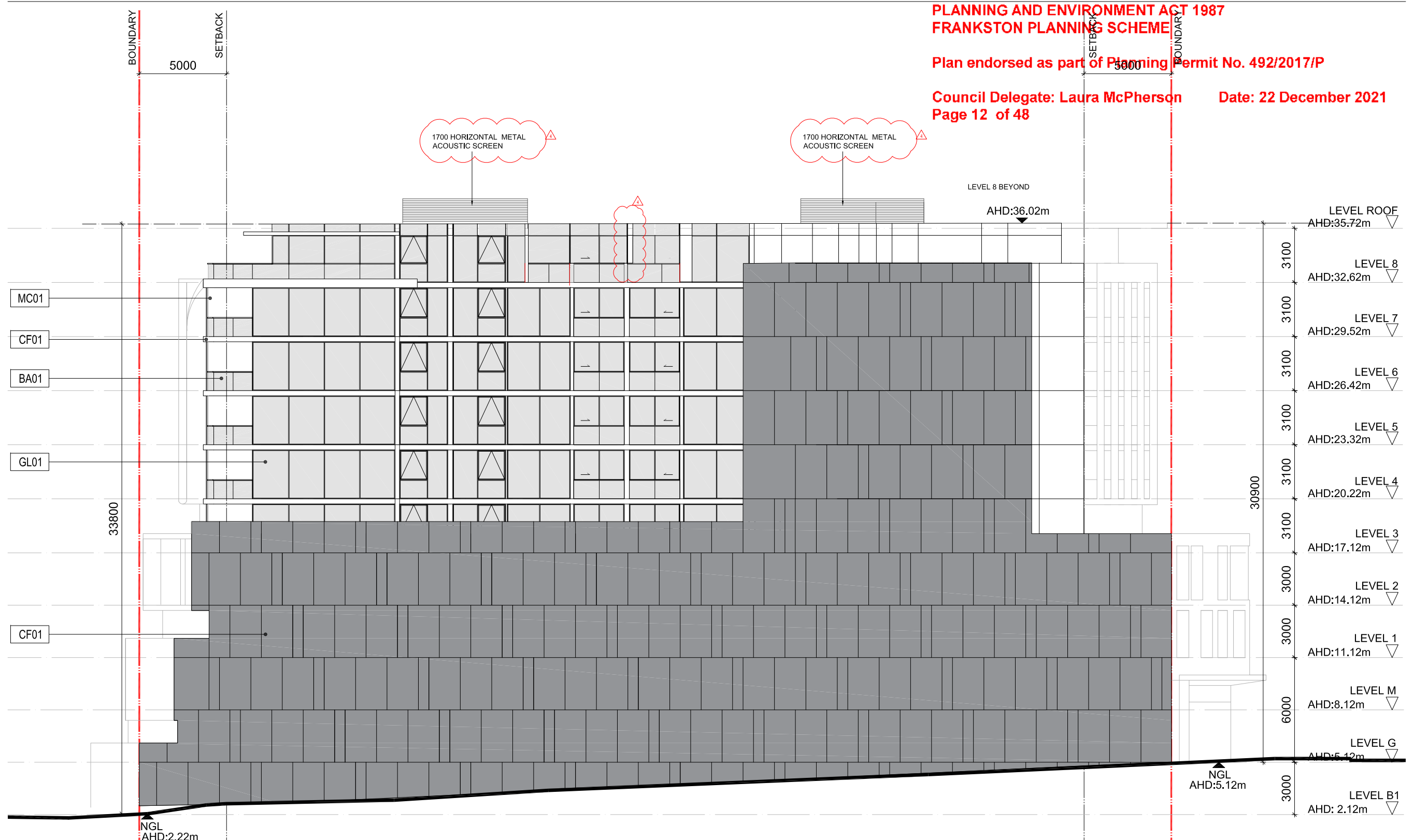
 <p>MELBOURNE LONDON HANOI 162 TOORAK ROAD SOUTH YARRA VICTORIA 3141 T: +61 3 9860 4000 ARBV REG. NO. 50072 www.bh-architects.com</p>	<p>Do not scale. All drawings, layouts and area calculations are indicative only and are subject to approval by the relevant Authorities and alterations due to Design Development. Drawings are not to be used for construction. All apartment and balcony areas are calculated as Gross Floor Area in accordance with the Method of Measurement for Residential Property as published by the Property Council of Australia. © COPYRIGHT Bruce Henderson Architects P/L</p>	<table border="1"> <thead> <tr> <th>REV</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>2</td> <td>02.08.2018</td> <td>VCAT ISSUE</td> </tr> <tr> <td>3</td> <td>17.08.2018</td> <td>VCAT ISSUE</td> </tr> <tr> <td>4</td> <td>08.12.2021</td> <td>CONDITION 1 DRAWING</td> </tr> </tbody> </table>	REV	DATE	DESCRIPTION	2	02.08.2018	VCAT ISSUE	3	17.08.2018	VCAT ISSUE	4	08.12.2021	CONDITION 1 DRAWING	<table border="1"> <thead> <tr> <th>REV</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	REV	DATE	DESCRIPTION										<p>PROJECT: Nepean Hwy-424-426 Frankston</p> <p>DRAWING TITLE: West Elevation</p>	<table border="1"> <tr> <td>DATE:</td> <td>17/08/18</td> <td>JOB N°:</td> <td>38004</td> </tr> <tr> <td>SCALE:</td> <td>1:100@A1</td> <td>REVISION N°:</td> <td>04</td> </tr> <tr> <td>DRAWN:</td> <td> </td> <td>DRAWING STATUS:</td> <td> </td> </tr> <tr> <td>TOWNPLANNING</td> <td> </td> <td>DRAWING N°:</td> <td>TP-300</td> </tr> </table>	DATE:	17/08/18	JOB N°:	38004	SCALE:	1:100@A1	REVISION N°:	04	DRAWN:		DRAWING STATUS:		TOWNPLANNING		DRAWING N°:	TP-300
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Council Delegate: Laura McPherson
Page 12 of 48

Date: 22 December 2021



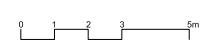
South Elevation



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PROJECT:
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DRAWING TITLE:
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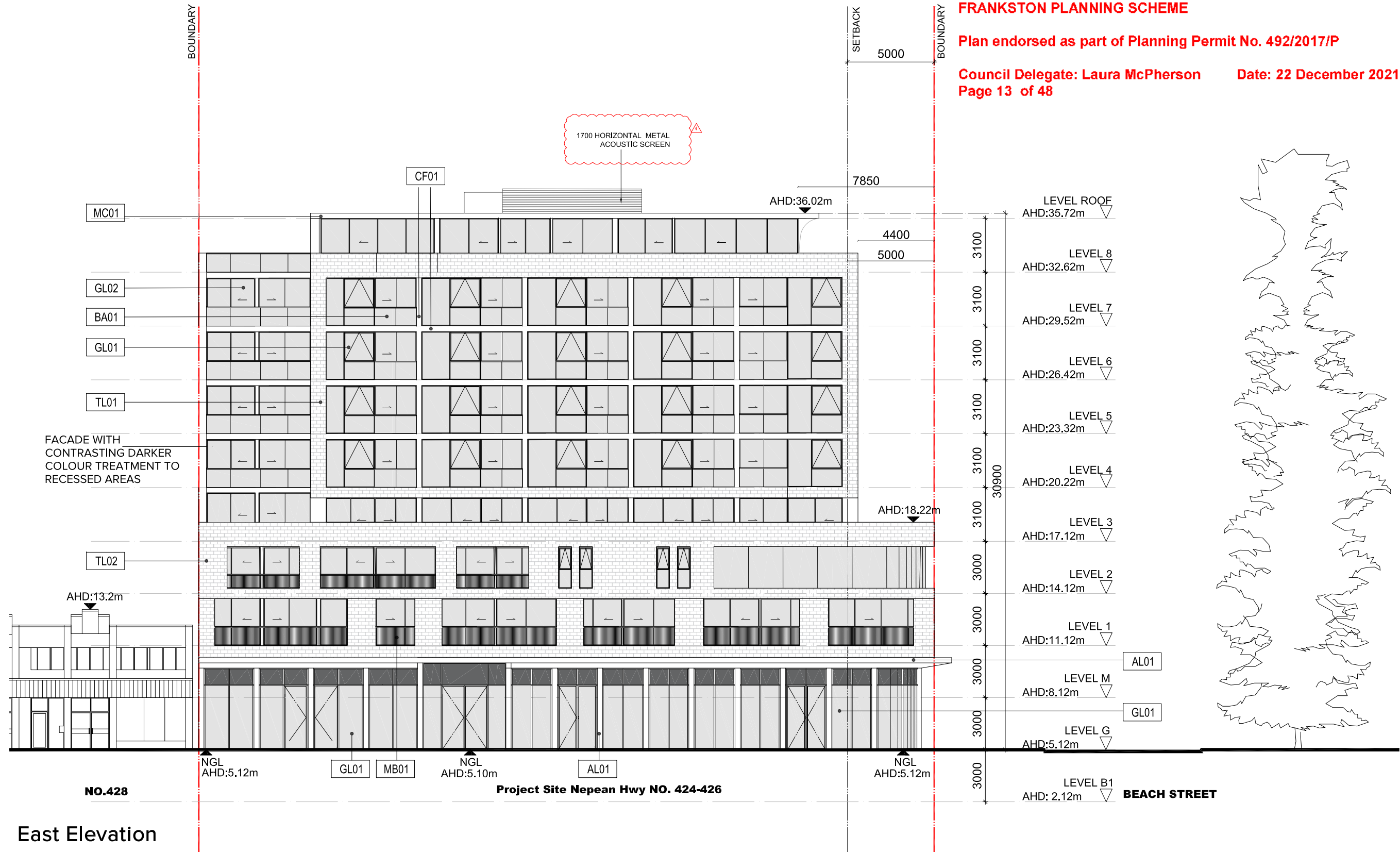
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Page 13 of 48

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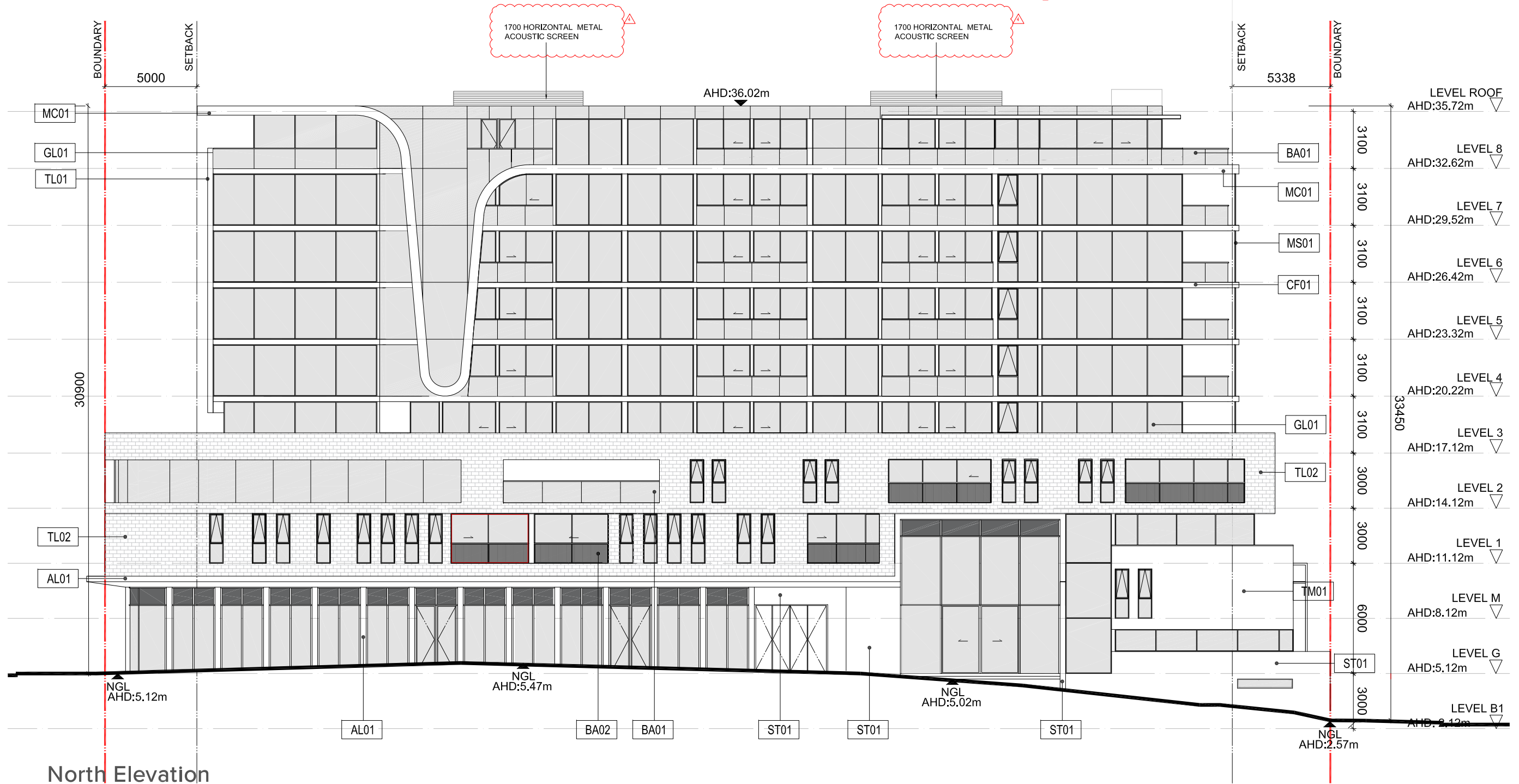
East Elevation

<p>MELBOURNE LONDON HANOI 162 TOORAK ROAD SOUTH YARRA VICTORIA 3141 T: +61 3 9860 4000 ARBV REG. NO. 50072 www.bh-architects.com</p>	<p>Do not scale. All drawings, layouts and area calculations are indicative only and are subject to approval by the relevant Authorities and alterations due to Design Development. Drawings are not to be used for construction. All apartment and balcony areas are calculated as Gross Floor Area in accordance with the Method of Measurement for Residential Property as published by the Property Council of Australia. © COPYRIGHT Bruce Henderson Architects P/L</p>	<table border="1"> <thead> <tr> <th>REV</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>2</td> <td>02.08.2018</td> <td>VCAT ISSUE</td> </tr> <tr> <td>3</td> <td>17.08.2018</td> <td>VCAT ISSUE</td> </tr> <tr> <td>4</td> <td>08.12.2021</td> <td>CONDITION 1 DRAWING</td> </tr> </tbody> </table>	REV	DATE	DESCRIPTION	2	02.08.2018	VCAT ISSUE	3	17.08.2018	VCAT ISSUE	4	08.12.2021	CONDITION 1 DRAWING	<table border="1"> <thead> <tr> <th>REV</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	REV	DATE	DESCRIPTION										<p>PROJECT: Nepean Hwy-424-426 Frankston</p> <p>DRAWING TITLE: East Elevation</p>	<p>DATE: 17/08/18 JOB N^o: 38004</p> <p>SCALE: 1:100@A1 REVISION N^o: 04</p> <p>DRAWN:</p> <p>DRAWING STATUS: DRAWING N^o:</p> <p>TOWNPLANNING TP-302</p>
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PLANNING AND ENVIRONMENT ACT 1987
FRANKSTON PLANNING SCHEME**

Plan endorsed as part of Planning Permit No. 492/2017/P

Council Delegate: Laura McPherson Date: 22 December 2021
Page 14 of 48



North Elevation

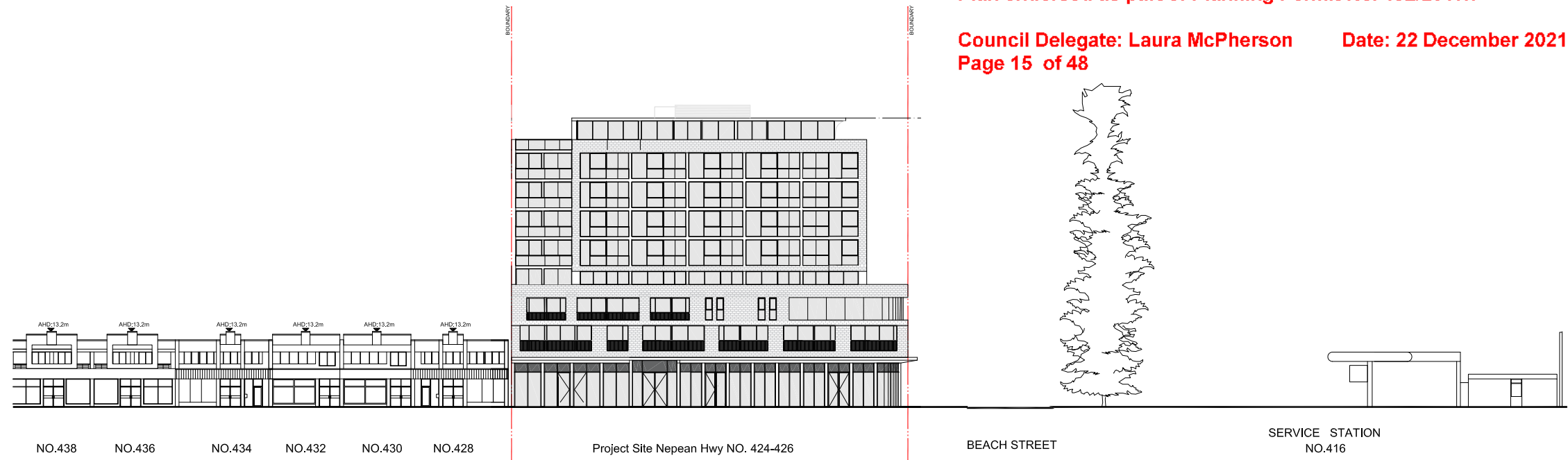
<p>MELBOURNE LONDON HANOI 162 TOORAK ROAD SOUTH YARRA VICTORIA 3141 T: +61 3 9960 4000 AREV REG. NO. 50072 www.bh-architects.com</p>	<p>Do not scale. All drawings, layouts and area calculations are indicative only and are subject to approval by the relevant Authorities and alterations due to Design Development. Drawings are not to be used for construction. All apartment and balcony areas are calculated as Gross Floor Area in accordance with the Method of Measurement for Residential Property as published by the Property Council of Australia. © COPYRIGHT Bruce Henderson Architects P/L</p>	<table border="1"> <thead> <tr> <th>REV</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>2</td> <td>02.08.2018</td> <td>VCAT ISSUE</td> </tr> <tr> <td>3</td> <td>17.08.2018</td> <td>VCAT ISSUE</td> </tr> <tr> <td>4</td> <td>08.12.2021</td> <td>CONDITION 1 DRAWING</td> </tr> </tbody> </table>	REV	DATE	DESCRIPTION	2	02.08.2018	VCAT ISSUE	3	17.08.2018	VCAT ISSUE	4	08.12.2021	CONDITION 1 DRAWING	<table border="1"> <thead> <tr> <th>REV</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	REV	DATE	DESCRIPTION										<p>PROJECT: Nepean Hwy-424-426 Frankston</p> <p>DRAWING TITLE: North Elevation</p>	<table border="1"> <tr> <td>DATE:</td> <td>17/08/18</td> <td>JOB N°:</td> <td>38004</td> </tr> <tr> <td>SCALE:</td> <td>1:100@A1</td> <td>REVISION N°:</td> <td>04</td> </tr> <tr> <td>DRAWN:</td> <td> </td> <td>DRAWING STATUS:</td> <td> </td> </tr> <tr> <td>TOWNPLANNING</td> <td> </td> <td>DRAWING N°:</td> <td>TP-303</td> </tr> </table>	DATE:	17/08/18	JOB N°:	38004	SCALE:	1:100@A1	REVISION N°:	04	DRAWN:		DRAWING STATUS:		TOWNPLANNING		DRAWING N°:	TP-303
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PLANNING AND ENVIRONMENT ACT 1987
FRANKSTON PLANNING SCHEME**

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**Council Delegate: Laura McPherson
Page 15 of 48**




Date: 22 December 2021



Nepean Hwy Streetscape Elevation



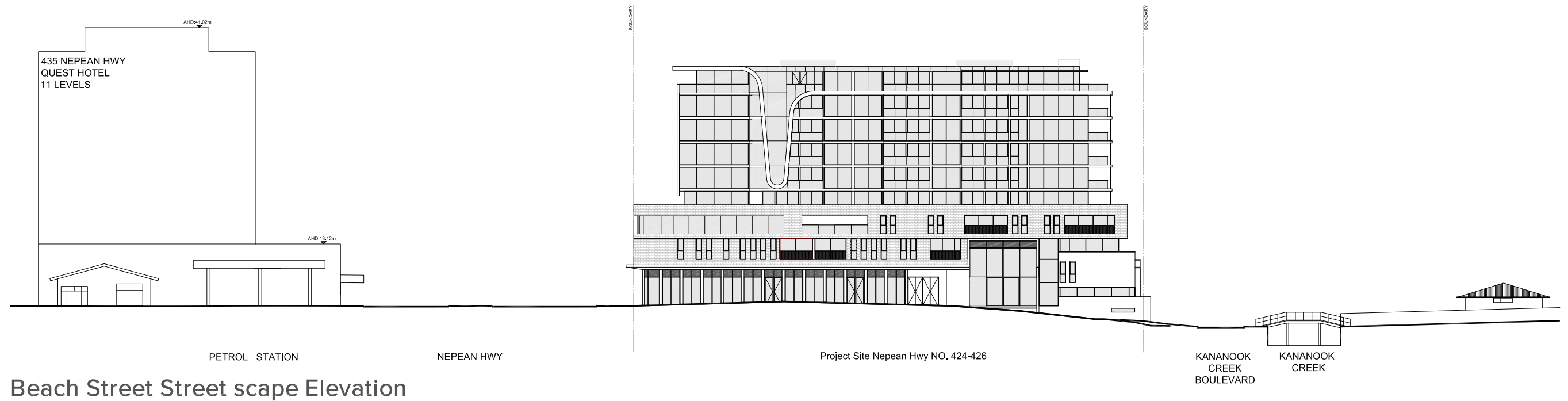
KANANOOK CREEK BOULEVARD Streetscape Elevation

 <p>MELBOURNE LONDON HANOI 162 TOORAK ROAD SOUTH YARRA VICTORIA 3141 T: +61 3 9960 4000 ARBV REG. NO. 50072 www.bh-architects.com</p>	<p>Do not scale. All drawings, layouts and area calculations are indicative only and are subject to approval by the relevant Authorities and alterations due to Design Development. Drawings are not to be used for construction. All apartment and balcony areas are calculated as Gross Floor Area in accordance with the Method of Measurement for Residential Property as published by the Property Council of Australia. © COPYRIGHT Bruce Henderson Architects P/L</p>	<table border="1"> <thead> <tr> <th>REV</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>2</td> <td>02.08.2018</td> <td>VCAT ISSUE</td> </tr> <tr> <td>3</td> <td>17.08.2018</td> <td>VCAT ISSUE</td> </tr> <tr> <td>4</td> <td>08.12.2021</td> <td>CONDITION 1 DRAWING</td> </tr> </tbody> </table>	REV	DATE	DESCRIPTION	2	02.08.2018	VCAT ISSUE	3	17.08.2018	VCAT ISSUE	4	08.12.2021	CONDITION 1 DRAWING	<table border="1"> <thead> <tr> <th>REV</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	REV	DATE	DESCRIPTION										 	<p>PROJECT: Nepean Hwy-424-426 Frankston</p> <p>DRAWING TITLE: Streetscape Elevations</p>	<p>DATE: 17/08/18 JOB N^o: 38004</p> <p>SCALE: 1:250@A1 REVISION N^o: 04</p> <p>DRAWN:</p> <p>DRAWING STATUS: TOWNPLANNING DRAWING N^o: TP-304</p>
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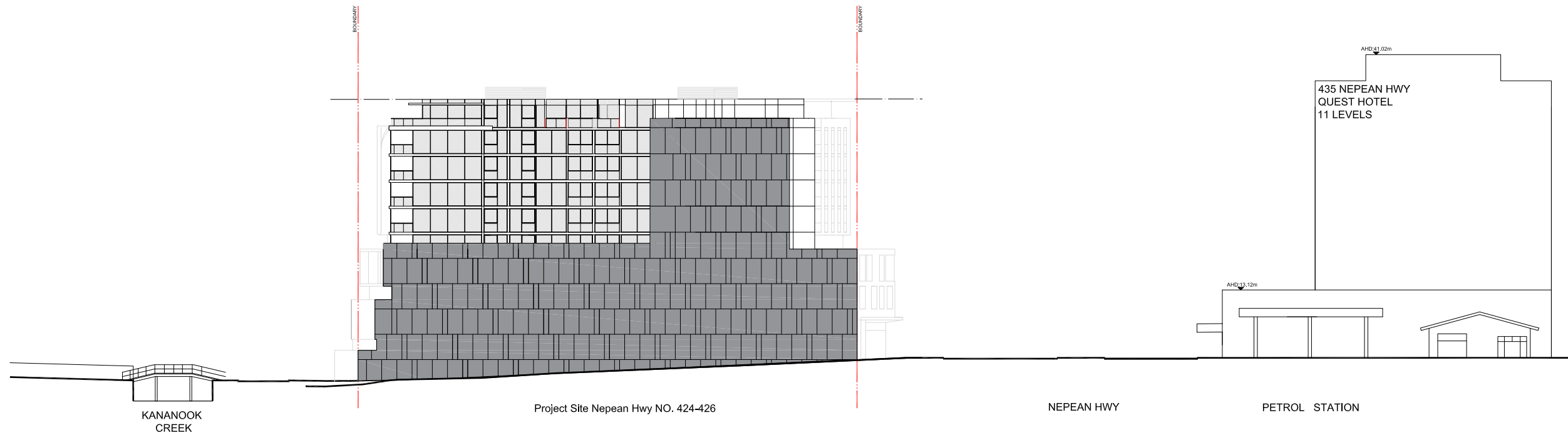
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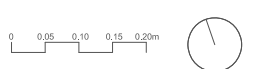
Council Delegate: Laura McPherson Date: 22 December 2021
Page 16 of 48



Beach Street Street scape Elevation



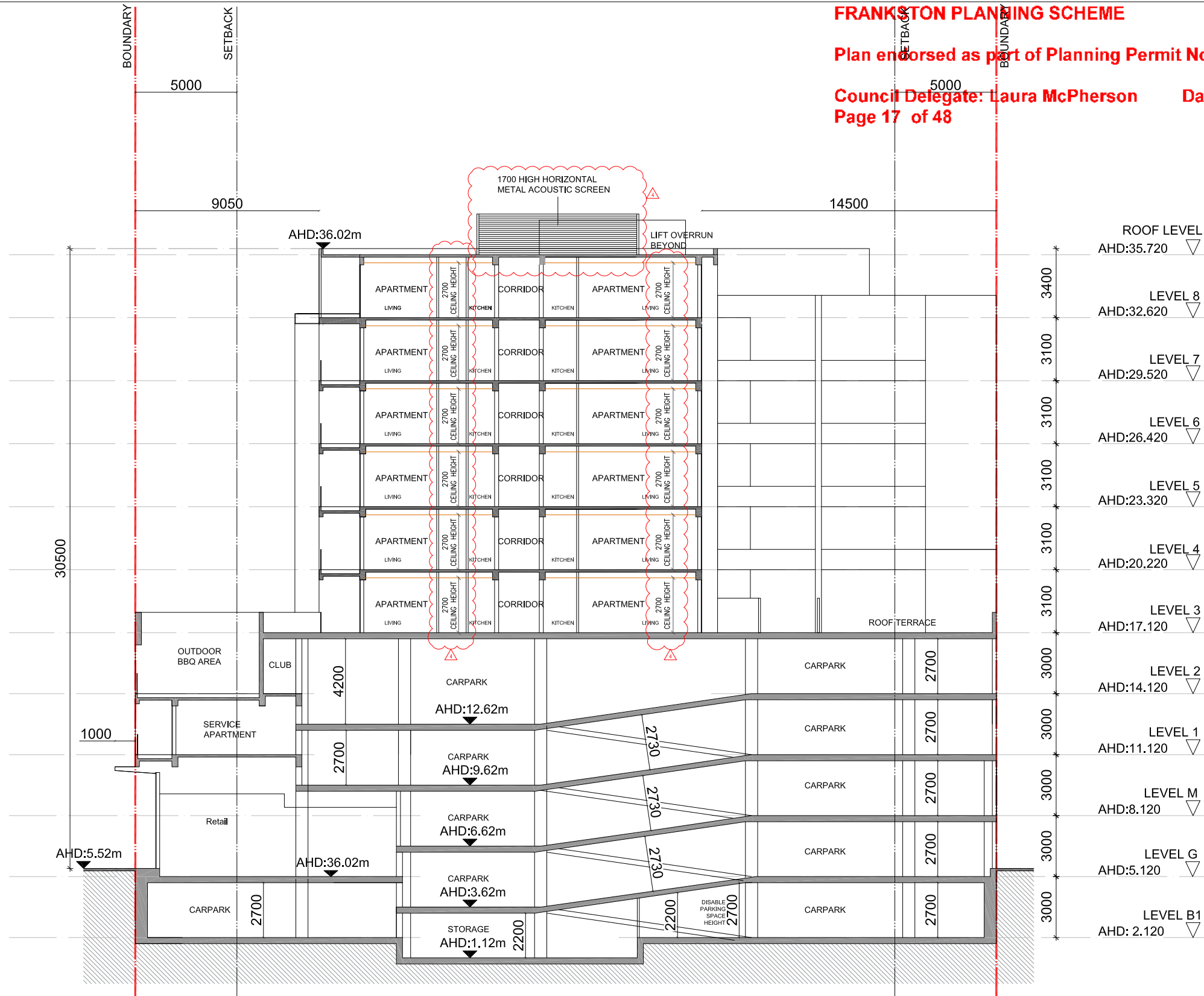
South Streetscape Elevation

 <p>MELBOURNE LONDON HANOI 162 TOORAK ROAD SOUTH YARRA VICTORIA 3141 T: +61 3 9960 4000 ARBV REG. NO. 50072 www.bh-architects.com</p>	<p>Do not scale. All drawings, layouts and area calculations are indicative only and are subject to approval by the relevant Authorities and alterations due to Design Development. Drawings are not to be used for construction. All apartment and balcony areas are calculated as Gross Floor Area in accordance with the Method of Measurement for Residential Property as published by the Property Council of Australia. © COPYRIGHT Bruce Henderson Architects P/L</p>	<table border="1"> <thead> <tr> <th>REV</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>2</td> <td>02.08.2018</td> <td>VCAT ISSUE</td> </tr> <tr> <td>3</td> <td>17.08.2018</td> <td>VCAT ISSUE</td> </tr> <tr> <td>4</td> <td>08.12.2021</td> <td>CONDITION 1 DRAWING</td> </tr> </tbody> </table>	REV	DATE	DESCRIPTION	2	02.08.2018	VCAT ISSUE	3	17.08.2018	VCAT ISSUE	4	08.12.2021	CONDITION 1 DRAWING	<table border="1"> <thead> <tr> <th>REV</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	REV	DATE	DESCRIPTION											<p>PROJECT: Nepean Hwy-424-426 Frankston</p> <p>DRAWING TITLE: Streetscape Elevations</p>	<p>DATE: 17/08/17 JOB N^o: 38004</p> <p>SCALE: 1:250@A1 REVISION N^o: 04</p> <p>DRAWN: _____</p> <p>DRAWING STATUS: TOWNPLANNING DRAWING N^o: TP-305</p>
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Page 17 of 48



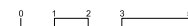
Section A-A



**MELBOURNE
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T: +61 3 9860 4000
ARBV REG. NO. 50072
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REV	DATE	DESCRIPTION	REV	DATE	DESCRIPTION
REV 2	02-08-2018	ISSUE TO VCAT			
3	17.08.2018	VCAT ISSUE			
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PROJECT:
Nepean Hwy-424-426 Frankston
DRAWING TITLE:
Section A-A

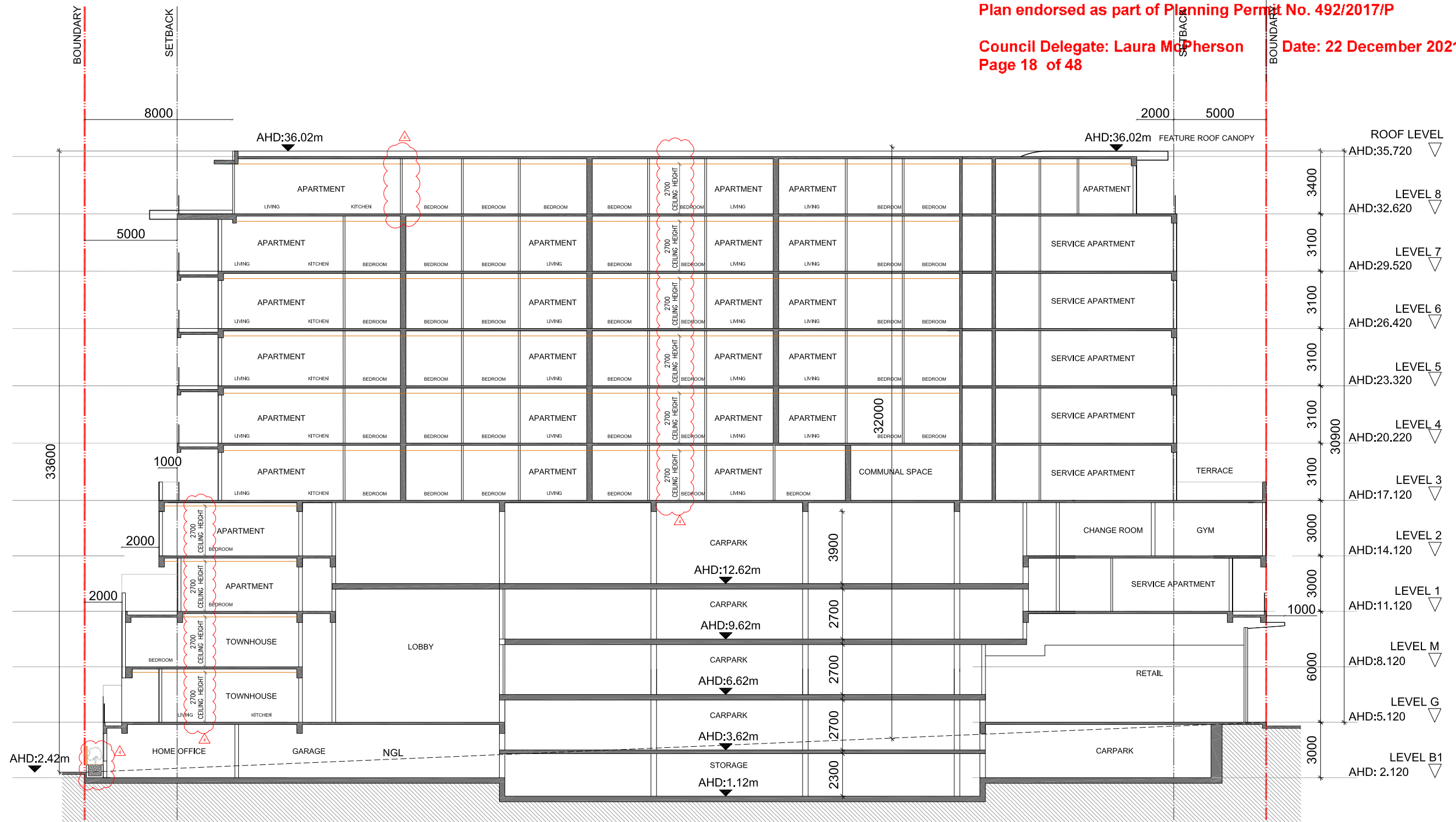
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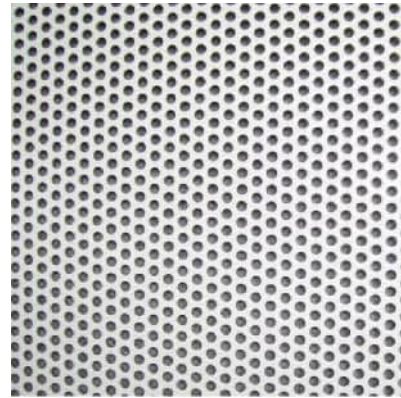
Council Delegate: Laura McPherson
Page 18 of 48

Date: 22 December 2021

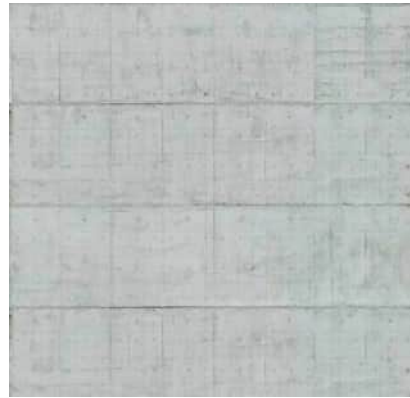


Section B-B

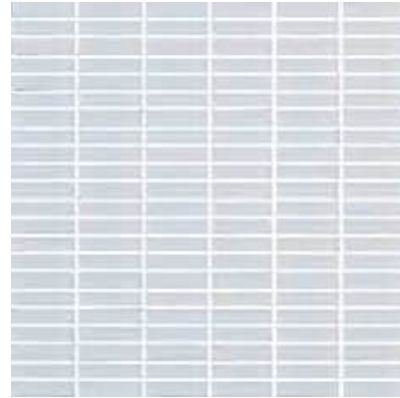
<p>MELBOURNE LONDON HANOI 162 TOORAK ROAD SOUTH YARRA VICTORIA 3141 T: +61 3 9860 4000 AREV REG. NO. 50072 www.bh-architects.com</p>	<p>Do not scale. All drawings, layouts and area calculations are indicative only and are subject to approval by the relevant Authorities and alterations due to Design Development. Drawings are not to be used for construction. All apartment and balcony areas are calculated as Gross Floor Area in accordance with the Method of Measurement for Residential Property as published by the Property Council of Australia. © COPYRIGHT Bruce Henderson Architects P/L</p>	<table border="1"> <thead> <tr> <th>REV</th> <th>DATE</th> <th>DESCRIPTION</th> <th>REV</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>2</td> <td>02-08-2018</td> <td>ISSUE TO VCAT</td> <td></td> <td></td> <td></td> </tr> <tr> <td>3</td> <td>17-08-2018</td> <td>VCAT ISSUE</td> <td></td> <td></td> <td></td> </tr> <tr> <td>4</td> <td>08-12-2021</td> <td>CONDITION 1 DRAWING</td> <td></td> <td></td> <td></td> </tr> </tbody> </table>	REV	DATE	DESCRIPTION	REV	DATE	DESCRIPTION	2	02-08-2018	ISSUE TO VCAT				3	17-08-2018	VCAT ISSUE				4	08-12-2021	CONDITION 1 DRAWING				<p>PROJECT: Nepean Hwy-424-426 Frankston</p> <p>DRAWING TITLE: Section B-B</p>	<p>DATE: 17/08/18 JOB N^o: 38004</p> <p>SCALE: 1:100@A1 REVISION N^o: 04</p> <p>DRAWN:</p> <p>DRAWING STATUS: DRAWING N^o:</p> <p>TOWNPLANNING TP-401</p>
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MS01 - Perforated metal privacy screen, colour light grey



CF01 - Concrete finish, colour light grey



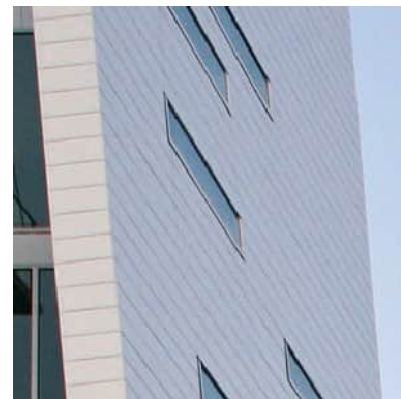
TL01 - External Tile, Matt Finished, Off white Colored



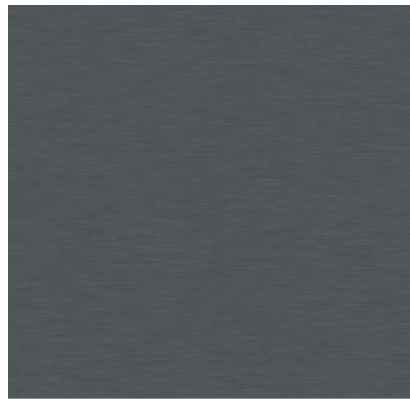
TM01 - Timber Cladding on townhouse facade, Grey Colored



BA 01 - GLASS BALUSTRADE WITH BACK STRUCTURE.



MC01 - Metal cladding, colour medium grey to selected roofs and external walls



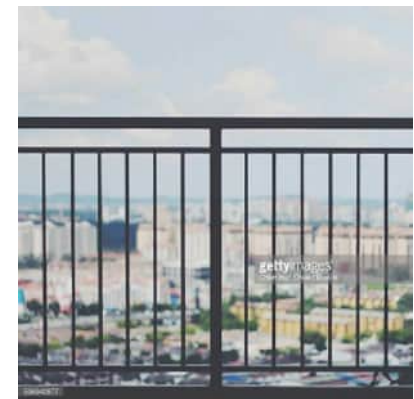
AL01 - Proposed frames, feature fins, louvres, fences, entry gate and canopies, colour charcoal



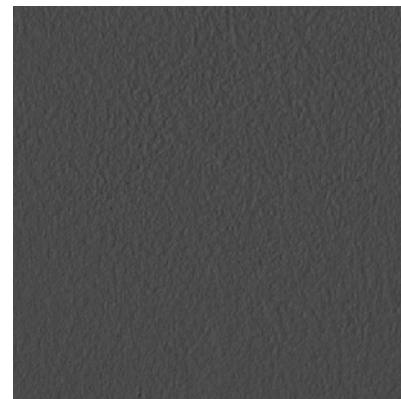
ST01 - Sand stone Cladding on townhouse facade, Honed Finish, Beige Colored



GL01 - Proposed glazing system. Alumium framing sections, charcoal powder coat finish with clear glazed Infil panels (sliding/swing doors and windows). Colour light grey



BA 02 - BLACK METAL BALUSTRADE.



RF01 - Render finish, colour charcoal



GL02 - Proposed glazing system. Alumium framing sections, charcoal powder coat finish with dark grey tinted glass Infil panels (sliding/swing doors and windows).




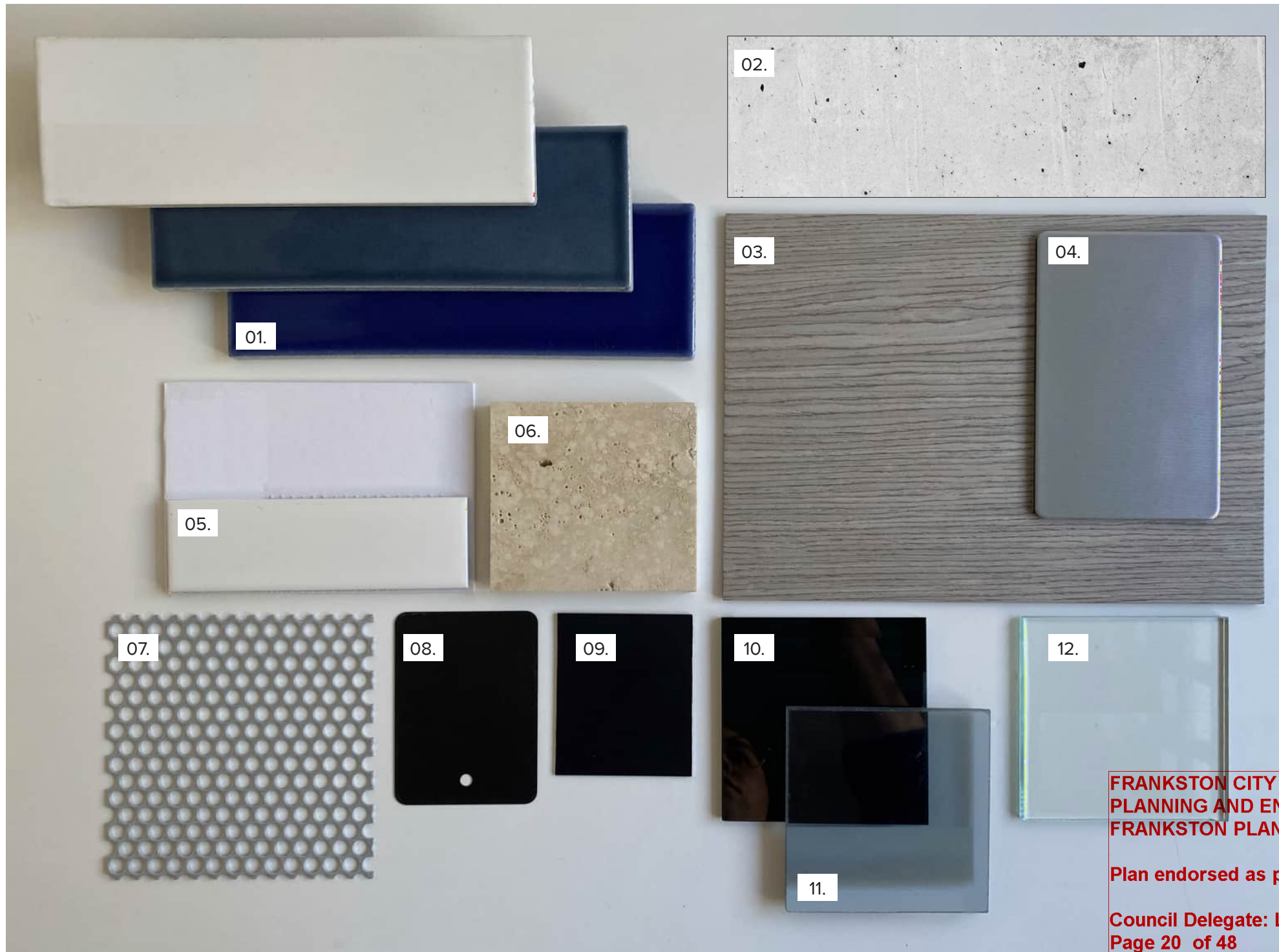
TL02 - Glazed brick tiles, Colour mix light blue, dark blue and white

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Page 19 of 48**

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- 01. **TL01** GLAZED BRICK TILES, COLOUR MIX LIGHT BLUE, DARK BLUE AND WHITE
- 02. **CF01** CONCRETE FINISH, COLOUR LIGHT GREY
- 03. **TM01** TIMBER CLADDING ON TOWNHOUSE FACADE, GREY COLOURED
- 04. **MC01** METAL CLADDING, COLOUR MEDIUM GREY TO SELECTED ROOF AND EXTERNAL
- 05. **TL01** EXTERNAL TILE MATT FINISH, COLOUR OFF WHITE
- 06. **ST01** SANDSTONE CLADDING TO TOWNHOUSE FACADE, HONED FINISH, BEIGE COLOUR
- 07. **MS01** PERFORATED METAL PRIVACY SCREEN, COLOUR LIGHT GREY
- 08. **AL01** PROPOSED FRAMES, FEATURE FINIS, LOUVRES, FENCES, ENTRY GATE AND CANOPIES COLOUR CHARCOAL.
RF01 RENDER FINISH, COLOUR CHARCOAL
- 09. **BA02** BLACK METAL BALUSTRADE
- 10. **GL02** PROPOSED GLAZING SYSTEM ALUMINIUM FRAMING SECTIONS, CHARCOAL POWDER COAT FINISH WITH DARK GREY TINTED GLASS INFILL PANELS (SLIDING/SWING DOORS AND WINDOWS)
- 11. **GL01** PROPOSED GLAZING SYSTEM ALUMINIUM FRAMING SECTIONS, CHARCOAL POWDER COAT FINISH WITH LIGHT GREY GLASS INFILL PANELS (SLIDING/SWING DOORS AND WINDOWS)
- 12. **BA01** CLEAR GLASS BALUSTRADE WITH BLACK STRUCTURE

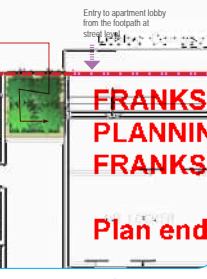
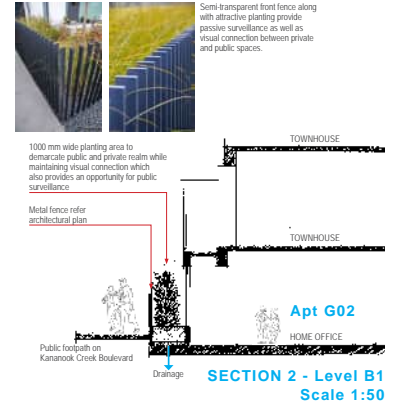
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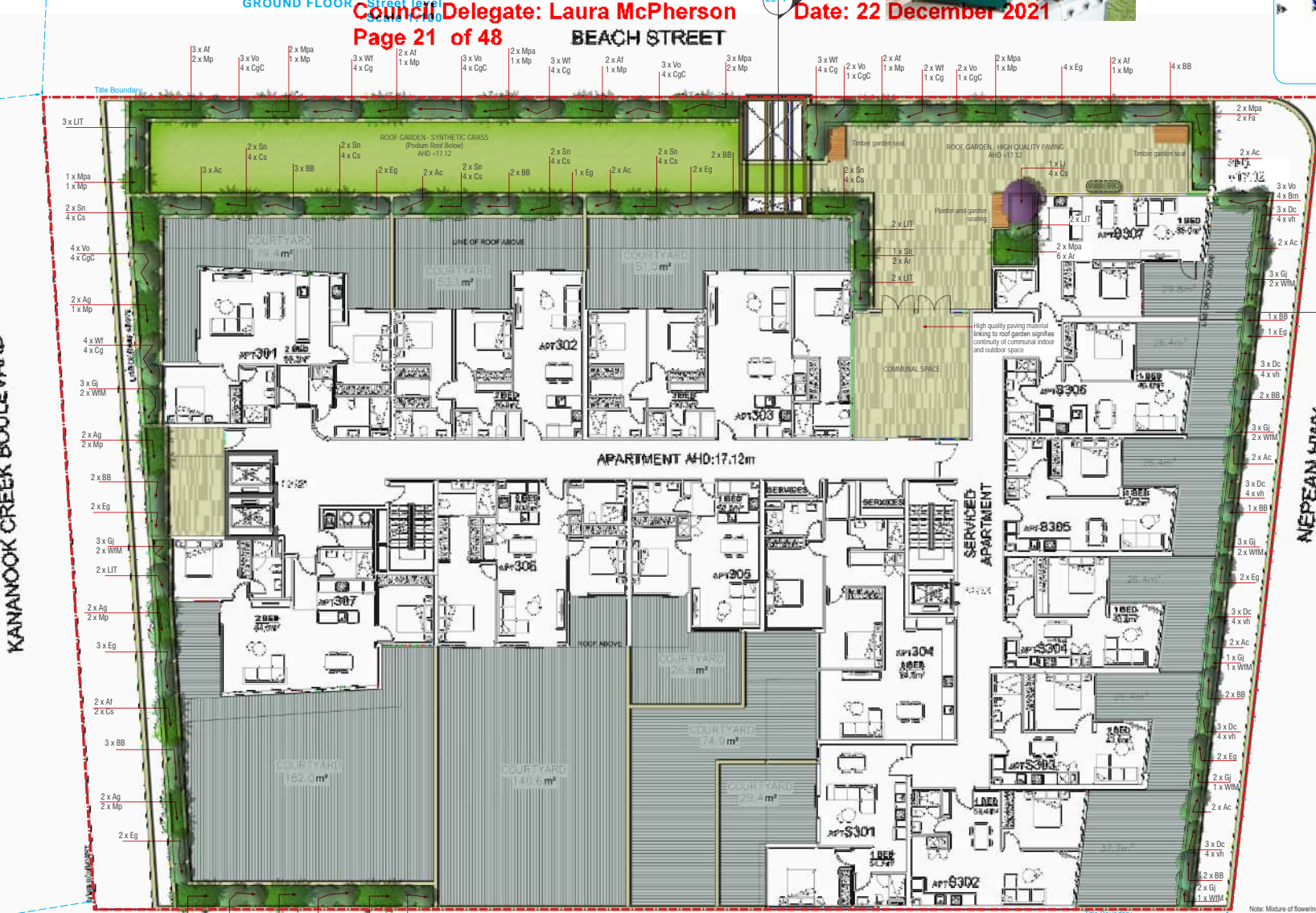
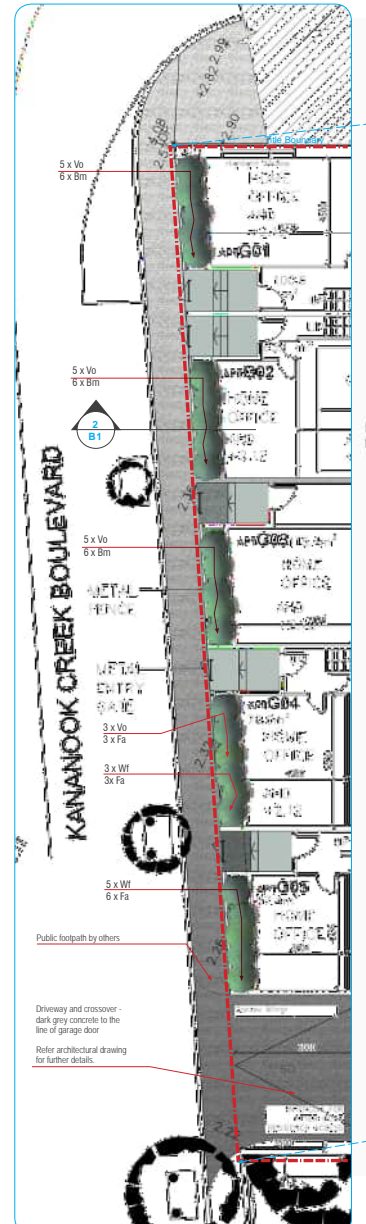
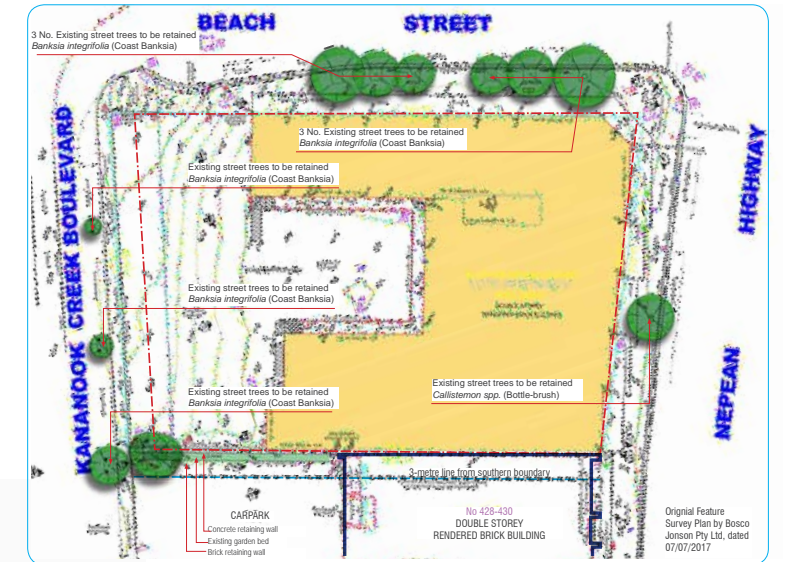
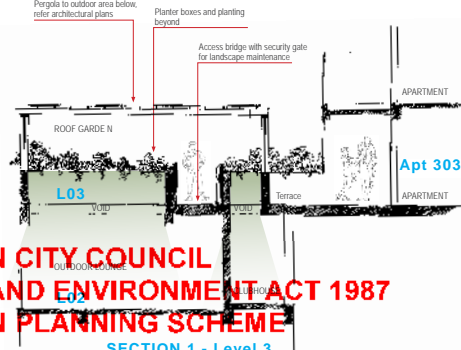
Page 20 of 48

 <p>BRUCE HENDERSON ARCHITECTS</p>	<p>MELBOURNE LONDON HANOI</p> <p>162 TOORAK ROAD SOUTH YARRA VICTORIA 3141 T: +61 3 9860 4000 ARBV REG. NO. 50072 www.bh-architects.com</p>	<p>Do not scale. All drawings, layouts and area calculations are indicative only and are subject to approval by the relevant Authorities and alterations due to Design Development. Drawings are not to be used for construction. All apartment and balcony areas are calculated as Gross Floor Area in accordance with the Method of Measurement for Residential Property as published by the Property Council of Australia.</p> <p>© COPYRIGHT Bruce Henderson Architects P/L</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>REV</th> <th>DATE</th> <th>DESCRIPTION</th> <th>REV</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>04</td> <td>08.12.21</td> <td>CONDITION 1 DRAWING</td> <td></td> <td></td> <td></td> </tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td></tr> </tbody> </table>	REV	DATE	DESCRIPTION	REV	DATE	DESCRIPTION	04	08.12.21	CONDITION 1 DRAWING																																																										<p>PROJECT: Nepean Hwy - 424 - 426 Frankston</p> <p>DRAWING TITLE: MATERIAL SCHEDULE - FLAT LAY</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td>DATE:</td> <td>08/12/2021</td> <td>JOB N°:</td> <td>38004</td> </tr> <tr> <td>SCALE:</td> <td></td> <td>REVISION N°:</td> <td>04</td> </tr> <tr> <td>DRAWN:</td> <td></td> <td>DRAWING STATUS:</td> <td>TOWN PLANNING</td> </tr> <tr> <td></td> <td></td> <td>DRAWING N°:</td> <td>TP-701</td> </tr> </table>	DATE:	08/12/2021	JOB N°:	38004	SCALE:		REVISION N°:	04	DRAWN:		DRAWING STATUS:	TOWN PLANNING			DRAWING N°:	TP-701
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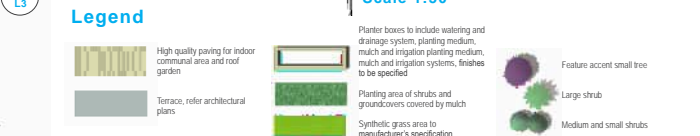
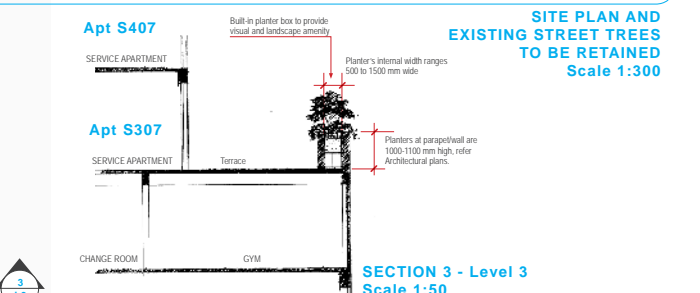
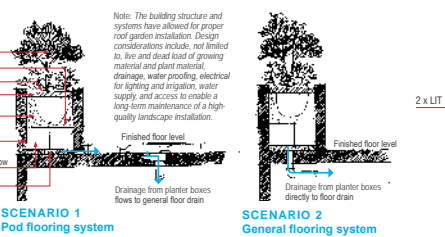


Plan endorsed as part of Planning Permit No. 492/2017

Council Delegate: Laura McPherson
 Page 21 of 48
 Date: 22 December 2021



Typical Details - planters on structure



LANDSCAPE NOTES:

Raised planter boxes: Raised planter construction is to include, but not limited to, the supply and installation of drainage, gravel drainage base, planting medium, mulch and irrigation systems. Planter boxes must be effectively sealed and lined with water proofing system to prevent leaking.

Allow for 50mm layer of specified mulch to top of planting beds. Finished mulch level to be 50mm max below finished level of raised planter. Drop irrigation is to be supplied beneath the mulch layer.

Planting mix: The topsoil blend should consist of the following or similar approved: 60% Sandy loam 20% aged cowslit 20% composted pine bark fines.

Imported topsoil is to be lightly and uniformly compacted in 150mm layers to a minimum depth of 100mm on lawn areas, 300mm on excavated planting beds and 450mm in tree planting areas.

The pH value of imported topsoil should be between 5.5 - 6.5. The organic additives to the sandy loam should be based on well rotted vegetable material or composted animal manure, or other approved material, free from harmful chemicals, grass and weed growth. Ensure soil mix complies with AS 4419-1998 for Landscaping and Garden Use.

Weed control: Landscape contractor is to properly manage weed control on all imported topsoil and planting materials. All weeds shall be thoroughly removed either manually or sprayed with glyphosate based herbicide. All plant material, including roots and rhizomes of non-woody perennials and woody suckering weeds, is to be removed or appropriately controlled using chemical means. The stumps of non-suckering woody perennials are to be stump ground. All vegetative material shall be appropriately removed off site in a manner which will not allow their re-growth elsewhere. Any chemical controls are to be used in accordance with the manufacturer's instructions including Australian standard occupational health and safety procedures.

If any existing planting is to be retained then care must be taken to ensure these are not damaged during removal. Herbicides to be used for weed eradication shall also be carefully handled around the vegetation to be retained.

Planting: Planting shall be carried out using standard horticultural practices with all plants conforming to the species, size and quantities indicated on the landscape plan and plant schedule. All plants are to be healthy, free from pests, diseases and stress. They shall be appropriately hardened off in the nursery. Only plants with healthy root systems with 20% composted pine bark fines to be used.

Semi-advanced tree planting holes are to be roughly the same depth as the rootball and 2/3 times its diameter with the top of the rootball being at grade. A 10mm high berm is to be allowed at edge of rootball to hold water for watering trees.

Planting holes for shrubs and ground covers are to be of minimum size of 75mm larger than the planting pot in all directions.

At the time of planting fertilise all trees 1000mg pot soil with 30 grams of Osmocote all purpose controlled release fertiliser. Fertilise all other shrubs and ground covers with 10 grams of Osmocote. Ensure all plants are well watered at the time of planting and as necessary for the first year until established. For 150-200mm diameter pots apply 10 litres of water immediately following planting.

Mulching: Mulch for all planter boxes are to be grey and white river pebbles of 1-3" diameter. They are to be washed and cleaned without debris and potential plant disease.

Organic mulch is to be supplied to in-ground garden beds only and is to be of chipped or shredded plant material with 80% of particles in the size range from 25 to 50mm width and 5 to 10mm thickness. Mulch shall be free of deleterious and noxious matter such as soil, weeds, and sticks. Mulch shall be stockpiled and thoroughly weathered prior to the application.

Organic mulch shall be laid to a minimum depth of 75mm and is to be sloped towards plant stems and kept 100mm back from the stems of all plants to prevent collar rot.

Synthetic lawn: Synthetic lawn is to be used on L3 installed to manufacturer's specification with proper drainage.

Level/drainage/set-out: Ground levels within all landscape areas should drain away from buildings towards the paths, pits, kerbs etc. in accordance with all regulations.

Ensure all drainage areas have contingency overflow clear of buildings.

All dimensions are to be verified on site prior to construction commencing. Any discrepancies are to be immediately reported to the Project Manager for further instruction.

Irrigation: An approved irrigation system will be provided for all landscaped areas and to be designed in the next stage of detailed design. It is the responsibility of the contractor to ensure that all irrigation needs and specifications for standard horticultural practice. The system shall be drip irrigation to all garden beds and as necessary for the first year until established.

Watering in accordance with current water restrictions using programmable system or by hand watering according to weather conditions but generally 10 minutes every second day to garden beds during establishment period (6 months) and during summer dry periods. Other times and as plants become established watering should gradually be reduced to conserve water and promote deep root systems.

Proposed planting palette

Code	Botanical Name	Common name	Pot Size	Size at maturity	Quantity
Trees (7.5m height max at installation)					
L1	Lagerströmia indica x L. linearis	Creepe Myrtle	30 L	4m x 3m	1
Shrubs					
Ac	Allocasuarina limicola	Wedge-tailed Casuarina	200 mm	1.0m x 1.0m cascading	17
Ab	Abutilon hybrid	Chinese Abutilon	200 mm	1.5m x 1.5m	8
AF	Agrostis flexuosa 'Palma'	Dwarf Willow Myrtle	200 mm	1.2m x 2.0m	11
Ba	Banksia laevigata 'Banksia'	Banksia Blue	200 mm	0.5-1.0m cascading	24
Dc	Dianella caerulea 'Little Jewel'	Pancho Lily	150 mm	0.4m x 0.5m	18
Di	Dianella revivida	Black Armer Pancho Lily	150 mm	0.4m x 0.5m	20
Gl	Gelechioideae	Gelechioideae	150 mm	1.0m x 1.0m	20
Eg	Eurychorda palmata 'Blue Daze'	Blue Daze	150 mm	0.5-1.0m cascading	20
Lm	Lomandra longifolia 'Kavadi'	Spine-headed Matrush	150 mm	1.0m x 1.0m	26
Mp	Murraya paniculata	Muramba	200 mm	1.5m x 1.5m	11
Og	Oenothera registeri	Blue Poppy	400 mm	2.5m x 2.0m	21
Vo	Viburnum chinensis	Sweet Viburnum	200 mm	1.2m x 2.0m	28
Wf	Weinmannia frutescens	Coastal rosemary	200 mm	1.0-3.0m x 1.5-3.0m	23
Groundcovers					
Ar	Asplenium 'Curtin's Giant'	Curtin's Giant	150 mm	0.3m spreading	8
Br	Bryostroma laevigatum	Cut Leaf Daisy	150 mm	0.3m x 0.4m	18
Cg	Chrysanthemum 'Chrysanthemum'	Chrysanthemum	150 mm	0.3m spreading	13
Cp	Casuarina glauca 'Cousin'	Casuarina Cousin B	150 mm	0.3m spreading	18
Lf	Lomandra longifolia 'Early Blue'	Early Blue	150 mm	0.3m spreading	36
Fa	Frailea amabilis	Blue Daisy	150 mm	0.3-0.6m x 0.5m	24
Mp	Muscivora parviflora	Carewings	150 mm	0.3m spreading	21
Va	Viburnum chinensis	Sweet Viburnum	150 mm	0.3m spreading	28
Wm	Weinmannia frutescens 'Munda'	Groundcover Munda	150 mm	0.4-0.5m spreading	11



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Date	Revision	Issue
13/10/2021	Preliminary design	For review and comment
26/10/2021	Town Planning	Pre-final
04/11/2021	Town Planning update	Pre-final

Multi-storey Development at 424-426 Nepean Highway Frankston
LANDSCAPE CONCEPT PLAN
 In Response to RFI of Permit Number 492/2017/P

Thad Patraoon Registered Landscape Architect AILA #000406
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 Mobile: 0408 188 815 Landline: 03-9994 2565
 Email: design@thadpatraoon.com.au
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Executive Summary**11.3 250 Wedge Road, Skye - Planning Scheme Amendment C158fran (Deletion of Public Acquisition Overlay - Schedule 3) - Consideration of Planning Panel Report**

Enquiries: (Tammy Beauchamp: Communities)

Council Plan

Level 1:	4. Well Planned and Liveable City
Level 2:	4.3 Provide well designed, fit for purpose, multi-use open spaces and infrastructure for the community to connect, engage and participate

Purpose

For Council to consider the Planning Panel Report for Planning Scheme Amendment C158fran (Removal of Public Acquisition Overlay, Schedule 3 (PAO3) from 250 Wedge Road, Skye), to adopt the Amendment as exhibited and submit the Amendment to the Minister for Planning for approval.

Recommendation (Director Communities)

That Council:

1. Considers the Panel Report for Planning Scheme Amendment C158fran pursuant to Section 27 of the *Planning and Environment Act 1987*;
2. Adopts Planning Scheme Amendment C158fran as exhibited pursuant to Section 29 of the *Planning and Environment Act 1987*;
3. Submits adopted Planning Scheme Amendment C158fran to the Minister for Planning for approval pursuant to Section 31 of the *Planning and Environment Act 1987*;
4. Authorises the Director Communities to make changes to Planning Scheme Amendment C158fran to meet any conditions of approval from the Department of Transport and Planning; and
5. Notes that officers will notify all submitters of the decision.

Key Points / Issues

- At the 3 April 2023 Council Meeting, it was resolved that Council:
 1. Seeks the authorisation of the Minister for Planning under Section 8A(2) of the *Planning and Environment Act 1987 (PE Act)*, to prepare Amendment C158fran to the Frankston Planning Scheme;
 2. Gives notice of Amendment C158fran under Section 19 of the *PE Act*, subject to receiving authorisation from the Minister for Planning;
 3. Adopts the amended Carrum Downs Outline Development Plan 1987 (**Amended DP**), subject to the gazettal Amendment C158fran and the owner of the property known as 250 Wedge Road, Skye (**Owner**), complying with its obligations in respect of the subdivision and sale of part of that land as specified in the land transfer deed (**Owner's Obligations**);

11.3 250 Wedge Road, Skye - Planning Scheme Amendment C158fran (Deletion of Public Acquisition Overlay - Schedule 3) - Consideration of Planning Panel Report**Executive Summary**

4. *Resolves to acquire the land shown as Parcel A, Parcel B and Parcel D on the plan (**Subject Land**), for nil monetary consideration, subject to:
 - a. *in respect of all of the Subject Land, the Owner complying with the Owner's Obligations, the gazettal of Amendment C158fran and the adoption of the Amended DP; and*
 - b. *in respect of Parcel D, the Owner constructing and vesting in Council a public road in the location of Parcel D, in accordance with the agreement pursuant to section 173 of the PE Act;**
 5. *Authorises the Chief Executive Officer, or his delegate, to sign on behalf of Council, the land transfer deed and agreement pursuant to section 173 of the PE Act, and all other documents required to be signed to give effect to the decisions which are the subject of this resolution;*
 6. *Resolves Attachment D to this report be retained confidential on the grounds that it contains private commercial information, being information provided by a business, commercial or financial undertaking that if released, would unreasonably expose the business, commercial or financial undertaking to disadvantage, pursuant to the Local Government Act 2020 s3(1)(g);*
 7. *Notes that following the completed land transfer, that this new reserve would be classified as District Open Space;*
 8. *Notes that following the completed land transfer, Council is required to undertake background and Existing Condition report to develop a concept plan and further master plan for this open space; and*
 9. *Notes that \$160,000 has been included in the 2023/24 draft Long Term Infrastructure Plan to prepare the '250 Wedge Road Master Plan', including supporting reports and community engagement.*
 10. *Resolves following the completed land transfer and completion of Masterplan as referred in this resolution a formal naming process will be undertaken for the new Reserve.*
- Planning Scheme Amendment C158fran (the Amendment) proposes to delete the Public Acquisition Overlay, Schedule 3 – Open space/recreation (PAO3), from part of 250 Wedge Road, Skye since the land will be transferred to Council for open space/recreational purposes through a Land Transfer Deed.
 - The Amendment was placed on public exhibition from 25 January 2024 to 26 February 2024 for a period of four (4) weeks.
 - A total of three (3) written submissions were received during the exhibition period, with two (2) from servicing authorities (South East Water and Department of Energy, Environment and Climate Action – DEECA) stating no objection to the Amendment and one (1) objecting submission from a resident.
 - At the Council Meeting of 22 April 2024 Council resolved to request the Minister for Planning to appoint an independent Planning Panel to consider all submissions received.
 - On 29 April 2024, the Minister for Planning appointed an independent one (1) member Planning Panel (Panel).

11.3 250 Wedge Road, Skye - Planning Scheme Amendment C158fran (Deletion of Public Acquisition Overlay - Schedule 3) - Consideration of Planning Panel Report

Executive Summary

- On 13 May 2024, the Panel confirmed that the process would be considered “on the papers” as none of the submitters requested to be heard. In addition the Panel directed Council to provide a further written submission by 7 June, which was provided to the Panel on 4 June 2024.
- On 13 June 2024 the Panel Report was received which is supportive of the Amendment, recommending adoption of the Amendment as exhibited.

Financial Impact

There are financial costs associated with the Planning Panel process and the adoption of the Amendment, however, these costs have been accommodated within existing budgets.

Consultation

The Amendment was publicly exhibited for four (4) weeks from 25 January 2024 to 26 February 2024 and public notice of the Amendment was undertaken as follows:

	Notice	Date
1.	Council's website	25 January 2024
2.	Government Gazette	25 January 2024
3.	Frankston Times	23 January 2024
4.	Notice given to prescribed Ministers and relevant authorities	25 January 2024
5.	Notice given to Neighbouring Councils (Kingston, Greater Dandenong, Casey and Mornington Peninsula)	25 January 2024
6.	Letter sent to all property owners and occupiers within a 400 metre radius of the PAO3	23 January 2024
7.	Department of Transport and Planning (DTP) website	25 January 2024

At the conclusion of the public exhibition period, a total of three (3) written submissions were received. Two (2) written submissions supported/provided no objection to the Amendment, and one (1) objected. A summary of the submissions was included in the Council report presented at the 22 April 2024 Council Meeting.

All submissions were referred to the Panel for consideration. None of the submitters requested to be heard at a Panel Hearing. As a hearing was not required, the Amendment was to be considered “on the papers”.

Analysis (Environmental / Economic / Social Implications)

The deletion of the PAO3 will have positive impacts as it will bring forward the delivery of District Open Space (through a land transfer) that has been identified since 1987 and does not require Council to purchase the land. This public open space is needed for the local Skye community and the broader catchment of Carrum Downs (District Open Space has a catchment of 2.0 kilometres), making appropriate use of green wedge land while enabling zoned residential land (connected to services) to be readily developed for housing.

11.3 250 Wedge Road, Skye - Planning Scheme Amendment C158fran (Deletion of Public Acquisition Overlay - Schedule 3) - Consideration of Planning Panel Report**Executive Summary****Legal / Policy / Council Plan Impact**Charter of Human Rights and Responsibilities

The Charter of Human Rights and Responsibilities has been considered in the preparation of this report but is not relevant to the content of the report.

Legal

The Amendment has been prepared in accordance with the *Planning and Environment Act 1987* and *Ministerial Direction No.15* which outlines the timeframes and steps of the Planning Scheme Amendment process.

Policy Impacts

Municipal councils (as the planning authority) have a number of duties and powers which are listed at Section 12 of the *Planning and Environment Act 1987* (the Act). Under Section 12a planning authority must have regard to:

- *The objectives of planning in Victoria;*
- *The Minister's directions;*
- *The Victorian Planning Provisions; and*
- *The Frankston Planning Scheme.*

This Amendment is consistent with the requirements of Section 12 of the Act.

This Amendment also addresses the Department of Transport and Planning publication *Strategic Assessment Guidelines for Planning Scheme Amendments*.

Gender Impact Assessments

No gender impact assessment was required as this initiative has no impact on our community or the public.

Officer's Declaration of Interests

Council officers involved in the preparation of this report have no Conflict of Interest in this matter.

Risk Mitigation

A full Planning Scheme Amendment was required as the deletion of the PAO is occurring on land that is in private ownership. Pursuant to Section 107(1)(a) of the Act, there are compensation rights for any '*financial loss suffered as the natural, direct and reasonable consequence*' of that amendment.

If Council resolves to abandon the Amendment or if the requirements of the Deed are unable to be met, each of the parties can walk away from the agreement and the land will remain as it is.

Abandoning the Amendment will prevent the land transfer from occurring, removing the ability for Council to deliver the District Open Space (without financial acquisition) and prohibit the residential zoned land from being developed.

11.3 250 Wedge Road, Skye - Planning Scheme Amendment C158fran (Deletion of Public Acquisition Overlay - Schedule 3) - Consideration of Planning Panel Report**Executive Summary****Conclusion**

The deletion of the PAO3 is strategically justified as it will bring forward the delivery of District Open Space, making appropriate use of green wedge land, while enabling residential zoned land to be appropriately developed for housing, thereby increasing housing supply and diversity. The Panel considers the Amendment is well founded, strategically justified and should be adopted as exhibited.

It is recommended that Council adopt the Amendment as exhibited as per the Panel's recommendation and submit the Amendment to the Minister of Planning for approval.

ATTACHMENTS

Attachment A: [↓](#) Frankston Planning Scheme Amendment C158fran Planning Panel Report, 13 June 2024

Attachment B: [↓](#) Frankston Planning Scheme Amendment C158fran Planning Scheme Amendment Documents

11.3 250 Wedge Road, Skye - Planning Scheme Amendment C158fran (Deletion of Public Acquisition Overlay - Schedule 3) - Consideration of Planning Panel Report**Officers' Assessment****Background**

The ODP, the planning permit for the Development Site and agreement no. AT416277Y pursuant to section 173 of the *Planning and Environment Act 1987*, together, require the making of a public open space contribution at the time of the subdivision of 250 Wedge Road (POS Contribution).

There is an opportunity for Council, the Owners and the Developer to benefit from a land transfer arrangement, in which Parcel A, Parcel B and Parcel D on the plan attached at Attachment E will be transferred to Council for nil monetary consideration for use as active open space and road purposes, respectively, and the Owners and the Developer will have Parcel C relieved of obligations under the PAO3 and the Development Plan Overlay.

Subject to Council complying with its obligations under the *Local Government Act 2020* and the deed proposed to be entered into by the parties, the Owners must make the POS Contribution by transferring to Council, Parcels A and B, for nil monetary consideration, in lieu of Parcels C, D and A.



Figure 01: *Approved subdivision and land transfer agreement*

Land Transfer (Deed)

A Deed was undertaken between Council and the relevant parties which provides written agreement to undertake all of the steps required to facilitate the transfer of the land.

The Deed will be finalised upon gazettal of the Planning Scheme Amendment C158fran which will delete the PAO3 from the subject site.

S173 Agreement

The Owners have entered into a section 173 agreement to prescribe the future use and development of Parcel D as a road.

The section 173 agreement will be an appendix of the Deed and will be finalised when the Deed is finalised.

11.3 250 Wedge Road, Skye - Planning Scheme Amendment C158fran (Deletion of Public Acquisition Overlay - Schedule 3) - Consideration of Planning Panel Report**Officers' Assessment**

- **Carrum Downs Outline Development Plan 1987**

The adopted ODP was first adopted in 1987 by the former Shire of Cranbourne and has been amended nine (9) times since its adoption. The area designated for District Level Open Space in the ODP has a significant future role in servicing the wider Carrum Downs/Skye community. The land is part zoned residential and part green wedge and is affected by the PAO3 with Council as the acquiring Authority. Delays in Council being in a position to acquire this land has placed pressure on existing reserves servicing this growing community.

- **Frankston City Open Space Strategy 2016**

This new reserve would be classified as a 'District Open Space' defined as follows in the Frankston City Open Space Strategy 2016:

"District open space attracts users from across the municipality. These spaces cater for a wide cross section of the community. District open spaces frequently provide multiple experiences and activities such as; appreciation of natural and cultural heritage assets, sporting facilities, relaxation and solitude, social interaction and play, education, and floodway and waterway management."

A District Open Space has a 2km travel and transport catchment. Long term planning based on further demand analysis to meet existing and future need – new open space needs to be matched to expected population densities. Emerging social and recreational demand.

The need for new District open space in Skye is acknowledged in the Strategy as follows:

- The provision of sporting open space for active recreation is expected to fall to 1.94 hectares per thousand residents by 2031, with Skye (0.49 ha/person), Carrum Downs (0.96 ha/person) and Langwarrin/Langwarrin South (1.06 ha/person) falling below our standards of 1.5 hectares per 1000 persons. Strategically increasing the provision of sporting open space in these neighbourhoods would provide greater equity of access in neighbourhoods where current provision falls below our standards of 1.5 ha / per 1000 persons.
- Participation in organised sport is more prevalent in younger age groups in Frankston City, yet neighbourhoods such as Skye, Carrum Downs and Langwarrin that have had recent growth in this younger age group have the lowest per capita supply open space for active recreation and organised sport.

There are a number of actions in the Strategy that refer to the need for new and upgraded open space in Skye as follows:

- Investigate new open space to expand Lisa Beth Mews for district level open space. Develop and implement a master plan to support structured and unstructured recreation to meet existing and future demand due to forecast population increases in Skye, Carrum Downs and Sandhurst.
- Priority action for future proofing Skye and providing new open space: An open space contributions scheme, as part of future housing growth, through land contribution, developer contributions, council purchase and other methods. Provide: new and expanded district open space in Carrum Downs and Skye to support sporting, unstructured recreation and family leisure.

11.3 250 Wedge Road, Skye - Planning Scheme Amendment C158fran (Deletion of Public Acquisition Overlay - Schedule 3) - Consideration of Planning Panel Report**Officers' Assessment**

- Priority Action for upgraded open space - Upgrade open space for sporting and active recreation in Carrum Downs, Skye, Langwarrin and Langwarrin South.
- Municipal priority project - Establish a Land Acquisitions and Disposals Program, prioritising new open space for sporting use in the Green Wedge in Carrum Downs and Skye. Refer to Municipal new open space opportunities 2016-2036 diagram and Part 2 Neighbourhood Opportunities for further details.
- Skye priority project - Conduct feasibility and needs studies, demand assessments and consultation to identify opportunities for new open space partnership agreements and acquisition of land for district, local and linear open space including the following land options: expansion of Lisa Beth Mews, along the edge of the urban growth boundary.
- **Frankston City Play Strategy 2021**

The Play Strategy identifies the need for a community level play space to address a local walking gap as a high priority to deliver within 1-7 years.

- Investigate feasibility for play and other recreation opportunities (including potential new BMX pump track and multi-use courts) at: Lisa Beth Mews.
- **Planning Scheme Amendment**

Amendment C158fran proposes to delete the Public Acquisition Overlay – Schedule 3 from the land at 250 Wedge Road, Skye. This involves amending the Frankston Planning Scheme Map No 3PAO to delete the PAO3 on the subject site.

Issues and Discussion

Planning Scheme Amendment C158fran was exhibited for a period of four (4) weeks from 25 January 2024 to 26 February 2024 and three (3) written submissions were received.

Submissions #1 and #2 were both from servicing authorities (South East Water and Department of Energy, Environment and Climate Action) and provided no objection the Amendment.

Submission #3 was from a notified landowner who objected to the Amendment.

Submission #3

The submission objected to the Amendment on the basis that the deletion of the PAO3 will increase housing, as it makes available 1.2ha of residential zoned land (equating to approximately twenty six (26) future additional residential lots) and that the public open space that is being provided through previously approved Planning Permit 400/2021/P and the delivery of the District Open Space will not meet the amount of open space that the community requires.

Officers noted that the future subdivision of the 1.2ha of residential land would not result in the need for additional open space as the broader approved subdivision under previously approved Planning Permit 400/2021/P, provides an open space contribution of 8.3%, well above the 5% that is required as per Schedule 1 to Clause 53.01 Public Opens Space Contribution and Subdivision of the Frankston Planning Scheme. The Amendment (if approved) will facilitate Council's acquisition of 4.9ha of open space north of Lisa Beth Mews (4.1ha). This is the same amount set aside by the PAO3.

On 29 February, a meeting was held between a Council Officer and the submitter to further discuss the concerns that were raised in the submission. Following this meeting,

11.3 250 Wedge Road, Skye - Planning Scheme Amendment C158fran (Deletion of Public Acquisition Overlay - Schedule 3) - Consideration of Planning Panel Report

Officers' Assessment

an email providing further information was sent to the submitter on 6 March 2024. The submitter responded to this email on 10 March 2024 outlining that despite the additional information, their concerns were unable to be resolved.

The submitter sought Council to financially acquire the land as per the PAO3 and develop the open space in the exact location as shown in the ODP and deliver the district open space in 2025 without the proposed Amendment. This would ensure that the 1.2ha area of residential zoned land would not be able to be developed.

The matters raised in the submission could not be resolved, and an independent Planning Panel was required. Council at the 22 April 2024 Meeting resolved to request that the Minister for Planning appoint an Independent Planning Panel to consider the submissions.

- **Independent Planning Panel process**

The following timeline and processes were undertaken prior to Council receiving the Panel Report:

Date	Status
26 April 2024	Council requested the Minister for Planning to appoint an independent planning panel to consider the submissions.
29 April 2024	The Minister for Planning appointed a one (1) member Independent Planning Panel.
30 April 2024	Planning Panels Victoria (Panel) notified Council and submitters that an 'on the papers' process for the Amendment could be appropriate and that the parties has until 8 May 2024 to advise on their position in this process.
13 May 2024	Panel confirmed the Amendment would be considered 'on the papers' and directed Council to provide a further written submission to Panel on 7 June 2024.
4 June 2024	Council officers provided the submission to the Panel.
13 June 2024	Panel Report received, recommending that the Amendment is adopted as exhibited.

Key Issues

The Panel considered the key issues raised in submissions which included:

- The Amendment would increase the number of residential dwellings.
- Further public open space is needed if there is an increase in dwellings.
- Overdevelopment of the subject land.
- Public open space should be delivered as envisaged by the ODP and PAO3.

Panel Report Findings

The Panel considers the deletion of the PAO3 is strategically justified as it will bring forward the delivery of District Open Space, making appropriate use of the GWZ land while enabling residential zoned land to be appropriately developed for housing, increasing housing supply and diversity. The Panel considers the Amendment is well founded, strategically justified and should be adopted as exhibited.

11.3 250 Wedge Road, Skye - Planning Scheme Amendment C158fran (Deletion of Public Acquisition Overlay - Schedule 3) - Consideration of Planning Panel Report

Officers' Assessment

Panel Recommendation

The Panel's recommendation is:

Adopt Frankston Planning Scheme Amendment C158fran as exhibited.

Council officers support the recommendation of the Panel.

Next Steps

The Amendment is at **Stage 05** of the statutory process, detailed below in Figure 01.



Figure 02: Steps in the Planning Scheme Amendment Process

If Council resolve to adopt Planning Scheme Amendment C158fran, Council officers will prepare the final documents and submit these to the Minister for Planning for approval – **Stage 06**.

Approval timeframes for the Amendment cannot be confirmed and are subject to processes undertaken by the Department of Transport and Planning (DTP - Planning).

Options Available including Financial Implications

There are financial costs associated with the Panel process and adoption of a Planning Scheme Amendment, however, these costs have been accommodated within existing budgets.

**Planning
Panels
Victoria**

**Frankston Planning Scheme Amendment C158fran
250 Wedge Road, Skye**

Panel Report

Planning and Environment Act 1987

13 June 2024

How will this report be used?

This is a brief description of how this report will be used for the benefit of people unfamiliar with the planning system. If you have concerns about a specific issue you should seek independent advice.

The planning authority must consider this report before deciding whether to adopt the Amendment.

[section 27(1) of the *Planning and Environment Act 1987* (the PE Act)]

For the Amendment to proceed, it must be adopted by the planning authority and then sent to the Minister for Planning for approval.

The planning authority is not obliged to follow the recommendations of the Panel, but it must give its reasons if it does not follow the recommendations. [section 31 (1) of the PE Act, and section 9 of the *Planning and Environment Regulations 2015*]

If approved by the Minister for Planning a formal change will be made to the planning scheme. Notice of approval of the Amendment will be published in the Government Gazette. [section 37 of the PE Act]

Planning Panels Victoria acknowledges the Wurundjeri Woi Wurrung People as the traditional custodians of the land on which our office is located. We pay our respects to their Elders past and present.

Planning and Environment Act 1987

Panel Report pursuant to section 25 of the PE Act

Frankston Planning Scheme Amendment C158fran

250 Wedge Road, Skye

13 June 2024



Sarah Raso, Chair

Contents

	Page
Executive summary	5
1 Introduction.....	6
1.1 The Amendment, property and subject land	6
1.2 Background	7
1.3 The Panel’s approach.....	8
1.4 Limitations.....	9
2 Strategic issues	10
2.1 Planning context	10
2.2 Strategic justification	10
3 Public Acquisition Overlay Schedule 3	11
Appendix A Document list.....	13

List of Tables

	Page
Table 1 Background	8
Table 2 Planning context	10

List of Figures

	Page
Figure 1 Property and zoning map, subject land shown in red.....	6
Figure 2 Land parcels.....	7

Glossary and abbreviations

Council	Frankston City Council
Development Plan	Carrum Downs Outline Development Plan 1987
District Open Space	‘District Level Playing Field’ open space
GRZ	General Residential Zone
GWZ	Green Wedge Zone
PAO3	Public Acquisition Overlay Schedule 3
PE Act	<i>Planning and Environment Act 1987</i>
property	250 Wedge Road, Skye
subject land	part 250 Wedge Road, Skye

Overview

Amendment summary

The Amendment	Frankston Planning Scheme Amendment C158fran
Common name	250 Wedge Road, Skye
Brief description	Delete Public Acquisition Overlay Schedule 3 from part of 250 Wedge Road, Skye
Subject land	part 250 Wedge Road, Skye
Planning Authority	Frankston City Council
Authorisation	21 November 2023, without conditions
Exhibition	25 January to 26 February 2024
Submissions	Number of Submissions: 3 Opposed: 1 <ol style="list-style-type: none">1. South East Water2. Department of Energy, Environment and Climate Action3. James Rigby

Panel process

The Panel	Sarah Raso
Directions Hearing	Not required
Panel Hearing	Not required (considered 'on the papers')
Site inspections	Unaccompanied, 2 June 2024
Citation	Frankston PSA C158fran [2024] PPV
Date of this report	13 June 2024

Executive summary

Frankston Planning Scheme Amendment C158fran (the Amendment) seeks to delete Public Acquisition Overlay Schedule 3 (Open Space/recreation) (PAO3) from part of 250 Wedge Road, Skye (subject land).

The subject land forms part of a wider parcel of land (property). The property is in private ownership however the subject land has been designated as the 'District Level Playing Field' open space (District Open Space) in the Carrum Downs Outline Development Plan 1987. The subject land is shown as Parcel A, Parcel C and Parcel D in Figure 2.

PAO3 was applied to the subject land to ensure Council could acquire it to deliver the District Open Space. The Green Wedge Zone (Parcel A and D) and the General Residential Zone (Parcel C) apply to the subject land. The General Residential Zoned land could be subdivided and developed for residential purposes. However, it is impacted by PAO3. Therefore, under the current planning framework, it is not possible to develop Parcel C for residential purposes.

Parcel B, zoned Green Wedge, is not affected by PAO3 and is therefore considered better suited for future use as public open space.

To facilitate the residential subdivision of the General Residential zoned land (Parcel C), the developer and the current owners of the subject land have agreed in principle to transfer the land identified as Parcels A and B to Council, in return for Council relinquishing its right to require Parcels C and D to be provided to Council as part of the District Open Space.

To facilitate this outcome, PAO3 is proposed to be removed.

Key issues raised in submissions included:

- the Amendment would increase the number of residential dwellings
- further public open space is needed if there is an increase in dwellings
- overdevelopment of subject land
- public open space should be delivered as envisaged by the Development Plan and PAO4.

The Panel considers the Amendment is well founded and strategically justified and should proceed. It is appropriate and justified to delete PAO3 as it will free up land for residential development and the land transfer arrangement will enable the provision of the District Open Space within the land zoned Green Wedge. New housing should be encouraged on land that is appropriately zoned for residential development and the additional dwellings will not result in a need for an increased provision of land for open space.

Recommendations

Based on the reasons set out in this Report, the Panel recommends:

- 1. Adopt Frankston Planning Scheme Amendment C158fran as exhibited.**

1 Introduction

1.1 The Amendment, property and subject land

The purpose of the Amendment is to delete Public Acquisition Overlay Schedule 3 (Open Space/recreation) (PAO3) from part of 250 Wedge Road, Skye (subject land).

The subject land forms part of a wider parcel of land, known as 250 Wedge Road, Skye, as shown in Figure 1 (property). The property has an 800 metre frontage to Wedge Road and is approximately 63.6 hectares in size. It is rectangular and undulating.

Figure 1 Property and zoning map, subject land shown in red



Source: Council submission

The western third of the property is zoned General Residential and is within the Urban Growth Boundary. The remainder of the land is in the Green Wedge Zone (GWZ) and is used for agricultural purposes, principally grazing of livestock.

Vehicle access is from Wedge Road approximately 255 metres from the western property boundary, which is located outside the residential zoned land.

The property is situated to the east of McCormicks Road and on the edge of the established Skye residential suburb. On the north side of Wedge Road is Sandhurst Residential Estate. To the west and south the land has been developed for residential purposes.

The property is in private ownership, however the subject land has been designated as the ‘District Level Playing Field’ open space (District Open Space) in the Carrum Downs Outline Development Plan 1987 (Development Plan). The subject land is shown as Parcel A, Parcel C and Parcel D in Figure 2.

Figure 2 Land parcels



Source: Council submission

PAO3 was applied to the subject land to ensure Council could acquire it to deliver the District Open Space. The GWZ and General Residential Zone (GRZ) apply to the subject land. The GRZ enables Parcel C to be subdivided and developed for residential purposes. However, it is impacted by PAO3 and is identified in the Development Plan as land required for the District Open Space¹. Therefore, under the current planning framework, it is not possible to develop Parcel C for residential purposes.

Parcel B is subject to the GWZ and is not affected by PAO3. However, Council considers the land is better suited for future use as public open space, instead of Parcel C.

To facilitate the residential subdivision of the GRZ land (Parcel C), the developer and the current owners of the property have agreed in principle to transfer the land identified as Parcels A and B to Council, in return for Council relinquishing its right to require Parcels C and D to be provided to Council as part of the District Open Space.

To facilitate this outcome, the Amendment proposes to remove PAO3.

1.2 Background

Council provided a background to the Amendment in its Submission, including a chronology of events which the Panel has summarised in Table 1.

¹ Council is seeking to amend the Development Plan through a separate process.

Table 1 Background

Date	Event
6 April 2018	Planning Permit 324/2017/P issued for the subdivision of the subject land into two lots, creation of road and public reserves and removal of native vegetation. The subject land was separated into two lots - the GRZ land and the GWZ land
27 September 2022	Planning Permit 400/2021/P was issued for the staged multi lot subdivision, creation of restrictions, removal of native vegetation and associated works including earthworks and creation of easements. This permit applies to the GRZ land not covered by PAO3
3 April 2023	Council resolved to request the Minister for Planning grant authorisation to prepare and exhibit Amendment C158fran in accordance with section 8A of the <i>Planning and Environment Act 1987</i> (PE Act)
21 November 2023	Minister for Planning authorised Council to prepare the Amendment in accordance with section 8A of the PE Act, subject to consideration of the suggested track changes and comments in the marked-up version of the Explanatory Report
25 Jan to 26 Feb 2024	Exhibition of the Amendment
22 April 2024	Council resolved to: <ul style="list-style-type: none"> - receive and note the submissions - note the Council officer's report considering the submissions - request the Minister for Planning appoint an independent planning Panel in accordance with section 23 of the PE Act - refer all submissions to the Panel for its consideration

1.3 The Panel's approach

Key issues raised in submissions were:

- the Amendment would increase the number of residential dwellings
- further public open space is needed if there is an increase in dwellings
- overdevelopment of subject land
- public open space should be delivered as envisaged by the Development Plan and PAO4.

The Panel has assessed the Amendment against the principles of net community benefit and sustainable development, as set out in Clause 71.02-3 (Integrated decision making) of the Planning Scheme.

The Panel considered all written submissions made in response to the exhibition of the Amendment, observations from site visits, and submissions, evidence and other material presented to it during the Hearing. All submissions and materials have been considered by the Panel in reaching its conclusions, regardless of whether they are specifically mentioned in the Report.

This Report deals with the issues under the following headings:

- Strategic issues
- Public Acquisition Overlay Schedule 3.

1.4 Limitations

Submitter 3 raised issues in relation to the issue of Planning Permit 400/2021/P. This is outside the scope of the Amendment and has not been considered by the Panel.

2 Strategic issues

2.1 Planning context

This chapter identifies the planning context relevant to the Amendment.

Table 2 Planning context

	Relevant references
Victorian planning objectives	- section 4 of the PE Act
Municipal Planning Strategy	- Clause 2
Planning Policy Framework	- Clause 11.01-1R (Green wedges – Metropolitan Melbourne) - Clause 16.01-1L (Housing supply) - Clause 19.02-6S (Open space – Metropolitan Melbourne)
Other planning strategies and policies	- Plan Melbourne Direction 4, Policies 4.1, 4.2 - Carrum Downs Outline Development Plan 1987 - Frankston City Play Strategy 2021
Planning scheme provisions	- GRZ - GWZ - PAO3 - Development Plan Overlay Schedule 1 - Land Subject to Inundation Overlay - Significant Landscape Overlay Schedule 2
Ministerial directions	- Ministerial Direction 11 (Strategic Assessment of Amendments)
Planning practice notes	- Planning Practice Note 46: Strategic Assessment Guidelines, September 2022

2.2 Strategic justification

Submitter 3 did not dispute the strategic justification for the Amendment but was primarily concerned that removing PAO3 would inappropriately increase housing and the public open space provision would not be adequate to serve the future population. These matters are discussed in Chapter 3.

The Panel finds there is good strategic support to justify the removal of PAO3 from the subject land. The Development Plan identifies the need for the District Open Space and the significant role it will play servicing the wider Carrum Downs/Skye community. Council, through the land transfer deal, has found an alternative approach to achieve its open space needs, therefore it no longer needs to acquire the subject land. Removing POA3 will bring forward the delivery of the District Open Space and make appropriate use of the GWZ land while also enabling residentially zoned land to be appropriately developed for housing, thereby increasing supply and diversity.

Removing PAO3 is an important element in Council’s broader vision for the subject land and the Panel is satisfied there is strategic justification to support its deletion. Having considered issues in Chapter 3, the Panel concludes the Amendment is well founded and strategically justified.

3 Public Acquisition Overlay Schedule 3

(i) The issue

The purpose of the Public Acquisition Overlay is to identify land which is proposed to be acquired by a public authority and to reserve it for a public purpose, in this case for open space. However, to facilitate the residential subdivision of Parcel C, PAO3 is proposed to be removed. Council have indicated the acquisition of the subject land is no longer required given it is receiving the transfer of Parcel B for use as public open space instead. See Figure 2.

The issue is whether it is appropriate and acceptable to remove POA3 from the subject land.

(ii) Evidence and submissions

Submitter 3 was concerned:

- the Amendment would increase the number of residential dwellings on the subject land (approximately 26 residential lots)
- further public open space would be needed if dwellings increased
- further residential development would result in an overdevelopment of the area
- that public open space should be delivered as envisaged by the Development Plan and PAO4.

Council submitted deletion of PAO3 will have positive impacts because:

- it will bring forward the delivery of District Open Space that has been identified since 1987 through a land transfer
- it does not require Council to purchase the subject land
- the public open space is needed for the local Skye community and the broader catchment of Carrum Downs.

In relation to the public open space provision, Council noted the future subdivision of the GRZ land (Parcel C) would not result in the need for additional open space. The broader subdivision (approved under Planning Permit 400/2021/P) provides an open space contribution of 8.3 per cent, well above the five per cent that is required by Schedule 1 to Clause 53.01 (Public Open Space Contribution and Subdivision). Council said the land transfer, combined with the Amendment, if approved, would facilitate Council's acquisition of 4.9 hectares of open space. This is the same amount set aside by PAO3.

(iii) Discussion

As the Panel noted in Chapter 2, removal of POA3 will bring forward the delivery of the District Open Space, make appropriate use of the GWZ land, and enable GRZ land (Parcel C) to be appropriately developed for housing. The GRZ land is zoned for increased housing, and it is appropriate that this occur given the push for housing within metropolitan Melbourne by local and state policy. New housing opportunities will be a positive outcome and will result in a net community benefit.

The District Open Space is being relocated and the same amount of land that was set aside under PAO3 is being transferred to Council for the District Open Space. Council has indicated, and the Panel accepts, the land being set aside for future open space will more than adequately meet the needs of the residential catchment including the anticipated additional 26 dwellings (if approved).

An additional 26 dwellings will not result in a need for increased provision of land for open space in circumstances where there is already an oversupply by approximately 3.3 per cent.

In this case, the proposed 'land swap' will result in an improvement to the overall open space network and benefit the community as whole. The outcome is of strategic importance and justifies the arrangements proposed.

(iv) Conclusions

The Panel concludes:

- It is appropriate and acceptable to remove PAO3 from the subject land.
- New housing should be encouraged on land that is appropriately zoned for residential development.
- The land transfer arrangement and removal of PAO3 will still result in the provision of the District Open Space.
- An additional 26 dwellings will not result in a need for an increased provision of land for open space.

Appendix A Document list

No.	Date	Description	Provided by
1	13 May 24	Panel Directions	Planning Panels Victoria
2	4 June 24	Council submission	Robert Lean Frankston City Council

Planning and Environment Act 1987

Frankston Planning Scheme

Amendment C158fran

Explanatory Report

Overview

Frankston City Council are in the process of bringing forward the delivery of a “District Level Open Space” for Skye and Sandhurst. This site, which is part of 250 Wedge Road in Skye (see Figure 1 below), has been designated as District Level Open Space in the Carrum Downs Outline Development Plan, 1987 (the ODP).

The Public Acquisition Overlay, Schedule 3 – Open space/recreation (PAO3) applies to the designated open space. Part of the open space, located to the south of the site and now a Council reserve, has already been acquired and the PAO3 removed. The remaining PAO3 applies across the General Residential Zone (GRZ) and Green Wedge Zone (GWZ). The amendment proposes to remove the PAO3 from 250 Wedge Road, Skye. Council has secured an agreement to acquire the GWZ land affected by the PAO, plus additional GWZ land directly north instead of the GRZ land. The area of PAO3 affecting land at 275 Hall Road, Skye is not part of the amendment and will remain.

Council has also approved an amendment to the ODP, subject to the outcome of this amendment, which changes the layout of the designated open space accordingly. The PAO is therefore no longer required for the GWZ land as it is being acquired by agreement, or the GRZ land as it will no longer form part of the designated open space.

Where you may inspect this amendment

The amendment can be inspected free of charge at the Frankston City Council website at <https://www.frankston.vic.gov.au/Planning-and-Building/Strategic-and-Heritage-Planning/Planning-Scheme-amendments/Current-amendments>

The amendment is available for public inspection, free of charge, during office hours at the following places:

Frankston Civic Centre, 30 Davey Street, Frankston

The amendment can also be inspected free of charge at the Department of

Transport and Planning website at <http://www.planning.vic.gov.au/public-inspection> or by contacting the office on 1800 789 386 to arrange a time to view the amendment documentation.

Details of the amendment

Who is the planning authority?

This amendment has been prepared by the Frankston City Council which is the planning authority for this amendment.

The amendment has been made at the request of the Frankston City Council.

Land affected by the amendment

The amendment applies to the land affected by the Public Acquisition Overlay – Schedule 3 (PAO3) at 250 Wedge Rd, Skye.

The land is located outside the Urban Growth Boundary (UGB) and forms part of the South East Green Wedge. It has a split zoning of Green Wedge Zone (GWZ) and an area of General Residential Zone (GRZ) abutting the UGB.



Figure 1 – 250 Wedge Road, Skye. PAO3 identified as yellow with the amendment

site outlined in red

A mapping reference table is attached at Attachment 1 to this Explanatory Report.

What the amendment does

The amendment deletes Public Acquisition Overlay Schedule 3 (Open Space / Recreation) (PAO3) from the land at 250 Wedge Road, Skye.

Specifically, the amendment proposes to:

- Amend the Frankston Planning Scheme Map No 3PAO to delete the PAO3 at 250 Wedge Road, Skye.

Strategic assessment of the amendment

Why is the amendment required?

The amendment is required as Council no longer requires the Public Acquisition Overlay (PAO3) for the land.

The purpose of the PAO3 is for open space/recreation and Frankston City Council is the acquiring authority. It was originally applied to facilitate a "District Level Playing Field" (District Open Space) identified in the Carrum Downs Outline Development Plan 1987 (the ODP). Part of the District Open Space has been previously acquired, being the existing council reserve to the south of the amendment site, and the PAO3 has since been removed from that land.

The planned District Open Space is located outside the Urban Growth Boundary (UGB) and in two zones, the General Residential Zone (GRZ), and the Green Wedge Zone (GWZ).

The land zoned GRZ could be subdivided and developed for residential purposes, but it is impacted by the PAO3 (Open Space/Recreation) and is identified in the ODP as the land for the District Open Space. The ODP is one of the adopted Development Plans under Schedule 1 to Clause 43.04 Development Plan Overlay (DPO1), which affects the site. Therefore all use and development must be generally in accordance with the provisions outlined in the DPO1.

In order to facilitate the residential subdivision of the GRZ land, Council has adopted an amended ODP (03/04/2023) which changes the configuration of the district open space to utilise additional GWZ to its north instead of the GRZ. The amended ODP is subject to the outcome of this amendment. This will allow the GRZ land to be utilised for housing in accordance with its zoning.



Figure 2: Approved subdivision and land transfer agreement

Figure 2 shows the land transfer agreement between Council and the landowner that will be facilitated by this amendment, and the approved subdivision on the neighbouring property. The landowner has agreed to transfer the GWZ land affected by the PAO (Parcel A and D) and the additional GWZ land (Parcel B) to Council in return for Council not acquiring the GRZ land (Parcel C) for public open space. While Parcel D will be acquired by Council, it will be a road reserve to continue the approved road on the adjoining subdivision and provide a road frontage to the open space. The landowner has entered into a Section 173 Agreement with Council to construct this road at their own cost. The additional GWZ land to be provided (Parcel B) is the same area of land (1.6 hectares) than the originally designated open space on Parcels C and D.

As Council is acquiring the land by agreement with the landowner, and the amended open space configuration means that the GRZ land does not need to be acquired, Council no longer requires the PAO on the subject land. The PAO3 affecting land on the adjoining property to the south at 275 Hall Rd, Skye, shown in Figure 1, will remain on that land to enable Council to acquire it in the future.

The amendment does not include any rezoning of land or change to permissible uses or development in the green wedge.

How does the amendment implement the objectives of planning in Victoria?

The amendment implements the objectives of planning in Victoria, set out at sections 4(1) and 12(1)(a) of the Planning and Environment Act 1987 (the Act). In particular, the amendment implements the following objectives:

- (a) To provide for the fair, orderly, economic and sustainable use and development of land;
- (c) To secure a pleasant, efficient and safe working, living and recreational environment for all Victorians and visitors to Victoria;
- (f) To facilitate development in accordance with the objectives set out in paragraphs (a), (c) and (g);
- (g) To balance the present and future interests of all Victorians.

How does the amendment address any environmental, social and economic effects?

The removal of the PAO will have positive impacts as it will bring forward the delivery of District Open Space. This public open space is needed for the local Skye community and the broader catchment of Carrum Downs (District Open Space has a catchment of 2km), which will make appropriate use of green wedge land while enabling zoned residential land connected to services to be readily developed for housing.

Does the amendment address relevant bushfire risk?

The amendment meets bushfire policy in Clause 13.02 of the Planning Scheme because the amendment does not increase the bushfire risk of the subject land, as the site's GRZ land is already within the Bushfire Prone Area. Any Planning Permit application would need to consider and respond to Clause 13.02-S and any requirements from Fire Rescue Victoria.

Does the amendment comply with the requirements of any other Minister's Direction applicable to the amendment?

Ministerial Direction on the Form and Content of Planning Schemes:

The amendment is consistent with the Ministerial Direction on the Form and Content of Planning Schemes under section 7 (5) of the Planning and Environment Act 1987.

Ministerial Direction No. 11 – Strategic Assessment of Amendments

The requirements of this Ministerial Direction have been addressed in the course of preparing this amendment.

Ministerial Direction No. 15 – The Planning Scheme Amendment Process

The amendment is consistent with the Ministerial Direction No. 15 – The Planning Scheme Amendment Process under Part 8 of the Planning and Environmental Act 1987.

How does the amendment support or implement the Planning Policy Framework and any adopted State policy?

The amendment is consistent with and implements the Planning Policy Framework as follows:

Clause 11.01-1R

The site is part of the Green Wedge, while part of the site is located within the Green Wedge Zone (GWZ) and is consistent with the strategies of Clause 11.01-1R Green Wedges – Metropolitan Melbourne.

The use of the GWZ land is consistent with the Frankston Planning Scheme as it already designates it for District Open Space, which is deemed to be an appropriate use of the green wedge. The land identified as Parcel B will increase the use of the GWZ land designated for District Open Space. This further supports the continued use of the land for appropriate non-urban uses such as recreational opportunities as outlined in the GWZ and will support development in the green wedge that provides social benefits in Clause 11.01-1-R.

It is also acknowledged that the GRZ land is part of the Green Wedge but was already zoned prior to the implementation of the Urban Growth Boundary and can be developed in accordance with the zone.

Clause 19.02-6S

Clause 19.02-6S Open Space seeks to establish, manage and improve a diverse and integrated network of public open space that meets the needs of the community.

The removal of the PAO3 supports the purpose of Clause 19.02-6S and the underlying GWZ by delivering the District Open Space by protecting the recreational and tourism opportunities.

Clause 16.01-1L

Clause 16.01-1L Housing Supply seeks to encourage residential development. The removal of the PAO3 will support the residential subdivision on the GRZ land of the subject site.

How does the amendment support or implement the Local Planning Policy Framework, and specifically the Municipal Strategic Statement?

Not applicable

How does the amendment support or implement the Municipal Planning Strategy?

The amendment is consistent with the Municipal Planning Strategy. By Council acquiring the land affected by PAO3, it will provide access to open space and recreation facilities in developing areas (Clause 02.03-9). The removal of the Public Acquisition Overlay (PAO) is an integral element within the broader process and agreement facilitating the Council's acquisition of both the land and the alternative layout. It will also continue to be recognised and protected for its agricultural, environmental, historic, landscape, recreational and tourism opportunities, and mineral and stone resources (Clause 35.04).

Does the amendment make proper use of the Victoria Planning Provisions?

The amendment makes proper use of the Victorian Planning Provisions by removing an overlay that is no longer required. Council has secured an agreement to acquire the GWZ land, plus additional GWZ land directly north instead of the GRZ land. The PAO3 is therefore no longer required for this land.

The GRZ and GWZ will continue to apply to the land.

How does the amendment address the views of any relevant agency?

The views of relevant agencies were sought during the exhibition period. Only South East Water and the Department of Energy, Environment and Climate Action provided no objection to the amendment.

Does the amendment address relevant requirements of the Transport Integration Act 2010?

The amendment will not have a significant impact on the transport system.

Resource and administrative costs

What impact will the new planning provisions have on the resource and administrative costs of the responsible authority?

The deletion of the PAO3 will not have an impact on the resource and administrative costs of the responsible authority.

Attachment 1 – Mapping reference table

Location	Land /Area Affected	Mapping Reference	Address	Proposed Zone changes	Proposed Overlay changes	Proposed deletion changes
250 Wedge Road, Skye	Parcel of land as identified by D-PAO3	Frankston C158fran 3PAO	250 Wedge Road, Skye	N/A	N/A	D-PAO3

Planning and Environment Act 1987

Frankston Planning Scheme

Amendment C158fran

Instruction sheet

The planning authority for this amendment is the Frankston City Council.

The Frankston Planning Scheme is amended as follows:

Planning Scheme Maps

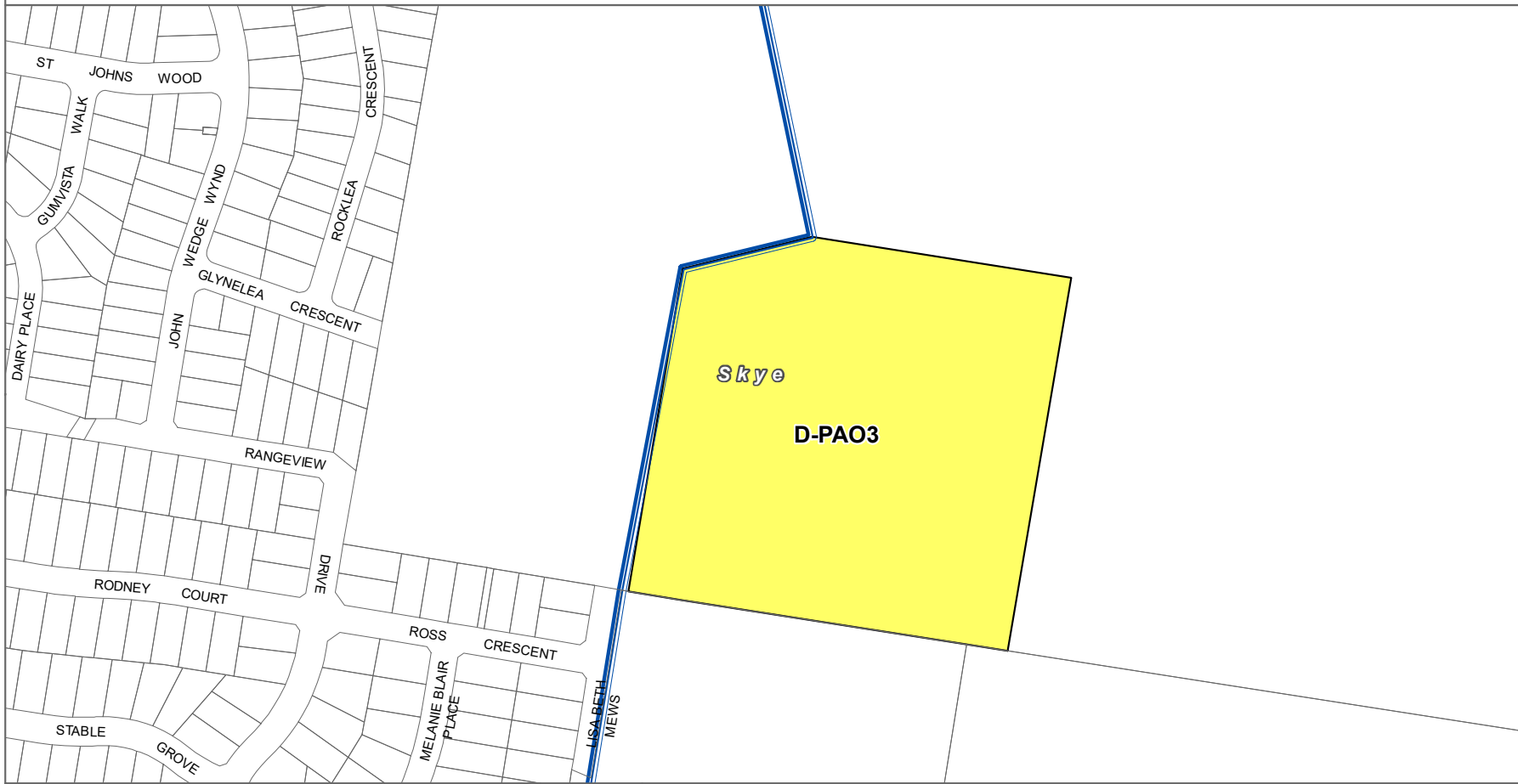
The Planning Scheme Maps are amended by a total of 1 attached map sheet.

Overlay Maps

1. Amend Planning Scheme Map No. 03PAO in the manner shown on the attached map marked "Frankston Planning Scheme, Amendment C158fran".

End of document

FRANKSTON PLANNING SCHEME - LOCAL PROVISION
AMENDMENT C158frn



LEGEND

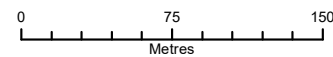
- D-PAO - Area to be deleted from a Public Acquisition Overlay
- Local Government Area
- Urban Growth Boundary

Disclaimer

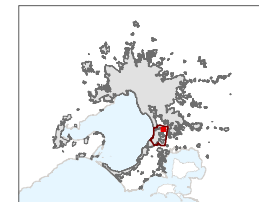
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Planning Group
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Part of Planning Scheme Map 3PAO



Executive Summary

11.4 Statutory Planning Progress Report for May 2024

Enquiries: (Sam Clements: Communities)

Council Plan

Level 1:	4. Well Planned and Liveable City
Level 2:	4.1 Integrate land use planning and revitalise and protect the identity and character of the City

Purpose

To provide Council with an update on the exercise of planning delegations by Council officers for the month of May 2024.

Recommendation (Director Communities)

That Council:

1. Receives the Statutory Planning Progress Report (Appendix A) for the month of May 2024;
2. Notes that in May 2024, 84% of applications determined were within the statutory timeframe, above the target of 70%;
3. Acknowledges that, in the spirit of transparency and identifying opportunities for continuous improvement, this report contains a new section analysing the number of 'undecided planning applications' as at the end of 30 June 2024. A graphic illustrating the basic steps in the permit application process and the number of applications at each step is provided in this report and Attachment D. This will feature as a new addition to this Progress Report going forward.
4. In light of No. 3 (above), notes that approximately 48% of 'undecided planning applications' are awaiting information from the applicant, as set out in a graphical representation in Appendix D;
5. Notes that a summary of Council's response to the Minister for Planning, about applications made directly to the Minister, and issued pursuant to delegation from Council is included in a table at the end of Appendix A. This month a response was provided in respect of an application at 11 Beach Street, Frankston and
6. Resolves that Attachment B (General Planning Applications of Councillor Interest Updates) and Attachment C (Major Development Updates) remain confidential indefinitely on the grounds that they contain land use planning information and private commercial information (*Local Government Act 2020, s.3(1)(c) and (g)*). These grounds apply because it contains private information and would, if prematurely released, impact the reputation of Councillors and Council.

Key Points / Issues

Statutory Planning Progress Report

- This report is provided in accordance with Council's resolution of 29 January 2018 requiring that:

Council receives Town Planning Progress Reports no later than two months after the cessation of a given months.

11.4 Statutory Planning Progress Report for May 2024**Executive Summary**

- The report provides Council with an update on the exercise of planning delegations by Council officers on the following items:
 - Planning applications received;
 - Planning decisions;
 - Subdivision applications received;
 - Subdivision decisions;
 - VCAT appeal register; and
 - VCAT decisions.
- In May 2024, eighty-three (83) applications for planning permits, amendments to permits and consents were received, and sixty-four (64) applications determined. A total of 84% of permit decisions were made within the statutory timeframe. The percentage determined within timeframe was above the target of 70%.
- As at the time of preparation of this report, there are 260 undecided planning permits, amendment to planning permits, consent, subdivision and plan approval applications currently with Council.
- During the period, two decisions related to multi-dwelling applications, one of which complied with the Multi-Dwelling Visitor Car Parking Guidelines.
- One VCAT decision was reported during the period.
- One delegate decision was made concerning applications referred to Council for comment by the Department of Transport and Planning, for ultimate decision by the Minister for Planning. Information is provided at the end of **Attachment A**. The comments pertain to a major development proposal at 11 Beach Street, Frankston.
- Also included in this progress report is the list of 'Major Development Updates' at **Attachment B**, and the list of 'General Planning Applications of Councillor Interest Updates' at **Attachment C**, for Council's reference. As agreed with Council, the purpose of providing these reports is to enable Councillors to understand progress on current or future major applications and potential timings for decision making.
- Newly included in this report below and as **Attachment D** is a graphic representation of the basic steps in the planning permit application process, and the number of applications which are located at each process step as at June 2024 (when this report was prepared).

11.4 Statutory Planning Progress Report for May 2024

Executive Summary

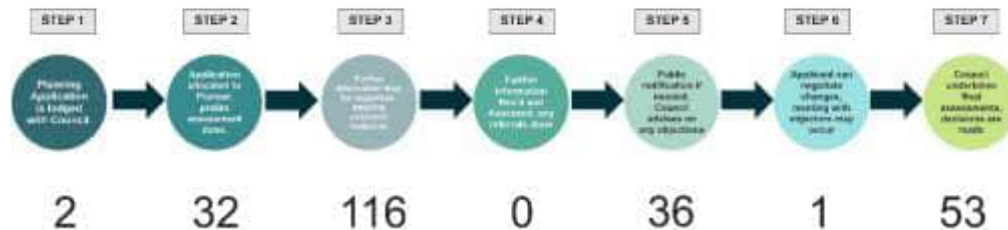


Planning Applications Process; Mthly report

Latest Update Date: 18-Jul-24

APPENDIX D

This is the status of each of the **243** Planning Applications awaiting a council decision.....



- The information is included to assist in understanding the basic statutory steps in the permit application process, and the volume of applications, which are located at each step. The steps represent the 'production line' of a permit application, albeit that an application will not necessarily spend time at each step, depending on the application type and controls that apply (for example not all applications subject to public notice, or even further information request).
- The graphic illustrates that of 243 Planning Permit undecided applications currently submitted to Council, approximately 48% are waiting for information to be provided by the permit applicant before the application can be further progressed. As at June 2024, standard planning applications average 100 days in the system before progressing from step 3- further information requested to step 4- further information supplied.
- The information supports a conclusion that significant delays in the application process are often caused by the submission of incomplete application materials, or applications with substantial design problems or issues with their merit and ability for Council to support them.
- Officers have over time produced various guiding materials to support applicants to submit complete and compliant applications, and created pre-application consultation processes to assist applicants to get designs and documents 'right' before submission. This is an ongoing task and Council officers will continue to work with regular applicants to improve application submissions and outcomes.
- Separately, progress has been made on the creation of Council's development activity model for the Frankston Metropolitan Activity Centre (FMAC) area, with 11 development activity models (proposed and approved buildings) now within the Vic3D platform. This relates to a Councillor initiative to trial the use of the Vic3D platform to create a development activity model of the FMAC area for improved engagement and major development planning assessment purposes. This initiative involves utilising the 3D modelling and visualisation services of Department of Transport and Planning.

Financial Impact

Where a party seeks review of Council's decision at the Victorian Civil and Administrative Tribunal, Council will incur representation costs. Often, Council is represented by its officers and these costs are managed within Council's adopted budget. However, where a matter is complex or involves legal issues, or where Council decides an application at variance with the officer's recommendation, an external

11.4 Statutory Planning Progress Report for May 2024**Executive Summary**

representative will be engaged. The type and cost of the representative engaged will vary depending on the nature of the application and issues in contention.

Indicatively, costs to engage a planning consultant representative for a VCAT case typically range between \$4,000 and \$8,000 (depending on hearing length), and between \$10,000 and \$50,000+ for legal representation (again, depending on hearing length and potential engagement of expert witnesses).

Consultation

This report provides details of all planning applications and decisions that are required to be considered in accordance with the Frankston Planning Scheme and the Planning and Environment Act (1987).

Consultation occurs with the community as part of the planning process of each application that requires public advertising.

Analysis (Environmental / Economic / Social Implications)

This report does not result in any identified environmental, economic or social impacts.

Legal / Policy / Council Plan ImpactCharter of Human Rights and Responsibilities

The Charter of Human Rights and Responsibilities has been considered in the preparation of this report but is not relevant to the content of the report.

Legal

No legal implications.

Policy Impacts

No policy impacts.

Gender Impact Assessments

No gender impact assessment was required. This initiative has no impact on our community or the public.

Officer's Declaration of Interests

Council officers involved in the preparation of this report have no Conflict of Interest in this matter.

Risk Mitigation

There are no identified risks noted in relation to the preparation of this report.

Conclusion

This report provides Council with an overview of the activities and decisions made on planning applications in the month of May 2024.

11.4 Statutory Planning Progress Report for May 2024**Executive Summary****ATTACHMENTS**

- Attachment A: [↓](#) Statutory Planning Progress Report - May 2024
- Attachment B: General Statutory Planning Updates - Applications of Councillor Interest - **CONFIDENTIAL**
- Attachment C: Councillor Major Development Updates - **CONFIDENTIAL**
- Attachment D: [↓](#) Planning Permit Applications in progress (graphic)

Progress Report – Planning Applications Received For The Application Date: From 1/05/2024 To 31/05/2024				
Application No	Ward	Property Address	Application Description	Date
406/2024/P	North-East	13 Athol Court, Langwarrin 3910	To subdivide the land into four (4) lots within a General Residential Zone (GRZ)	3/05/2024
407/2024/P	North-East	580 Thompsons Road, Sandhurst 3977	To subdivide the land into two (2) lots in a Comprehensive Development Zone Schedule 1 (CDZ1) To subdivide land adjacent to a Transport Zone 2 (TRZ2)	6/05/2024
417/2024/P	North-East	574 Frankston-Dandenong Road, Carrum Downs 3201	Buildings and works to an existing premises within a Business 4 Zone (B4Z)	7/05/2024
419/2024/P	North-East	1295 Frankston-Dandenong Road, Carrum Downs 3201	To erect and display business identification signage within a General Residential Zone (R1Z)	7/05/2024
294/2024/P	North-East	74 Broderick Road, Carrum Downs 3201	To construct seven (7) double storey dwellings within a General Residential Zone (GRZ)	8/05/2024
426/2024/P	North-East	52 Boundary Road, Carrum Downs 3201	To construct a fence within a Green Wedge Zone (GWZ)	9/05/2024
402/2024/P	North-East	Com Prop 2 Sandarra Boulevard, Sandhurst 3977	To undertake tree maintenance works (tree pruning and tree removal) in a Significant Landscape Overlay Schedule 2 (SLO2)	16/05/2024
455/2024/P	North-East	17 Anthony Street, Langwarrin 3910	To subdivide the land into two (2) lots in a General Residential Zone (GRZ)	17/05/2024
456/2024/P	North-East	11/47 Frankston Gardens Drive, Carrum Downs 3201	Change of use to a Place of Worship, display business identification signage and reduce the number of carparking spaces under Clause 52.06-5 of the Frankston Planning Scheme within an Industrial 1 Zone (IN1Z)	20/05/2024
480/2024/P	North-East	112 O'Gradys Road, Carrum Downs 3201	To construct one (1) double storey dwelling to the rear of the existing dwelling (two (2) dwellings) and alterations to the existing dwelling within a General Residential Zone (GRZ)	28/05/2024
486/2024/P	North-East	17 Tova Drive, Carrum Downs 3201	To construct an extension to an existing building in an Industrial 1 Zone (IN1Z)	30/05/2024
484/2024/P	North-East	35 Chardonnay Drive, Skye 3977	To subdivide the land into two (2) lots in a General Residential Zone (R1Z)	30/05/2024
490/2024/P	North-East	100 Hall Road, Carrum Downs 3201	To carry out buildings and works (alterations) and installation of signage in a Commercial 1 Zone (B1Z)	31/05/2024
North-East Ward = 13				

Progress Report – Planning Applications Received				
For The Application Date: From 1/05/2024 To 31/05/2024				
<u>Application No</u>	<u>Ward</u>	<u>Property Address</u>	<u>Application Description</u>	<u>Date</u>
395/2024/P	North-West	4 The Glen, Frankston 3199	To subdivide the land into four (4) lots in a General Residential Zone (R1Z)	1/05/2024
401/2024/P	North-West	67-68 Nepean Highway, Seaford 3198	Twelve (12) lot subdivision of land within a General Residential Zone 3 (GRZ3)	6/05/2024
405/2024/P	North-West	97 Dandenong Road East, Frankston 3199	Two (2) lot subdivision of land within a General Residential Zone (GRZ)	6/05/2024
427/2024/P	North-West	43 Queen Street, Frankston 3199	To construct three (3) double storey dwellings on a lot in a General Residential Zone (R1Z)	9/05/2024
387/2024/P	North-West	232 Frankston-Dandenong Road, Seaford 3198	To subdivide land into two (2) lots in a General Residential Zone (R1Z) and to subdivide land adjacent to a road in a Transport Zone 2.	12/05/2024
434/2024/P	North-West	2 Duncan Avenue, Seaford 3198	To construct two (2) double storey dwellings within a General Residential Zone (GRZ).	13/05/2024
429/2024/P	North-West	7 Bellevue Crescent, Seaford 3198	To subdivide the land into two (2) lots in a General Residential Zone (R1Z)	13/05/2024
881/2024/P	North-West	102 Nepean Highway, Seaford 3198	To construct three (3) garages within common property to existing dwellings1, 2 and 3 in a General Residential Zone (GRZ)	14/05/2024
451/2024/P	North-West	39 Dandenong Road East, Frankston 3199	To use and develop the land for two (2) rooming houses in a Residential Growth Zone (RGZ) and to construct buildings and works in a Special Building Overlay (SBO)	15/05/2024
440/2024/P	North-West	16 Rutherford Road, Seaford 3198	To construct a self storage facility in an Industrial 1 Zone (IN1Z) and alteration to land adjacent to Transport Zone 2.	16/05/2024
458/2024/P	North-West	29A Hadley Street, Seaford 3198	To construct one (1) double storey dwelling to the rear of the existing dwelling (two (2) dwellings) on a lot within a General Residential Zone (GRZ)	20/05/2024
468/2024/P	North-West	2 Marlock Street, Frankston North 3200	To construct three (3) single storey dwellings in a General Residential Zone (R1Z)	22/05/2024
432/2024/P	North-West	26 Peninsula Boulevard, Seaford 3198	To construct buildings and works (addition to existing mezzanine floor) to an existing building in an Industrial 1 Zone (IN1Z)	23/05/2024
North-West Ward = 13				

Progress Report – Planning Applications Received				
For The Application Date: From 1/05/2024 To 31/05/2024				
<u>Application No</u>	<u>Ward</u>	<u>Property Address</u>	<u>Application Description</u>	<u>Date</u>
396/2024/P	South	56 High Street, Frankston 3199	To subdivide the land into three (3) lots in a General Residential Zone (R1Z)	1/05/2024
408/2024/P	South	187 Heatherhill Road, Frankston 3199	To construct one (1) double storey dwelling to the rear of an existing dwelling (two (2) dwellings) on a lot in a General Residential Zone (GRZ)	3/05/2024
410/2024/P	South	11 Willora Court, Frankston South 3199	To remove a substantial tree within a Significant Landscape Overlay Schedule 3 (SLO3)	5/05/2024
6/2024/P	South	23 Francis Crescent, Langwarrin 3910	Construction of a Verandah	6/05/2024
418/2024/P	South	17 Gum Hill Drive, Langwarrin 3910	To construct an outbuilding in a Bushfire Management Overlay Schedule 2 (BMO2), Design and Development Overlay Schedule 4(DDO4), to remove substantial trees in a Significant Landscape Overlay Schedule 1 (SLO1) and to construct a building and carry out works in the Tree Protection Zone of a substantial tree in a Significant Landscape Overlay Schedule 1 (SLO1)	7/05/2024
421/2024/P	South	17 Poinciana Street, Frankston South 3199	To construct one (1) double storey dwelling within a Design and Development Overlay Schedule 9 (DDO9), buildings and works within the Tree Protection Zone of substantial tree and to remove substantial trees within a Significant Landscape Overlay Schedule 4 (SLO4)	7/05/2024
381/2024/P	South	8 Cliff Road, Frankston 3199	To construct one (1) single storey dwelling in a Design and Development Overlay Schedule 6 (DDO6) and an Erosion Management Overlay Schedule 3 (EMO3)	7/05/2024
416/2024/P	South	96 Williams Street, Frankston 3199	To construct two (2) double storey dwellings on a lot within a General Residential Zone (GRZ)	7/05/2024
425/2024/P	South	2 Bruarong Crescent, Frankston South 3199	To remove two (2) substantial trees in a General Residential Zone (GRZ)	9/05/2024
438/2024/P	South	27 Jamieson Court, Langwarrin 3910	To construct one (1) single storey dwelling and an outbuilding within a Bushfire Management Overlay (BMO) Design and Development Overlay Schedule 4 (DDO4) and works within the Tree Protection Zone of a substantial tree within a Significant Landscape Overlay Schedule 1 (SLO1)	13/05/2024

Progress Report – Planning Applications Received				
For The Application Date: From 1/05/2024 To 31/05/2024				
<u>Application No</u>	<u>Ward</u>	<u>Property Address</u>	<u>Application Description</u>	<u>Date</u>
449/2024/P	South	354 Robinsons Road, Langwarrin South 3911	To construct a shed within a Bushfire Management Overlay and Design and Development Overlay No. 4(DD04)	14/05/2024
457/2024/P	South	24 Wakefield Avenue, Frankston South 3199	To construct buildings and works (extension) to an existing dwelling in a Design and Development Overlay Schedule 9 (DDO9)	20/05/2024
464/2024/P	South	2 Ballintyne Court, Frankston South 3199	To construct an extension to an existing dwelling (alfresco) in a Design and Development Overlay Schedule 1 (DDO1)	21/05/2024
460/2024/P	South	599 Robinsons Road, Langwarrin 3910	To construct buildings and works within the Tree Protection Zone of a Native Tree within the Environmental Significance Overlay Schedule 1 (ESO1) and within the Tree Protection Zone of substantial tree within the Significant Landscape Overlay Schedule 1 (SLO1).	21/05/2024
465/2024/P	South	17 Liddesdale Avenue, Frankston South 3199	To remove one (1) significant tree in a Significant Landscape Overlay (SLO6)	21/05/2024
459/2024/P	South	6 Lipari Court, Frankston South 3199	To remove two (2) trees in a Significant Landscape Overlay Schedule 3 (SLO3)	21/05/2024
462/2024/P	South	7 Villiers Street, Frankston South 3199	To subdivide the land into two (2) lots within a General Residential Zone (GRZ) and Design and Development Overlay Schedule 9 (DDO9)	21/05/2024
467/2024/P	South	405 Baxter-Tooradin Road, Langwarrin South 3911	To construct a habitable outbuilding in a Rural Conservation Zone Schedule 1 (RCZ1)	22/05/2024
398/2024/P	South	67 Highfield Drive, Langwarrin South 3911	To construct an outbuilding in a Design and Development Overlay Schedule 4 (DDO4)	22/05/2024
474/2024/P	South	72 Young Street, Frankston 3199	To construct buildings and works to an existing building in a Commercial 1 Zone (B1Z)	24/05/2024
477/2024/P	South	34 Dell Road, Frankston 3199	To construct two (2) double storey dwellings and subdivide the land into two (2) lots in a General Residential Zone (GRZ)	27/05/2024
487/2024/P	South	92 Kars Street, Frankston South 3199	To construct one (1) double storey dwelling and swimming pool within a Design and Development Overlay Schedule 9 (DDO9), to construct buildings and works within the Tree Protection Zone of a substantial tree and to remove a substantial tree within a Significant Landscape Overlay Schedule 4 (SLO4)	30/05/2024

Progress Report – Planning Applications Received For The Application Date: From 1/05/2024 To 31/05/2024				
<u>Application No</u>	<u>Ward</u>	<u>Property Address</u>	<u>Application Description</u>	<u>Date</u>
483/2024/P	South	10 Carter Court, Frankston 3199	To subdivide the land into two (2) lots in a General Residential Zone (R1Z)	30/05/2024
489/2024/P	South	8 Menzies Close, Frankston South 3199	To construct an extension to an existing dwelling in a Design and Development 8 (DDO8) and Erosion Management Overlay 2 (EMO2)	31/05/2024
South Ward = 24				
Total = 50				

Progress Report – Amendments to Planning Permits Received For The Application Date: From 1/05/2024 To 31/05/2024				
<u>Application No</u>	<u>Ward</u>	<u>Property Address</u>	<u>Application Description</u>	<u>Date</u>
279/2017/P/B	North-East	41 Kelvin Grove, Langwarrin 3910	Section 72 - To construct an outbuilding (shed) amend plans and permit by: a) include a new carport within a Bushfire Management Overlay	15/05/2024
318/2020/P/C	North-East	12 Athol Court, Langwarrin 3910	Secondary Consent - To construct three (3) double storey dwellings on a lot in a General Residential Zone (GRZ)	8/05/2024
353/2010/P/C	North-East	1/2 Amayla Crescent, Carrum Downs 3201	Section 72 - To use the site as a place of worship, associated buildings and works, reduction to the carparking requirements of the Frankston Planning Scheme and display of an internally illuminated advertising sign.	10/05/2024
101/2024/P/C	North-East	16/684-700 Frankston-Dandenong Road, Carrum Downs 3201	Section 72 - To use the land for an indoor recreation facility, to sell and consume liquor (on-premises license) and to erect and display internally illuminated business identification signage in an Industrial 1 Zone (IN1Z)	14/05/2024
156/2018/P/E	North-East	5 Kestrel Court, Carrum Downs 3201	Extension of Time - To construct one (1) double storey dwelling to the rear of the existing dwelling (two (2) dwellings)	24/05/2024
North-East Ward = 5				
41/2021/P/D	North-West	23 Burrawong Avenue, Seaford 3198	Section 72 - To construct one (1) double storey dwelling to the rear of existing dwelling (two (2) dwellings on a lot) in a General Residential Zone (GRZ)	1/05/2024
490/2020/P/G	North-West	2 Rosella Street, Frankston 3199	Section 72 - To use the land for medical centre, shop (pharmacy) and office, and to construct a five (5) storey building (containing four (4) dwellings, café, medical centre, shop (pharmacy) and office) in a Mixed Use Zone (MUZ), to construct a building and works in a Design and Development Overlay Schedule 5 (DDO5), to reduce the number of car parking spaces required under the Parking Overlay Schedule 1 (PO1) and to alter the access to road in a Transport Zone 2	3/05/2024

Progress Report – Amendments to Planning Permits Received				
For The Application Date: From 1/05/2024 To 31/05/2024				
<u>Application No</u>	<u>Ward</u>	<u>Property Address</u>	<u>Application Description</u>	<u>Date</u>
490/2020/P/G	North-West	303 Nepean Highway, Frankston 3199	Section 72 - To use the land for medical centre, shop (pharmacy) and office, and to construct a five (5) storey building (containing four (4) dwellings, café, medical centre, shop (pharmacy) and office) in a Mixed Use Zone (MUZ), to construct a building and works in a Design and Development Overlay Schedule 5 (DDO5), to reduce the number of car parking spaces required under the Parking Overlay Schedule 1 (PO1) and to alter the access to road in a Transport Zone 2	3/05/2024
128/2019/P/C	North-West	4 The Glen, Frankston 3199	Extension of Time - To construct four (4) double storey dwellings in a General Residential Zone	6/05/2024
553/2022/P/C	North-West	9 Seaford Road, Seaford 3198	Secondary Consent - To construct two (2) double storey dwellings in a General Residential Zone (GRZ) and to alter access to a road in a Transport Zone 2.	6/05/2024
2089/1981/P/A	North-West	304 Frankston-Dandenong Road, Seaford 3198	Section 72 - To use the existing premises for the purpose of a Dental Consulting Room (One (1) Surgery)	7/05/2024
74/2022/P/C	North-West	2 Woodlea Court, Frankston 3199	Extension of Time - To construct five (5) single storey dwellings on a lot in a General Residential Zone (GRZ) and Special Building Overlay (SBO)	9/05/2024
267/2021/P/A	North-West	54 Orwil Street, Frankston 3199	Extension of Time - To construct two (2) double storey dwellings on a lot in a General Residential Zone (GRZ)	14/05/2024
483/2018/P/G	North-West	244 Seaford Road, Seaford 3198	Extension of Time - To construct one (1) double storey dwelling to the rear of the existing dwelling (two (2) dwellings), alter access to a road in a Road Zone Category 1 (RDZ1) and subdivide the land into two (2) lots	14/05/2024
392/2020/P/D	North-West	339 Frankston-Dandenong Road, Frankston North 3200	Secondary Consent - To construct two (2) double storey dwellings to rear of existing dwelling (three (3) dwellings on a lot) in a General Residential Zone and to alter access to a road in a Road Zone	21/05/2024
203/2021/P/A	North-West	29 Boonong Avenue, Seaford 3198	Secondary Consent - To construct one (1) double storey dwelling in a Special Building Overlay (SBO)	25/05/2024
North-West Ward = 11				

Progress Report – Amendments to Planning Permits Received For The Application Date: From 1/05/2024 To 31/05/2024				
<u>Application No</u>	<u>Ward</u>	<u>Property Address</u>	<u>Application Description</u>	<u>Date</u>
744/2021/P/A	South	23 Hillcrest Road, Frankston 3199	Extension of Time - To subdivide the land into five (5) lots in a General Residential Zone (GRZ)	1/05/2024
503/2023/P/B	South	5 Gowrie Avenue, Frankston South 3199	Secondary Consent - To construct two (2) double storey dwellings in a General Residential Zone (GRZ) and Design and Development Overlay Schedule 9 (DDO9) To construct buildings and works in a Significant Landscape Overlay Schedule 4 (SLO4).	2/05/2024
85/2022/P/B	South	1 Kenilworth Avenue, Frankston 3199	Extension of Time - To construct five (5) double storey dwellings on a lot in a General Residential Zone (GRZ)	3/05/2024
668/2021/P/C	South	82 High Street, Frankston 3199	Extension of time - To construct four (4) double storey dwellings on a lot in a General Residential Zone (GRZ) and to construct buildings and works in a Design and Development Overlay Schedule 6 (DDO6)	6/05/2024
659/2022/P/A	South	16 Dunstan Street, Frankston South 3199	Section 72 - To construct buildings and works to an existing dwelling in a Design and Development Overlay Schedule 9 (DDO9), to construct a front fence within a Significant Landscape Overlay Schedule 4 (SLO4) and to remove and construct buildings and works in the tree protection zone of substantial trees in a Significant Landscape Overlay Schedule 4 (SLO4).	8/05/2024
24/2021/P/A	South	53 Woodlands Grove, Frankston 3199	Extension of Time - To subdivide the land into two (2) lots in a General Residential Zone (GRZ)	13/05/2024
530/2021/P/C	South	17 Neil Street, Frankston South 3199	Section 72 - To construct buildings and works (double storey dwelling and domestic swimming pool) in a Design and Development Overlay Schedule 9 (DDO9) and to construct buildings and works in the tree protection zone of substantial trees in a Significant Landscape Overlay Schedule 4 (SLO4)	15/05/2024
300/2021/P/D	South	633 Nepean Highway, Frankston South 3199	Extension of Time - Use and development of the land for a Display Home Centre, construction of a dwelling over 8 metres in height in a Design and Development Overlay Schedule 9 and to alter access to a road in a Road Zone Category 1	15/05/2024

Progress Report – Amendments to Planning Permits Received				
For The Application Date: From 1/05/2024 To 31/05/2024				
<u>Application No</u>	<u>Ward</u>	<u>Property Address</u>	<u>Application Description</u>	<u>Date</u>
530/2021/P/D	South	17 Neil Street, Frankston South 3199	Extension of Time - To construct buildings and works (double storey dwelling and domestic swimming pool) in a Design and Development Overlay Schedule 9 (DDO9) and to construct buildings and works in the tree protection zone of substantial trees in a Significant Landscape Overlay Schedule 4 (SLO4)	15/05/2024
484/2021/P/C	South	16 Ithaca Road, Frankston South 3199	Secondary Consent - To construct an extension to an existing dwelling and an outbuilding in a Design and Development Overlay Schedule 9 (DDO9) and to remove one substantial tree in a Significant Landscape Overlay Schedule 4 (SLO4)	15/05/2024
626/2021/P/B	South	25 Natina Court, Langwarrin 3910	Extension of Time - To construct buildings and works to an existing dwelling in a Design and Development Overlay Schedule 4 (DDO4) and Bushfire Management Overlay (BMO) and to construct a building and construct and carry out works in the Tree Protection Zone of a substantial tree in a Significant Landscape Overlay Schedule 1 (SLO1)	16/05/2024
420/2021/P/C	South	40 Brighton Street, Frankston South 3199	Extension of Time - To construct four (4) double storey dwellings and subdivide the land into four (4) lots in a General Residential Zone (GRZ), to construct a building and construct and carry out works in the Tree Protection Zone of a substantial tree in a Significant Landscape Overlay Schedule 4 (SLO4) and to subdivide land and to construct a building and construct and carry out works in a Design and Development Overlay Schedule 9 (DDO9)	17/05/2024
265/2021/P/C	South	46 Cliff Road, Frankston 3199	Section 72 - To construct or carry out buildings or works for a dwelling exceeding 7 metres in height in a Design and Development Overlay Schedule 6 (DDO6) and to carry out buildings and works and vegetation removal in an Erosion Management Overlay Schedule 3 (EMO3)	23/05/2024
265/2021/P/B	South	46 Cliff Road, Frankston 3199	Extension of Time - To construct or carry out buildings or works for a dwelling exceeding 7 metres in height in a Design and Development Overlay Schedule 6 (DDO6) and to carry out buildings and works and vegetation removal in an Erosion Management Overlay Schedule 3 (EMO3)	23/05/2024

Progress Report – Amendments to Planning Permits Received For The Application Date: From 1/05/2024 To 31/05/2024				
<u>Application No</u>	<u>Ward</u>	<u>Property Address</u>	<u>Application Description</u>	<u>Date</u>
161/2021/P/L	South	43 Golf Links Road, Frankston 3199	Secondary Consent - To construct one (1) double storey dwelling to the rear of the existing dwelling (two (2) dwellings on a lot) and a two (2) lot subdivision in a General Residential Zone (GRZ)	23/05/2024
49/2012/P/A	South	77 Warrandyte Road, Langwarrin 3910	Section 72 - The erection and display of three (3) business identification signs	30/05/2024
73/2024/P/B	South	401-403 Nepean Highway, Frankston 3199	Secondary Consent - To use the land for a medical centre and construct buildings and works in a Mixed Use Zone (MUZ) To construct buildings and works in a Design and Development Overlay Schedule 5 (DDO5) To alter access to a road in a Transport Zone 2 (TRZ2) To erect and display signage	30/05/2024
South Ward = 17				
Total Ward = 33				

Progress Report – Planning Application Decisions For The Application Date: From 1/05/2024 To 31/05/2024					
<u>Application</u>	<u>Ward</u>	<u>Property Address</u>	<u>Application Description</u>	<u>Status</u>	<u>Date</u>
391/2024/P	North-East	24/38 Buontempo Road, Carrum Downs 3201	To construct buildings and works (mezzanine) to an existing building in an Industrial 1 Zone (IN1Z)	Permit Approved	2/05/2024
19/2024/P	North-East	230 Cranbourne-Frankston Road, Langwarrin 3910	The use of the land for restricted recreation facility and for the construction and display of business identification signage and internally illuminated business identification signage in a Commercial 1 Zone (B1Z)	Permit Approved	17/05/2024
384/2024/P	North-East	445 North Road, Langwarrin 3910	To construct an outbuilding in a Design and Development Overlay Schedule 4 (DDO4) and Environmental Significance Overlay Schedule 1 (ESO1)	Permit Approved	23/05/2024
419/2024/P	North-East	1295 Frankston-Dandenong Road, Carrum Downs 3201	To erect and display business identification signage within a General Residential Zone (R1Z)	Permit Approved	24/05/2024
North-East Ward = 4					
1033/2023/P	North-West	10 Beckwith Grove, Seaford 3198	To construct a single dwelling in a Land Subject To Inundation Overlay (LSIO)	Permit Approved	2/05/2024
549/2023/P	North-West	43 Orwil Street, Frankston 3199	To construct five (5) double storey dwellings in a General Residential Zone (GRZ)	Permit Approved	2/05/2024
102/2024/P	North-West	296-298 Frankston-Dandenong Road, Seaford 3198	To erect and display two (2) promotion signs (partially retrospective) in an Industrial 1 Zone (IN1Z)	Application Refused	14/05/2024
311/2024/P	North-West	Seaford Foreshore 10N Nepean Highway, Seaford 3198	To lop and remove native vegetation and trees to facilitate the Long Island Tennis Club fencing.	No Permit Required	14/05/2024
159/2024/P	North-West	2/30 Kananook Avenue, Seaford 3198	To construct building and works (extension) to an existing dwelling in Common Property in a General Residential Zone and a Special Building Overlay (SBO)	Application Lapsed	15/05/2024

Progress Report – Planning Application Decisions For The Application Date: From 1/05/2024 To 31/05/2024					
<u>Application</u>	<u>Ward</u>	<u>Property Address</u>	<u>Application Description</u>	<u>Status</u>	<u>Date</u>
369/2024/P	North-West	3/69 Hartnett Drive, Seaford 3198	To construct buildings and works to an existing building in an Industrial 1 Zone (IN1Z)	Permit Approved	17/05/2024
922/2023/P	North-West	31 Armstrongs Road, Seaford 3198	To use the land to sell and consume liquor (restaurant and cafe licence) in a Commercial 1 Zone (C1Z)	Permit Approved	17/05/2024
811/2023/P	North-West	4 Pildra Court, Seaford 3198	Two (2) lot subdivision in a General Residential Zone (R1Z)	Permit Approved	17/05/2024
103/2024/P	North-West	163 Frankston-Dandenong Road, Frankston 3199	To construct buildings and works for an irrigation building and two rainwater tanks in a Special Use Zone (SUZ1) and Special Building Overlay (SBO)	Permit Approved	20/05/2024
329/2024/P	North-West	7 Stephen Street, Seaford 3198	To subdivide land into four (4) lots in a General Residential Zone (GRZ)	Permit Approved	20/05/2024
216/2024/P	North-West	1/36 Kirkwood Avenue, Seaford 3198	To construct a domestic swimming pool and associated works in a Special Building Overlay (SBO)	Permit Approved	22/05/2024
40/2024/P	North-West	161 McMahons Road, Frankston 3199	To construct building and works associated with a Section 2 Use (outdoor court shade structure and court lighting) in a General Residential Zone (GRZ) and Special Building Overlay (SBO)	Permit Approved	29/05/2024
North-West Ward = 12					
844/2023/P	South	9 Piper Crescent, Frankston South 3199	To construct a single storey dwelling in a Design Development Overlay Schedule 1 (DDO1)	Application Lapsed	7/05/2024
716/2023/P	South	616 Nepean Highway, Frankston South 3199	To subdivide the land into two (2) lots in a General Residential Zone (GRZ), Design and Development Overlay Schedule 2 (DDO2), Erosion Management Overlay Schedule 1 (EMO1), Environmental Significance Overlay Schedule 1 (ESO1), Significant Landscape Overlay Schedule 3 (SLO3)	Application Lapsed	7/05/2024

Progress Report – Planning Application Decisions For The Application Date: From 1/05/2024 To 31/05/2024					
<u>Application</u>	<u>Ward</u>	<u>Property Address</u>	<u>Application Description</u>	<u>Status</u>	<u>Date</u>
336/2024/P	South	2 Somerset Road, Frankston South 3199	To construct a shed and associated works within a Design and Development Overlay Schedule 1 (DDO1) and to construct buildings and works in the tree protection zone of a substantial tree in a Significant Landscape Overlay Schedule 3 (SLO3)	Permit Approved	8/05/2024
92/2024/P	South	209 Humphries Road, Frankston South 3199	To construct extensions to an existing dwelling and an outbuilding in a Design and Development Overlay Schedule 1 (DDO1) and to construct buildings and works in a Significant Landscape Overlay Schedule 3 (SLO3)	Permit Approved	8/05/2024
392/2024/P	South	8 Amberley Crescent, Frankston South 3199	To remove one (1) substantial tree in a Significant Landscape Overlay Schedule 4 (SLO4)	Permit Approved	8/05/2024
107/2024/P	South	96 Young Street, Frankston 3199	To erect and display internally illuminated business identification signage in a Commercial 1 Zone (C1Z)	Permit Approved	10/05/2024
512/2021/P	South	8 Franklin Court, Frankston 3199	To use and develop the land for a Residential Building (Rooming House) in a General Residential Zone (GRZ)	Application Refused	15/05/2024
377/2024/P	South	38 Pratt Avenue, Frankston South 3199	To remove three (3) substantial trees in a Significant Landscape Overlay Schedule 4 (SLO4)	Permit Approved	16/05/2024
460/2022/P	South	14 John Street, Langwarrin 3910	Clause 32.08-2: Use land for a child care centre in the General Residential Zone; Clause 32.08-10: Construct a building or construct or carry out works associated with a section 2 use in the General Residential Zone; Clause 52.05-2: To display a business identification sign.	Permit Approved	20/05/2024

Progress Report – Planning Application Decisions For The Application Date: From 1/05/2024 To 31/05/2024					
<u>Application</u>	<u>Ward</u>	<u>Property Address</u>	<u>Application Description</u>	<u>Status</u>	<u>Date</u>
277/2024/P	South	561 Nepean Highway, Frankston 3199	To construct a building and carry out works for a three (3) storey dwelling in an Erosion Management Overlay Schedule 3 (EMO3) and to create access to a road in a Transport Zone 2 (TRZ2).	Application Lapsed	20/05/2024
275/2024/P	South	633 Nepean Highway, Frankston South 3199	To display business identification signage within a General Residential Zone 1 (GRZ1)	Permit Approved	20/05/2024
153/2024/P	South	6 Lipari Court, Frankston South 3199	To remove two (2) substantial trees in a Significant Landscape Overlay Schedule 3 (SLO3)	Application Lapsed	20/05/2024
334/2023/P	South	11 Beach Street, Frankston 3199	Use and development of the land for a fourteen (14) storey mixed use development including office and dwellings in a Mixed Use Zone (MUZ), Design and Development Overlay Schedule 5 (DDO5), Special Building Overlay (SBO) and Parking Overlay Schedule 1 (PO1) and reduction in car parking requirements under Clause 52.06-5 of the planning scheme.	Preparing Delegated Report	21/05/2024
678/2023/P	South	109 Foot Street, Frankston South 3199	To construct two (2) double storey dwellings on a lot in a General Residential Zone (GRZ); For buildings and works within a Tree Protection Zone (TPZ) of a substantial tree in a Significant Landscape Overlay-Schedule 4 (SLO4); For buildings and works in a Bushfire Management Overlay (BMO)	Permit Approved	23/05/2024
757/2023/P	South	19 Baden Powell Drive, Frankston South 3199	To construct a double storey dwelling in a Design and Development Overlay Schedule 9 (DDO9) and Bushfire Management Overlay (BMO), and to construct a front fence in a Significant Landscape Overlay Schedule 4 (SLO4)	Permit Approved	24/05/2024

Progress Report – Planning Application Decisions For The Application Date: From 1/05/2024 To 31/05/2024					
<u>Application</u>	<u>Ward</u>	<u>Property Address</u>	<u>Application Description</u>	<u>Status</u>	<u>Date</u>
957/2023/P	South	25 McComb Boulevard, Frankston South 3199	To construct one (1) double storey dwelling to the rear of the existing dwelling in a General Residential Zone (GRZ), to construct buildings and works in a Design and Development Overlay Schedule 9 (DDO9) and to remove and construct buildings and works in the tree protection zone of substantial trees in a Significant Landscape Overlay Schedule 4 (SLO4)	Permit Approved	24/05/2024
1046/2023/P	South	119A Cranbourne Road, Frankston 3199	To construct three (3) dwellings within a General Residential Zone (R1Z) and Special Building Overlay (SBO) and to alter/create access to a Transport Zone 2 (TRZ2)	Application Withdrawn	28/05/2024
South Ward = 17					
Total = 33					

Progress Report – Amendments to Planning Application Decisions For The Application Date: From 1/05/2024 To 31/05/2024					
<u>Application</u>	<u>Ward</u>	<u>Property Address</u>	<u>Application Description</u>	<u>Status</u>	<u>Date</u>
123/2022/P/B	North-East	52 Boundary Road, Carrum Downs 3201	Extension of Time - To construct buildings and works associated with a Section 2 use in a Green Wedge Zone; to construct buildings and works within the Environment Significance Overlay - Schedule 2.	Extension of Time Approved	6/05/2024
179/2022/P/A	North-East	40 Kerry Street, Langwarrin 3910	Extension of Time - To construct an extension to a dwelling in a Bushfire Management Overlay Schedule 1 (BMO1)	Extension of Time Approved	6/05/2024
161/2020/P/B	North-East	2/40 Titan Drive, Carrum Downs 3201	Extension of time - Buildings and works to an existing warehouse in an Industrial 1 Zone (IN1Z)	Extension of Time Refused	6/05/2024
North-East Ward = 3					
396/2021/P/F	North-West	176-178 Nepean Highway, Seaford 3198	Secondary Consent - Use and Development of Land for the Purpose of a Service Station and Convenience Restaurant, Display of Advertising Signage and Alteration of Access to a Road in a Transport Zone 2	Secondary Consent Approved	2/05/2024
338/2022/P/D	North-West	15 Park Street, Seaford 3198	S72 Amendment - To construct two (2) double storey dwellings on a lot in a General Residential Zone (GRZ) To amend the permit by considering amended plans that show: - Additional verandahs at the ground floor. - Additional balcony on the first floor. - Changes to window sizes. - Other consequential changes	Permit Approved	3/05/2024

Progress Report – Amendments to Planning Application Decisions For The Application Date: From 1/05/2024 To 31/05/2024					
<u>Application</u>	<u>Ward</u>	<u>Property Address</u>	<u>Application Description</u>	<u>Status</u>	<u>Date</u>
31/2019/P/B	North-West	17 Coolgardie Street, Frankston North 3200	Extension of Time - To construct one (1) double storey dwelling to the rear of the existing dwelling (two (2) dwellings on a lot)	Extension of Time Approved	3/05/2024
437/2019/P/F	North-West	15 Leonard Street, Frankston 3199	Extension of Time - To construct two (2) single storey dwellings to the rear of an existing dwelling (three (3) of dwellings on a lot) in a General Residential Zone (GRZ)	Extension of Time Approved	3/05/2024
500/2019/P/D	North-West	4 Largs Street, Seaford 3198	Extension of Time - To construct two dwellings including retention of the existing dwelling	Extension of Time Approved	3/05/2024
91/2020/P/C	North-West	21 Brunel Road, Seaford 3198	Secondary Consent - To construct three (3) double storey dwellings and a three (3) lot subdivision in a General Residential Zone	Secondary Consent Approved	3/05/2024
432/2019/P/H	North-West	159 Nepean Highway, Seaford 3198	Secondary Consent - Construct ten (10) apartments in a three storey building, to construct a building over 7.0 metres in height in a Design and Development Overlay Schedule 6 (DDO6) and to create and alter access to a Road in a Road Zone Category 1	Secondary Consent Approved	7/05/2024
915/2023/P/A	North-West	100 McMahons Road, Frankston 3199	Secondary Consent - To subdivide the land into two (2) lots in a General Residential Zone (R1Z)	Secondary Consent Approved	9/05/2024
118/2006/P/A	North-West	2 Newton Street, Seaford 3198	Section 72 - Buildings and works to the existing dwelling and the construction of a new two (2) storey dwelling at the rear that is accessed from the Right of Way.	Permit Approved	10/05/2024

Progress Report – Amendments to Planning Application Decisions For The Application Date: From 1/05/2024 To 31/05/2024					
<u>Application</u>	<u>Ward</u>	<u>Property Address</u>	<u>Application Description</u>	<u>Status</u>	<u>Date</u>
41/2021/P/D	North-West	23 Burrawong Avenue, Seaford 3198	Section 72 - To construct one (1) double storey dwelling to the rear of existing dwelling (two (2) dwellings on a lot) in a General Residential Zone (GRZ)	Permit Approved	15/05/2024
446/2022/P/F	North-West	383-389 Nepean Highway, Frankston 3199	Secondary Consent - Use and development of the land for a five to six (5-6) storey office building in a Mixed Use Zone, Design and Development Overlay (Schedule 5) and Special Building Overlay, reduction to car parking requirements of Clause 52.06 of the Frankston Planning Scheme, construction and display of two business identification signs and one floodlit identification sign and alteration to access to a road in a Transport Zone 2	Secondary Consent Approved	17/05/2024
553/2022/P/C	North-West	9 Seaford Road, Seaford 3198	Secondary Consent - To construct two (2) double storey dwellings in a General Residential Zone (GRZ) and to alter access to a road in a Transport Zone 2.	Secondary Consent Approved	17/05/2024
74/2022/P/C	North-West	2 Woodlea Court, Frankston 3199	Extension of Time - To construct five (5) single storey dwellings on a lot in a General Residential Zone (GRZ) and Special Building Overlay (SBO)	Extension of Time Approved	21/05/2024
483/2018/P/G	North-West	244 Seaford Road, Seaford 3198	Extension of Time - To construct one (1) double storey dwelling to the rear of the existing dwelling (two (2) dwellings), alter access to a road in a Road Zone Category 1 (RDZ1) and subdivide the land into two (2) lots	Extension of Time Approved	30/05/2024
North-West Ward = 14					

Progress Report – Amendments to Planning Application Decisions For The Application Date: From 1/05/2024 To 31/05/2024					
<u>Application</u>	<u>Ward</u>	<u>Property Address</u>	<u>Application Description</u>	<u>Status</u>	<u>Date</u>
864/2023/P/B	South	26 Gweno Avenue, Frankston 3199	Secondary Consent - To construct one (1) double storey dwelling in a Design and Development Overlay Schedule 6 (DDO6) and to construct buildings and works in the tree protection zone of a tree specified in the Environmental Significance Overlay Schedule 4 (ESO4)	Secondary Consent Approved	3/05/2024
261/2017/P/D	South	7 Bridgewater Court, Langwarrin 3910	Extension of Time - Use and Building and works to construct one (1) single storey dwelling	Extension of Time Approved	6/05/2024
626/2021/P/A	South	25 Natina Court, Langwarrin 3910	Secondary Consent - To construct buildings and works to an existing dwelling in a Design and Development Overlay Schedule 4 (DDO4) and Bushfire Management Overlay (BMO) and to construct a building and construct and carry out works in the Tree Protection Zone of a substantial tree in a Significant Landscape Overlay Schedule 1 (SLO1)	Secondary Consent Approved	7/05/2024
397/2009/P/C	South	77 Warrandyte Road, Langwarrin 3910	Section 72 - Use and construction of a car wash	Permit Approved	8/05/2024
542/2021/P/A	South	64 Cliff Road, Frankston 3199	Secondary Consent - To construct one (1) double storey dwelling with roof top deck in a Design and Development Overlay Schedule 6 (DDO6)	Application Withdrawn	9/05/2024
744/2021/P/A	South	23 Hillcrest Road, Frankston 3199	Extension of Time - To subdivide the land into five (5) lots in a General Residential Zone (GRZ)	Extension of Time Approved	10/05/2024

Progress Report – Amendments to Planning Application Decisions For The Application Date: From 1/05/2024 To 31/05/2024					
<u>Application</u>	<u>Ward</u>	<u>Property Address</u>	<u>Application Description</u>	<u>Status</u>	<u>Date</u>
658/1973/P/B	South	9/48-50 High Street, Frankston 3199	<p>Section 72 Amendment to the approved plans and permits which allows for the construction of the nine (9 flats) that currently exist on the site.</p> <p>The amendment application proposes:</p> <ul style="list-style-type: none"> - The conversion of the double garage to unit 9 as a single garage and the addition of a bedroom and ensuite at ground floor within the existing garage area. - A reduction in the car parking requirement for unit 9. 	Application Refused	14/05/2024
182/2020/P/1	South	86-88 Stotts Lane, Frankston South 3199	<ul style="list-style-type: none"> •To subdivide the land into a maximum of Forty Five (45) residential lots (staged subdivision) in a General Residential Zone (GRZ). •To subdivide land, to remove native vegetation and to carry out works within the Tree Protection Zone of native vegetation, construct or carry out buildings and work in an Environmental Significance Overlay Schedule 1 (ESO1). •To subdivide the land and carry our works in a Design and Development Overlay Schedule 7 (DDO7). •To subdivide the land in a Bushfire Management Overlay (BMO). 	Permit Approved	16/05/2024

Progress Report – Amendments to Planning Application Decisions For The Application Date: From 1/05/2024 To 31/05/2024					
<u>Application</u>	<u>Ward</u>	<u>Property Address</u>	<u>Application Description</u>	<u>Status</u>	<u>Date</u>
300/2021/P/D	South	633 Nepean Highway, Frankston South 3199	Extension of Time - Use and development of the land for a Display Home Centre, construction of a dwelling over 8 metres in height in a Design and Development Overlay Schedule 9 and to alter access to a road in a Road Zone Category 1	Extension of Time Approved	16/05/2024
668/2021/P/C	South	82 High Street, Frankston 3199	Extension of time - To construct four (4) double storey dwellings on a lot in a General Residential Zone (GRZ) and to construct buildings and works in a Design and Development Overlay Schedule 6 (DDO6)	Extension of Time Approved	21/05/2024
85/2022/P/B	South	1 Kenilworth Avenue, Frankston 3199	Extension of Time - To construct five (5) double storey dwellings on a lot in a General Residential Zone (GRZ)	Extension of Time Approved	22/05/2024
156/2013/P/E	South	446-450 Nepean Highway, Frankston 3199	Extension of Time - To develop an eleven (11) storey office, retail and residential building, alteration of access to a road in a Road Zone Category 1, and reduction of car parking spaces and loading / unloading facilities at 446, 448, 448A and 450 Nepean Highway, Frankston	Application Withdrawn	23/05/2024
626/2021/P/B	South	25 Natina Court, Langwarrin 3910	Extension of Time - To construct buildings and works to an existing dwelling in a Design and Development Overlay Schedule 4 (DDO4) and Bushfire Management Overlay (BMO) and to construct a building and construct and carry out works in the Tree Protection Zone of a substantial tree in a Significant Landscape Overlay Schedule 1 (SLO1)	Extension of Time Approved	27/05/2024

Progress Report – Amendments to Planning Application Decisions For The Application Date: From 1/05/2024 To 31/05/2024					
<u>Application</u>	<u>Ward</u>	<u>Property Address</u>	<u>Application Description</u>	<u>Status</u>	<u>Date</u>
420/2021/P/C	South	40 Brighton Street, Frankston South 3199	Extension of Time - To construct four (4) double storey dwellings and subdivide the land into four (4) lots in a General Residential Zone (GRZ), to construct a building and construct and carry out works in the Tree Protection Zone of a substantial tree in a Significant Landscape Overlay Schedule 4 (SLO4) and to subdivide land and to construct a building and construct and carry out works in a Design and Development Overlay Schedule 9 (DDO9)	Extension of Time Approved	27/05/2024
South Ward = 14					
Total = 31					

Progress Report – Subdivision Application Received				
For The Application Date: 1/05/2024 To 31/05/2024				
Application No	Ward	Property Address	Application Description	Date
62/2024/S	North-East	13 Athol Court, Langwarrin 3910	Four (4) lot subdivision of the land within a General Residential Zone (GRZ)	2/05/2024
63/2024/S	North-East	580 Thompsons Road, Sandhurst 3977	Two (2) lot subdivision of land within a Comprehensive Development Zone 1 (CDZ1)	6/05/2024
65/2024/S	North-East	17 Anthony Street, Langwarrin 3910	To subdivide the land into two (2) lots in a General Residential Zone (GRZ)	17/05/2024
67/2024/S	North-East	146 Lyrebird Drive, Carrum Downs 3201	Two (2) lot subdivision of land within a General Residential Zone (GRZ)	28/05/2024
69/2024/S	North-East	35 Chardonnay Drive, Skye 3977	To subdivide land into two (2) lots in a General Residential Zone (R1Z)	30/05/2024
57/2024/S	North-West	4 The Glen, Frankston 3199	To subdivide the land into four (4) lots in a General Residential Zone (R1Z)	1/05/2024
56/2024/S	North-West	232 Frankston-Dandenong Road, Seaford 3198	To subdivide the land into two (2) lots in a General Residential Zone (R1Z)	3/05/2024
61/2024/S	North-West	97 Dandenong Road East, Frankston 3199	Two (2) lot subdivision of land within a General Residential Zone (GRZ)	6/05/2024
64/2024/S	North-West	7 Bellevue Crescent, Seaford 3198	To subdivide lot into two (2) lots in a General Residential Zone (R1Z)	10/05/2024
58/2024/S	South	92 Heatherhill Road, Frankston 3199	To subdivide the land into two (2) lots in a General Residential Zone (R1Z)	1/05/2024
59/2024/S	South	56 High Street, Frankston 3199	To subdivide the land into three (3) lots in a General Residential Zone (R1Z)	1/05/2024
66/2024/S	South	7 Villiers Street, Frankston South 3199	Two (2) lot subdivision within a General Residential Zone (GRZ)	21/05/2024
68/2024/S	South	10 Carter Court, Frankston 3199	To subdivide the land into two (2) lots in a General Residential Zone (R1Z)	30/05/2024

Total = 13

Progress Report – Subdivision Decisions					
For The Application Date: From 1/05/2024 To 31/05/2024					
<u>Application No</u>	<u>Ward</u>	<u>Property Address</u>	<u>Application Description</u>	<u>Status</u>	<u>Date</u>
130/2022/S	North-East	8 The Grove, Langwarrin 3910	Three or More Lot Subdivision	Certification	8/05/2024
27/2022/S	North-East	59 Edward Street, Langwarrin 3910	To subdivide the land into two (2) lots in a General Residential Zone (GRZ)	Statement of Compliance	10/05/2024
30/2023/S	North-East	13 Quarrion Drive, Carrum Downs 3201	Two (2) lot subdivision	Statement of Compliance	16/05/2024
42/2022/S	North-East	14 Cedar Street, Langwarrin 3910	To subdivide the land into two (2) lots in a General Residential Zone (GRZ)	Certification	28/05/2024
67/2023/S	North-West	9 Riviera Street, Seaford 3198	Two (2) lot subdivision	Statement of Compliance	6/05/2024
56/2022/S	North-West	5 Spray Street, Frankston 3199	To subdivide the land into two (2) lots in a General Residential Zone (R1Z)	Certification	8/05/2024
62/2023/S	North-West	6 Forest Drive, Frankston North 3200	Three (3) lot subdivision and creation of easements in a General Residential Zone (GRZ)	Certification	8/05/2024
112/2023/S	North-West	67 Rosslyn Avenue, Seaford 3198	To subdivide the land into two (2) lots in a General Residential Zone 1 (GRZ1)	Certification	8/05/2024
12/2023/S	North-West	35 Sheridan Avenue, Frankston 3199	Six (6) lot staged subdivision	Statement of Compliance	9/05/2024
26/2023/S	North-West	4 Kerry Street, Seaford 3198	Two (2) lot subdivision	Statement of Compliance	9/05/2024

Progress Report – Subdivision Decisions					
For The Application Date: From 1/05/2024 To 31/05/2024					
Application No	Ward	Property Address	Application Description	Status	Date
113/2023/S	North-West	100 McMahons Road, Frankston 3199	To subdivide the land into two (2) lots in a General Residential Zone 1 (GRZ1)	Statement of Compliance	9/05/2024
120/2023/S	North-West	19 Brunel Road, Seaford 3198	To subdivide land into three (3) lots in a General Residential Zone (GRZ)	Statement of Compliance	9/05/2024
122/2023/S	North-West	35 Sheridan Avenue, Frankston 3199	Seven (7) lot staged subdivision	Statement of Compliance	9/05/2024
98/2022/S	North-West	21 Molesworth Street, Seaford 3198	To subdivide the land into three (3) lots in a General Residential Zone (GRZ)	Certification & Statement of Compliance	15/05/2024
129/2022/S	North-West	23 Burrawong Avenue, Seaford 3198	Two Lot Subdivision	Statement of Compliance	15/05/2024
44/2024/S	North-West	4/127 Beach Street, Frankston 3199	Two (2) lot subdivision of land within a General Residential Zone 1 (GRZ1)	Certification & Statement of Compliance	15/05/2024
113/2023/S	North-West	100 McMahons Road, Frankston 3199	To subdivide the land into two (2) lots in a General Residential Zone 1 (GRZ1)	Statement of Compliance	30/05/2024
49/2024/S	South	14 Wentworth Avenue, Frankston South 3199	Two (2) lot subdivision of land within a General Residential Zone (GRZ)	Certification	22/05/2024
3/2022/S	South	86-88 Stotts Lane, Frankston South 3199	To subdivide the land into forty four (44) residential lots in a General Residential Zone (GRZ)	Certification	29/05/2024
Total = 19					

Town Planning Applications – Direction To Advertise Issued May 2024				
Application No	Ward	Property Address	Application Description	Application Date
1000/2023/P	North-East	8 Valley Road, Langwarrin 3910	To use and construct one (1) single storey dwelling and outbuilding in a Rural Conservation Zone Schedule 2 (RCZ2) To construct buildings and works associated with accommodation in a Bushfire Management Overlay (BMO) To remove native vegetation under Clause 52.17 Native Vegetation	14/12/2023
824/2023/P	North-East	46 Clifton Grove, Carrum Downs 3201	To construct two (2) dwellings to the rear of the existing dwelling (three (3) dwellings on a lot) in a General Residential Zone (R1Z)	25/10/2023
873/2023/P	North-East	13 Darnley Drive, Skye 3977	To construct a single storey dwelling to the rear of an existing dwelling (two (2) dwellings on a lot) in a General Residential Zone (GRZ)	9/11/2023
247/2024/P	North-East	23 Athol Court, Langwarrin 3910	To construct four (4) double storey dwellings in a General Residential Zone (GRZ)	4/03/2024
496/2023/P	North-West	7 Attunga Crescent, Seaford 3198	To construct three (3) dwellings (two (2) double storey and one (1) single storey) within a General Residential Zone (R1Z)	30/06/2023
943/2023/P	North-West	22 McCulloch Avenue, Seaford 3198	To construct two (2) double storey dwellings and to subdivide the land into two (2) lots in a General Residential Zone (R1Z)	25/10/2023
1042/2023/P	North-West	169 Old Wells Road, Seaford 3198	To construct three (3) double storey dwellings in a General Residential Zone (R1Z)	22/12/2023
38/2024/P	North-West	71 Dandenong Road East, Frankston 3199	To subdivide the land into two (2) lots in a General Residential Zone (R1Z) and the Special Building Overlay (SBO).	15/01/2024
57/2024/P	North-West	16 Wells Road, Seaford 3198	To use the land for motor vehicle sales in an Industrial 1 Zone (IN1Z) and to vary the car parking requirement (Clause 52.06).	18/01/2024

Town Planning Applications – Direction To Advertise Issued May 2024				
Application No	Ward	Property Address	Application Description	Application Date
118/2006/P/A	North-West	2 Newton Street, Seaford 3198	Section 72 - Buildings and works to the existing dwelling and the construction of a new two (2) storey dwelling at the rear that is accessed from the Right of Way. Amendments: - Garage extension; and - Variation of the front setback.	9/02/2024
319/2023/P	South	1565A Dandenong-Hastings Road, Langwarrin 3910	To use the land for a Place of Assembly in a Low Density Residential Zone (LDRZ) To construct buildings and works (Building K and parking/paved areas) in a Low Density Residential Zone (LDRZ), Design and Development Overlay Schedule 4 (DDO4), Significant Landscape Overlay Schedule 1 (SLO1), Environmental Significance Overlay Schedule 1 (ESO1) and Bushfire Management Overlay (BMO) To alter access to a road in a Transport Zone 2 (TRZ2)	3/05/2023
789/2023/P	South	27 Cliff Road, Frankston 3199	To construct buildings and works over 7.0 metres in height in a Design and Development Overlay Schedule 6 (DDO6) and in the tree protection zone of a significant tree specified in the table to the Environmental Significance Overlay Schedule 4 (ESO4)	19/10/2023
804/2023/P	South	6 Mount View Court, Frankston 3199	To construct two (2) double storey dwellings in a General Residential Zone (R1Z) and a Design and Development Overlay (DDO10)	23/10/2023

Town Planning Applications – Direction To Advertise Issued May 2024				
Application No	Ward	Property Address	Application Description	Application Date
871/2023/P	South	2 Heatherhill Road, Frankston 3199	To vary the covenant contained in Instrument of Transfer 2055763 affecting the land contained in Volume 07998 and Folio 083 by inserting the words 'or community care accommodation generally in accordance with Architectural Plan (Drawings No. 2111 TP A100 Rev B and 2111 A200 Rev B) prepared by Colcept Pty Ltd Architects dated 14 March 2024'	3/11/2023
958/2023/P	South	14 Long Street, Frankston 3199	To construct four (4) double storey dwellings on a lot in a General Residential Zone (R1Z) and Design and Development Overlay Schedule 11 (DDO11)	29/11/2023
1023/2023/P	South	57 Brighton Street, Frankston South 3199	To construct two (2) double storey dwellings under a Design Development Overlay Schedule 9 (DDO9) in a General Residential Zone. Buildings and works within the Tree protection Zone of substantial trees and removal of vegetation within a Significant Landscape Overlay Schedule 4 (SLO4).	20/12/2023
1031/2023/P	South	40 McMahons Road, Frankston 3199	To construct building and works in a Commercial 2 Zone (B4Z) and increase signage.	20/12/2023
54/2024/P	South	7-9 Melva Court, Frankston 3199	To construct a three-storey building containing a total of 19 apartments and to use eight apartments located at ground floor level for the purpose of community care accommodation in a General Residential Zone (GRZ).	17/01/2024
39/2024/P	South	13 McMahons Road, Frankston 3199	To use and develop the land for a rooming house in a Mixed Use Zone (MUZ) To construct buildings and works in a Design and Development Overlay Schedule 13 (DDO13) and Special Building Overlay (SBO) To create/alter access to a road in a Transport Zone 2	24/01/2024

Town Planning Applications – Direction To Advertise Issued May 2024				
Application No	Ward	Property Address	Application Description	Application Date
26/2007/P/A	South	374 Nepean Highway, Frankston 3199	<p>Section 72 - Buildings and Works and Carparking dispensation for office use</p> <p>a) amend preamble to include permission for business identification signs, including internally illuminated business identification signs and internally illuminated pole sign within 600mm of a Transport Zone 2.</p> <p>b) Delete condition 1, 4, 8 and 9</p> <p>c) external building and works including ramps, windows, fences, roof top mechanical equipment, roof structures, electrical substation and amendments to external materials and colours.</p> <p>d) Alterations and additions to the existing building including internal rearrangement of walls and altered floor areas for office and medical centre.</p> <p>e) An increase in practitioner numbers to 15.</p> <p>f) Amended carparking layout and landscape plan.</p> <p>g) Business identification signs, including internally illuminated business identification signs. and internally illuminated pole sign</p>	30/01/2024
268/2015/P/C	South	Shop 1/147 Frankston-Flinders Road, Frankston 3199	Section 72 - To construct buildings and works to existing commercial premises, reduction in carparking requirements and waive loading/unloading requirements	5/02/2024
478/2013/P/C	South	101 Young Street, Frankston 3199	<p>Section 72 - To extend the liquor licence area for the consumption of liquor (original permit)</p> <p>To amend the permit by:</p> <p>a) amend the type of Liquor licence from a "Restaurant and Cafe Licence" to an " On Premises" Licence.</p> <p>b) amend the Venue management plan</p>	5/02/2024

Town Planning Applications – Direction To Advertise Issued May 2024				
Application No	Ward	Property Address	Application Description	Application Date
658/1973/P/B	South	9/48-50 High Street, Frankston 3199	Section 72 Amendment to the approved plans and permits which allows for the construction of the nine (9 flats) that currently exist on the site. The amendment application proposes: - The conversion of the double garage to unit 9 as a single garage and the addition of a bedroom and ensuite at ground floor within the existing garage area. - A reduction in the car parking requirement for unit 9.	23/02/2024
218/2024/P	South	28 Pratt Avenue, Frankston South 3199	To construct building and works to an existing dwelling in a Design Development Overlay (DD09)	5/03/2024
302/2024/P	South	110 Victory Road, Langwarrin 3910	To construct an outbuilding within a Rural Conservation Zone (RCZ) and Bushfire Management Overlay and remove vegetation within a Significant Landscape Overlay Schedule 1 (SLO1)	28/03/2024
283/2009/P/D	South	1/17 & 17 Burns Street, Frankston 3199	Section 72 - To construct two (2) dwellings (Existing dwelling to be retained)	16/04/2024

Legend

10 or more dwellings:	Yellow
3 or more lot subdivisions:	Blue
3 or more storey development:	Green
Applications in the CAA:	Pink

Progress Report – Current VCAT Appeals May 2024									
<u>Appeal Number</u>	<u>Application Number</u>	<u>Address</u>	<u>Proposal</u>	<u>Lodged at VCAT</u>	<u>Council Decision</u>	<u>Appeal Type</u>	<u>Date of Appeal</u>	<u>VCAT Decision</u>	<u>Date of VCAT Decision</u>
P1238/2023	460/2022/P	14 John Street, Langwarrin	To use and develop the land for a child care centre and to display business identification signage in a General Residential Zone (GRZ)	24/10/2023	NOD	Objector	VACATED	Varied	6/05/2024
P125/2023	548/2022/P	438-444 Nepean Highway, Frankston	Construction of a sixteen (16) storey building in a Commercial 1 Zone (B1Z), use of land for Dwellings, creation/alteration to access to a road in a Transport Zone 2 and reduction in car parking requirements under Clause 52.06 of the Frankston Planning Scheme	30/01/2023	Failure to Determine	Applicant			
P1252/2023	754/2022/P	60 Valley Road & 150 Quarry Road, Langwarrin	To use and develop the land for Extractive Industry (Sand Extraction) in a Rural Conservation Zone Schedule 2 (RCZ2)	18/10/2023	Refusal	Owner	8-23/4/2024		
P1450/2023	911/2022/P	89 Young Street, Frankston	To develop the land for a multi-storey building (comprising retail, office and dwellings) within the Commercial 1 Zone (CZ1) and reduction in the car parking requirements	22/11/2023	Failure to Determine	Owner	13-16/5/2024		
P1471/2023	897/2022/P	3 Nott Avenue, Frankston	To construct one (1) double storey dwelling to the rear of the existing dwelling (two (2) dwellings on a lot) in a General Residential Zone (GRZ) and Special Building Overlay (SBO)	4/12/2023	Refusal	Owner	18/07/2024		

Progress Report – Current VCAT Appeals May 2024									
<u>Appeal Number</u>	<u>Application Number</u>	<u>Address</u>	<u>Proposal</u>	<u>Lodged at VCAT</u>	<u>Council Decision</u>	<u>Appeal Type</u>	<u>Date of Appeal</u>	<u>VCAT Decision</u>	<u>Date of VCAT Decision</u>
P212/2024	492/2017/P/D	424-426 Nepean Highway, Frankston	Section 72 - Amend the planning permit to allow for the use and development of a fifteen (15) storey building in a Commercial 1 Zone and Design and Development Overlay, Schedule 14 for retail and dwellings and the deletion of the serviced apartments	27/02/2024	Failure to Determine	Owner	12, 13, 15, 16 & 19/8/2024		
P1615/2023	492/2017/P/F	424-426 Nepean Highway, Frankston	Extension of Time - The use and development of the land for a multi-storey building for retail, dwellings & serviced apartments	22/12/2023	Refusal of EOT	Applicant	14/03/2024		
P14/2024	773/2022/P	35-41 Hastings Road, Frankston & 2 Burns Street, Frankston	Use of land for an office in a Mixed Use Zone (MUZ). Construct buildings and works for a five storey mixed use building comprised of office (section 2 use) and dwellings in a Mixed Use Zone (MUZ). Construct buildings and works in a Design and Development Overlay Schedules 10 and 13 (DDO10 and DDO13) and a Specific Controls Overlay Schedule 3 (SCO3). To create or alter access to a road in a Transport Zone 2 (TZ2).	31/01/2024	NOD	Objector	30/9/2024 & 1-2/10/2024		
P1650/2023	717/2023/P	4 Carder Avenue, Seaford	To construct four (4) double storey dwellings in a General Residential Zone (R1Z) and Special Building Overlay (SBO)	3/01/2024	Refusal	Owner	5-7/6/2024		

Progress Report – Current VCAT Appeals May 2024									
<u>Appeal Number</u>	<u>Application Number</u>	<u>Address</u>	<u>Proposal</u>	<u>Lodged at VCAT</u>	<u>Council Decision</u>	<u>Appeal Type</u>	<u>Date of Appeal</u>	<u>VCAT Decision</u>	<u>Date of VCAT Decision</u>
P1649/2023	729/2023/P	6 Carder Avenue, Seaford	To construct four (4) double storey dwellings on a lot in a General Residential Zone (R1Z) and Special Building Overlay (SBO)	5/01/2024	Refusal	Owner	5-7/6/2024		
P1622/2023	222/2022/P	14-16 Hickory Crescent Frankston North	To construct six (6) double storey dwellings and a six (6) lot subdivision in a General Residential Zone (GRZ)	12/01/2024	Refusal	Owner	3/09/2024		
P218/2024	464/2023/P	20 Seaview Road, Frankston South	To construct one (1) double storey dwelling in front of the existing dwelling (two (2) dwellings on a lot) in a General Residential Zone (GRZ), to construct buildings and works in a Design and Development Overlay Schedule 1 (DDO1) and to construct a building and carry out works in the Tree Protection Zone of substantial trees and to remove substantial trees in a Significant Landscape Overlay Schedule 3 (SLO3).	27/02/2024	Refusal	Owner	6/11/2024		
P317/2024	789/2023/P	27 Cliff Road, Frankston	To construct buildings and works over 7.0 metres in height in a Design and Development Overlay Schedule 6 (DDO6) and in the tree protection zone of a significant tree specified in the table to the Environmental Significance Overlay Schedule 4 (ESO4)	27/03/2024	Failure to Determine	Owner	26-27/8/2024		
P411/2024	9/2023/COMP	525 Ballarto Road, Skye	Use of site as a 'Store'	16/04/2024	Refusal	Owner	12-13/8/2024		

Progress Report – Current VCAT Appeals May 2024									
<u>Appeal Number</u>	<u>Application Number</u>	<u>Address</u>	<u>Proposal</u>	<u>Lodged at VCAT</u>	<u>Council Decision</u>	<u>Appeal Type</u>	<u>Date of Appeal</u>	<u>VCAT Decision</u>	<u>Date of VCAT Decision</u>
P394/2024	127/2024/P	171 Gould Street, Frankston	To use and construct a display home centre in a General Residential Zone Schedule 1 (GRZ1) To construct a building and works in a Design and Development Overlay Schedule 6 (DDO6) and Land Subject to Inundation Overlay (LSIO) To subdivide land in a General Residential Zone Schedule 1 (GRZ1), Design and Development Overlay Schedule 6 (DDO6) and Land Subject to Inundation Overlay (LSIO) To reduce the number of car parking spaces required under Clause 52.06-5 of the Frankston Planning Scheme.	16/04/2024	Failure to Determine	Applicant	15/08/2024		

Progress Report – VCAT Determination – Policy Implications May 2024			
<u>Appeal No</u>	<u>Application No</u>	<u>Address</u>	<u>VCAT Determination – Policy Implications</u>
P1238/2023	460/2022/P	14 John Street, Langwarrin	<p>The applicant sought permission to use and develop the land for a child care centre and to display business identification signage. Public notice of the application was provided and 56 objections were received. Council’s delegate considered that the proposed centre was acceptable and issued a Notice of Decision to Grant a Planning Permit. An objecting party sought review of that decision.</p> <p>Prior to a full hearing, the VCAT required the parties to attend a Compulsory Conference. In the course of the conference the applicant provided amendments to the centre design which were accepted by the objecting parties. The VCAT then directed the issuance of a Planning Permit with the consent of the parties.</p>

Progress Report – Ministerial Applications – Delegated Officer Comments May 2024			
<u>Reference Number</u>	<u>Council Reference</u>	<u>Address</u>	<u>Summary of Officer Comments on Ministerial Application</u>
PA2402930	142/2024/PIR1	11 Beach Street, Frankston	<p>Frankston City Council has considered the application submitted under section 52(1) of the <i>Planning and Environment Act 1987</i> and objects to the grant of a permit subject to the following reasons (summarised):</p> <ol style="list-style-type: none"> 1. The height, setbacks, bulk, mass and scale of the development is not consistent with the strategic objectives of the Frankston Metropolitan Activity Centre Structure Plan (2015), Frankston Metropolitan Activity Centre Structure Plan (2023) and Design and Development Overlay, Schedule 5 of the Frankston Planning Scheme. <p>The proposal seeks to vary the maximum preferred building height specified in the FMAC Structure Plan (2015) and Design and Development Overlay (DDO5) of 38m by 11.65m. It also seeks a reduction in the preferred setbacks to east and western boundaries from 5m to 0.m (within the exception of the light wells which are setback 4.572m).</p> <p>Council is currently undertaking Planning Scheme Amendment C160fran (the amendment), to implement the Frankston Metropolitan Activity Centre Structure Plan (June 2023) (the FMAC Structure Plan (June 2023)) into the Frankston Planning Scheme. The amendment proposes a new suite of built form controls for the site, to be implemented via rezoning the land to the Activity Centre Zone (ACZ) with a new Schedule 1 (ACZ1).</p>

			<p>2. The FMAC Structure Plan (2023) sets out a range of built form controls for the site, including a preferred height of 41m for the core and 12m for the podium with development above 12m setback a minimum of 5m from the south boundary (Beach Street). The proposal for a tower height of 49.6 exceeds the existing preferred maximum height in the FMAC Structure Plan (2023) by 8.6m or ~20%. This is a notable departure from the preferred height and is not considered to appropriately respond to the desired scaling up and down of height limits into the city centre.</p> <p>The FMAC Structure Plan (2023) seeks a 4.5m minimum setback to the side and rear boundaries above the podium for development of up to 28m; 6.0m for development between 28 and 42m and 10.0m for development above 42.0m. Of particular concern is the distinct lack of side setbacks which are critical to achieving equitable development, visual bulk, public realm and amenity outcomes.</p> <p>3. The proposed development does not represent a satisfactory urban design response consistent with the objectives of Clauses 11.03-1L-02, 15.01-1S, 15.01-2S and 15.01-5S of the Frankston Planning Scheme. Amongst other things, the extensive surface area of the towers side wall presents in essentials as a blank wall and will have significant visual impact on Beach Street and the Nepean Highway.</p> <p>4. Overshadowing caused by the proposed development is not consistent with the strategic objectives of the Frankston Metropolitan Activity Centre Structure Plan (2015) and Frankston Metropolitan Activity Centre Structure Plan (2023). The shadow diagrams show that the southern footpath of Beach Street and the properties to the south are overshadowed between 10am and 2pm on the 22nd September (Equinox). The proposed extent of overshadowing is unreasonable noting that access to sunlight is extremely important for the success of public streets.</p> <p>5. The proposed development will unfairly prejudice the development of adjacent sites with zero separation between buildings, creating excessive visual bulk, overshadowing and wind impacts and limiting access to daylight.</p> <p>6. The method of waste management and the location of the waste collection point on Beach Street is not consistent with Clause 65.01 of the Frankston Planning Scheme and Council’s standards and creates safety, management and amenity concerns.</p> <p>7. The proposal has not demonstrated a sufficient level of compliance with Clause 58 of the Frankston Planning Scheme in respect to Clause 58.02-3 (Dwelling diversity), Clause 58.02-5 (Integration with</p>
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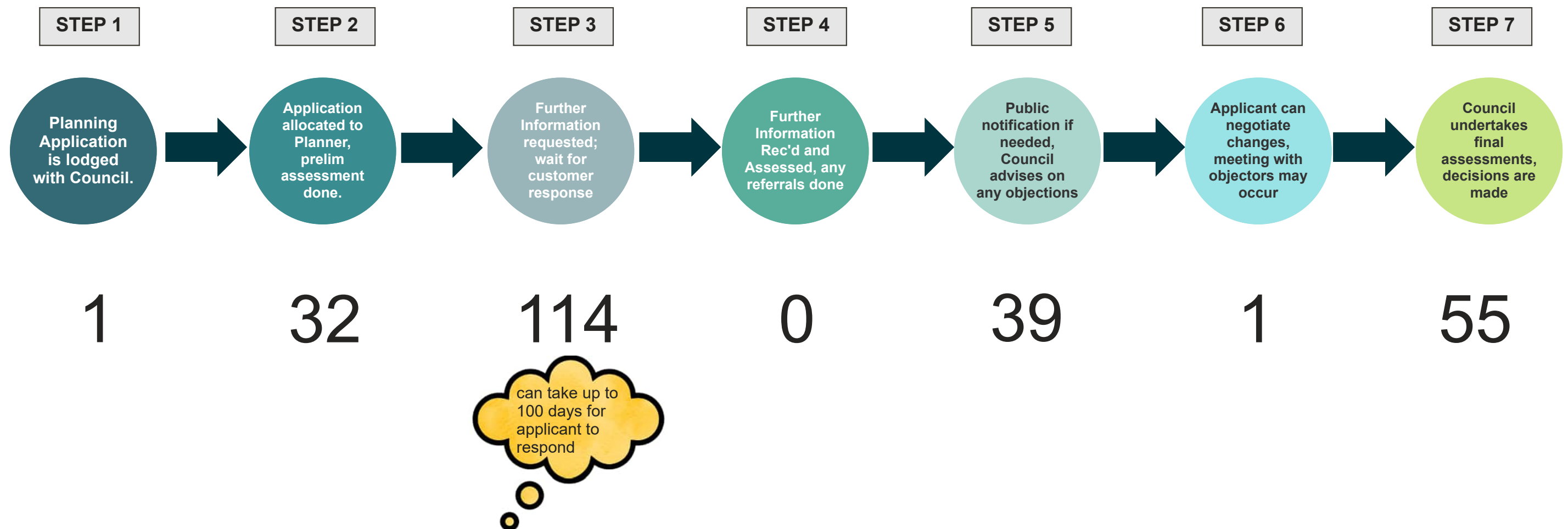
			the street), Clause 58.03-3 (Solar access to communal open space), Clause 58.04-1 (Building setback), Clause 58.04-4 (Wind impacts), Clause 58.04-2 (Internal Views), Clause 58.05-3 (Private Open Space) and Clause 58.07-1 (Internal Amenity).
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Planning Applications Process; Mthly report

Latest Applic.Date: 18-Jun-24

This is the status of each of the **245** Planning Applications awaiting a council decision.....



Executive Summary**12.1 Governance Matters Report for 22 July 2024**

Enquiries: (Brianna Alcock: Corporate and Commercial Services)

Council Plan

Level 1:

Level 2:

6. Progressive and Engaged City

6.5 Support transparent and evidenced based decision making through sharing council data and clear reporting on our measures of success to the community

Purpose

To seek endorsement from Council on the recent Governance matters including status of resolutions.

Recommendation (Director Corporate and Commercial Services)

That Council:

Council Resolution Status Update

1. Receives the Council Resolution Status update, including:
 - a. Notice of Motion Cost Summary and Notice of Motion Report for 22 July 2024 and Open Urgent Business actions;
 - b. Notes there are no Notice of Motion actions reported as complete by officers;
 - c. Notes there is one report delayed in its presentation to Council:
 - Native Vegetation Offset Site progress update & Funding Outcomes, delayed to 12 August 2024 Council Meeting;
 - d. Notes since the Council Meeting, held on 24 June 2024, nine (9) resolution actions have been completed, as listed in the body of the report;

Councillor Briefings Record

2. Receives the record of Councillor Briefing meetings held since the date of last Council Meeting held on 24 June 2024 as listed in the body of the report;

External and Internal Committee Meetings Update

3. Receives the highlights of activities of external and internal Committees meetings held during the quarter April to June 2024;
4. Notes the Frankston Suburban Revitalisation Board met on 6 June 2024 to shape the Board's future vision and defining its role in transforming Frankston's city centre into a successful and vibrant city and a specific report on the workings of the Revitalisation Board will be presented at the 12 August 2024 Council Meeting;

Councillor Induction Training

5. Receives the written *Declaration of Completion of Training* from Cr Glenn Aitken on the completion of the Councillor Induction Training, following his election to Council by count-back and taking the Oath of Office, on 19 January 2024;

Recognition of Mayor Emeritus and Councillor Years of Service

6. Awards a Certificate under Seal to Cr David Asker, who has served as Councillor for 10 years. The Certificate is to be presented at the next Council Meeting, to be held on 12 August 2024;
7. Notes the Mayor, Cr Nathan Conroy will receive a Mayor Emeritus Award for serving three full terms as Mayor in Victoria, and Cr David Asker will receive a 10

12.1 Governance Matters Report for 22 July 2024**Executive Summary**

Years of Service Award as a Councillor, at the upcoming MAV Victorian Councillor Service Awards;

s11A Instrument of Appointment and Authorisation

8. In the exercise of the powers conferred by s 147(4) of the *Planning and Environment Act 1987*, Frankston City Council (Council) Resolves that:
- The member of Council staff referred to in the instrument attached be appointed and authorised as set out in the instrument;
 - The instrument comes into force immediately the common seal of Council is affixed to the instrument, and remains in force until Council determines to vary or revoke it;
 - The instrument be sealed;

Administrative Corrections to the 2024-2028 Budget

9. Notes, at its 3 June 2024 Meeting, the 2024-2028 Budget was adopted, where it resolved that Council:
- 2.2 Resolves that each differential rate will be determined by multiplying the Capital Improved Value of each rateable land (categorised by the characteristics described in paragraph 2.3 of this Resolution) by the relevant percentages indicated in the following table:*
- A general rate of 0.148460% for all rateable Retirement Village Land;*
10. Endorses the following typographical correction to the 2024-2028 Budget resolution of the differential rate for Retirement Village Land, noting there is no change to the value of rates being raised and no impact on ratepayers.
- A general rate of 0.148640% for all rateable Retirement Village Land;*
11. Notes, at its 3 June 2024 Meeting, the 2024-2028 Budget was adopted, where it resolved that Council:
- 3.15. Commits \$30,000 for design of an additional netball court at the Frankston Bombers Netball Club in 2024/2025 to be funded from Lighting Frankston Plan Implementation – Circuit Path Illumination Pilot Program;*
12. Endorses the following correction to the 2024-2028 Budget to reflect the funding commitment for Frankston Dolphins Football Netball Club, noting there is no material change or financial implication:
- 3.15. Commits \$30,000 for design of an additional netball court at the Frankston Dolphins Football Netball Club in 2024/2025 to be funded from Lighting Frankston Plan Implementation – Circuit Path Illumination Pilot Program;*

Inclusion Action Plan Update

- 13.
- Notes feedback received from various community members and diverse groups that experience greater barriers to community participation, highlighting the need for Council to undertake a variety of community strengthening actions to build capacity, resilience, and well-being;
 - Notes the growing practice within the local government sector to take a holistic and integrated approach towards consolidating inclusive action plans into one comprehensive plan, and the legislative requirement to maintain a Disability Action Plan;
 - Notes a consolidated Inclusion Action Plan will be developed from July 2025 to combine various action plans and integrate a range of focus areas

12.1 Governance Matters Report for 22 July 2024**Executive Summary**

including disability, culturally and linguistically diverse communities, LGBTQIA+ and positive ageing;

- d) Notes Council officers will brief Councillors in April 2025 prior to the development of the consolidated Inclusion Action Plan from July 2025;

Response to Petition - Increasing the priority of the Frankston Bowling Club all weather canopy project

14. Notes a Petition was received at its meeting on 22 April 2024, requesting Council to increase the priority of the Frankston Bowling Club all weather canopy project, containing 575 signatures;
15. Notes it further considered the matter and at its 3 June 2024 meeting, adopted the 2024-2028 Budget where it resolved that Council:
- 6. Commits the following priority project, recognising this may require future discretionary projects be deferred or cancelled as part of developing the 2025/26 Budget and next Long Term Infrastructure Program, to ensure asset renewal targets are not compromised and Council's financial position is not adversely impacted:*
- A capped \$200,000 grant towards the dome roof at Frankston Bowls Club, recognising the current \$600,000 State government towards the project, and conditional on the Federal government funding the balance of the total project cost;*
16. Notes following the endorsement of this project in the budget, Council officers notified the head petitioner accordingly;

Delegation to Canberra

17. Notes Council resolved the following at the 13 May 2024 Council Meeting:
- Councillor Interstate Travel
- 3. Notes the Mayor will be travelling to Canberra for key advocacy associated with the Greater South East Melbourne Group Advocacy delegation from 26 to 27 June 2024, at no cost to Council.*
18. Notes the Mayor and CEO attended a delegation to the Australian Parliament House in Canberra on 26 and 27 June 2024 along with representatives from the Greater South East Melbourne group of Councils (GSEM), including Council Mayors and CEOs and local industry, business, education and community leaders;
19. Notes the GSEM delegation met with a number of Ministerial and Shadow Ministerial representatives across a range of relevant portfolios, in addition to the launch of the GSEM Jobs and Skills Roadmap;
20. Notes that the Mayor and CEO met with Australia Post representatives in Canberra to discuss the planned closure of the Wells Street (Central Frankston) Post Office, with a further follow up meeting to discuss opportunities for retaining essential Australia Post services within Frankston's city centre arranged for July 2024;
21. Notes that the Mayor and CEO met with Minister for the National Disability Insurance Scheme the Hon Bill Shorten MP while in Canberra to discuss concerns raised through Council's Frankston City Housing Advisory Committee on misuse of the NDIS by some providers and regulation needed for Supported Independent Living facilities, and;

Appointment and authorisation by CEO

12.1 Governance Matters Report for 22 July 2024**Executive Summary**

22. Resolves that Attachment F to remain confidential indefinitely on the grounds that it includes personal information, being information which if released would result in the unreasonable disclosure of information about any person or their personal affairs (*Local Government Act 2020, s.3(1)(f)*).

Key Points / Issues

- In accordance with the Local Government Act 2020, Council's Governance Rules, Policies and Council resolutions, the agenda for each Council Meeting is required to list certain governance and/or administrative matters in addition to other specified items.
- Keeping in mind best practice, good governance principles and transparent reporting it was deemed appropriate to consolidate governance and/or administrative type reports into one standing report to provide a single reporting mechanism for a range of statutory compliance and/or governance matters. This will ensure sharing council data and clear reporting for the community.
- The Governance matters report may include, but is not limited to, the Council resolution Status, Instruments of Appointment & Authorisation, Instruments of Delegations, Audit and Risk Committee matters, Advisory committee matters, and other governance related matters.

Governance Matters reported for this meeting

The matters covered under the Governance Report for this meeting are:

- Council Resolution Status Update;
- Council Briefings Record;
- External and Internal Committee Meetings Update;
- Recognition of Mayor Emeritus and Councillor Year of Service Certificate under Seal
- Councillor Induction Training;
- s11A Instrument of Appointment and Authorisation
- Administrative Corrections to the 2024-2028 Budget
- Inclusion Action Plan Update
- Response to Petition - Increasing the priority of the Frankston Bowling Club all weather canopy project
- Delegation to Canberra

Council Resolution Status Update

- At its meeting on 19 December 2016, Council resolved that:

“That the Chief Executive Officer is directed to provide regular updates to Council on the progress or status of Council’s resolutions resulting from Notices of Motion raised by Councillors. In order to facilitate this, a brief progress report (detailing the status of each outstanding resolution) is required to be presented to Council at each of its Ordinary Meetings in future commencing with Ordinary Meeting 296 (scheduled for the 30 January 2017).”

12.1 Governance Matters Report for 22 July 2024**Executive Summary**

- Additionally, at its meeting on 22 July 2019, Council resolved that:
 - “4. a) *Includes in the attached monthly report (Notice of Motion Cost Summary), the number of Urgent business items per councillor*
 - b) *Includes the updates of the status of Urgent Business items in the attached monthly report (Notice of Motion Report)”*
- In line with the above resolutions, the following reports are attached for 22 July 2024:
 - Notice of Motion Cost Summary (**Attachment A**)
 - Notice of Motion Report (**Attachment B**)
- There are no Notice of Motion actions that are reported as complete by officers.
- Due to various factors, it is sometimes not possible for reports to be brought back before Council in accordance with the time frames resolved. The following report has been delayed in its presentation to Council:
 - Native Vegetation Offset Site progress update & Funding Outcomes
Officers are awaiting the final report from the external environmental consultants, which has been delayed and is critical in providing a well-informed recommendation to Council. The report will be presented to Council at its 12 August 2024 Meeting.
- Since the last Council Meeting 2024/CM08 on 24 June 2024, the following nine (9) resolution actions have been reported as ‘complete’. A detailed report has been provided at **Attachment C**:
 - 2023/NOM9 - Federal Funding in Abeyance 2023
 - 2023/NOM10 - Graffiti Advocacy and Invitation
 - 2019 Work Ready Program update
 - Frankston Arts Advisory Committee - Minutes 5 December 2023
 - Update on Councillor projects of interest and hot topics
 - Frankston Arts Advisory Committee - Minutes 20 February 2024
 - 2024/NOM12 - State Planning Inequities
 - Frankston Arts Advisory Committee - Minutes 23 April 2024
 - Governance Matters Report for 3 June 2024

Councillor Briefings Record

- At its meeting on 11 September 2023, Council resolved that:
 - “4. *Resolves to provide with effect from the October Council Meeting, the record of Councillor Briefings containing the following details through the Governance Matters Report:*
 - *List of the topics discussed at councillors briefings held since the date of last council meeting;*
 - *Records of the Councillors attendance at that briefing; and*
 - *Conflict of Interest disclosures, if any.”*

12.1 Governance Matters Report for 22 July 2024

Executive Summary

- The briefings listed below have occurred since the 24 June 2024 Council Meeting:

Date	Items Discussed	Councillors in Attendance	Conflict of Interest Disclosures
15 July 2024	<ul style="list-style-type: none"> Alternative Waste Illegal dumping matter: the subject of A Current Affair Agenda Review 	Mayor, Cr Nathan Conroy; Cr Glenn Aitken; Cr David Asker; Cr Sue Baker; Cr Kris Bolam; Cr Claire Harvey; Cr Brad Hill	Nil
17 July 2024	<ul style="list-style-type: none"> Community Satisfaction Survey Results Draft Affordable Housing Policy update Major Developments Quarterly Update 	Mayor, Cr Nathan Conroy; Cr Glenn Aitken; Cr David Asker; Cr Sue Baker; Cr Kris Bolam; Cr Claire Harvey; Cr Brad Hill	Nil

External and Internal Committee Meetings Update

- At its meeting on 20 November 2023, it was resolved that Council:
 - “10. Notes the highlights of the activities of any of the external and internal committees, if not otherwise report to Councillors, would be provided from time to time in the Governance matters report.”*
- The highlights of the activities of external and internal Committees meetings held during the quarter April – June 2024 are provided in **Attachment D**:
- External Committees:
 - Frankston Revitalisation Board – 6 June 2024
 - South East Councils Climate Change Alliance – 23 May 2024
- Internal Committees:
 - Destination Events Working Group – 13 June 2024
 - Disability Access and Inclusion Committee – 16 April 2024
 - Disability Access and Inclusion Committee – 11 June 2024
 - Foreshore Advisory Committee – 30 April 2024
 - Foreshore Advisory Committee – 28 May 2024
 - Major Projects Advisory Committee – 27 May 2024
 - Reconciliation Action Plan Advisory Committee – 18 April 2024
 - Sport and Recreation Advisory Committee – 23 April 2024
 - Youth Council Committee – 23 April 2024
 - Youth Council Committee – 7 May 2024
 - Youth Council Committee – 4 June 2024
 - Youth Council Committee – 18 June 2024

12.1 Governance Matters Report for 22 July 2024**Executive Summary****Recognition of Mayor Emeritus and Councillor Year of Service Certificate under Seal**

- At its meeting on 18 November 2019, Council adopted the Letter under Seal Policy (Policy). The Policy establishes procedures for recognising Councillors upon completion of significant years of service to Local Government.
- Cr David Asker has served as Councillor for 10 years at Frankston City Council. This Certificate under Seal is recommended to be presented to Cr Asker, at the next Council Meeting on 12 August 2024, as an acknowledgement for his dedicated service and gives recognition for the significant contribution to the City of Frankston.
- Additionally, Cr David Asker will be recognised at the upcoming MAV Victorian Councillor Service Awards, for serving 10 years of cumulative service as a Councillor.
- The Mayor, Cr Nathan Conroy has been accepted to receive the Mayor Emeritus Award for serving three full terms as Mayor in Victoria, at the upcoming MAV Victorian Councillor Service Awards.
- As stated by the MAV eligibility criteria, full terms are observed as commencing in November and concluding in October each year, with the exception of an election year when the length of service may be less than 12 months due to the election date set by the VEC. Where this is the case, the term of service is still considered a full term.

Councillor Induction Training

- As per Section 32 and 33 of the *Local Government Act 2020*:

32 Councillor induction training

- 1) A Councillor must complete Councillor Induction training within 6 months after the day the Councillor takes the oath or affirmation of office.
- 3) A Councillor must make a written declaration before the Chief Executive Officer after completing Councillor induction training that —
 - (a) states that the Councillor has completed the Councillor induction training; and
 - (b) dated and signed.

33 Failure to take Councillor induction training and make declaration

- 1) If a Councillor fails to —
 - a) Take or complete Councillor induction training as required by section 32(1); and
 - b) Make a written declaration as required by section 32(3) —
 1. the Councillor's allowance is withheld until the Councillor has completed induction training and made the written declaration.
- 2) A Councillor is entitled to receive any allowance that is withheld under subsection (1) after the Councillor —
 - a) Takes or completes Councillor induction training as required by section 32(1); and
 - b) Makes a written declaration as required by section 32(3).

12.1 Governance Matters Report for 22 July 2024**Executive Summary**

- Upon taking the Oath of Office on 19 January 2024, Cr Aitken has participated in extensive Induction Training over the past six months, both in-person training sessions and online eLearning modules.
- In-person training sessions were provided under the supervision of the Manager Governance. On-line modules were provided through the eLearning section in the Councillor Portal.
- Cr Aitken completed the Induction training including the mandatory modules within the required six months and signed the written declaration by the commencement on this meeting (**Attachment E**).

Endorsement of Instrument of Appointment and Authorisation

- Section 147(4) of the *Planning and Environment Act 1987* (P&E Act) require that officers must be formally appointed as an 'authorised officers' to enable them to administer and enforce the provisions of the P&E Act.
- Council's lawyers have reviewed the provisions of these Acts in regards to the delegation of powers and are of the view that Council resolution is required to authorise officers under this Act.
- Instrument of Appointment and Authorisation for the officer has been drafted and is attached at **Attachment F (confidential)** of this report. The Instrument is based on the template provided by the Maddocks Delegations and Authorisations Service.
- It is recommended that Council appoints the officer listed in the attached Instrument of Appointment and Authorisation as Authorised Officers under *Planning and Environment Act*, and authorises the Instrument to be signed and sealed.

Administrative Corrections to the 2024-2028 Budget

- Notes, at its 3 June 2024 Meeting, Council adopted the 2024-2028 Budget, where it resolved that Council:

2.2 Resolves that each differential rate will be determined by multiplying the Capital Improved Value of each rateable land (categorised by the characteristics described in paragraph 2.3 of this Resolution) by the relevant percentages indicated in the following table:

- *A general rate of 0.148460% for all rateable Retirement Village Land;*

There was a minor administrative error in the above resolution with the determination of the differential rate for Retirement Village Land being quoted incorrectly in the Council Report. It should have been quoted as 0.148640% for all rateable Retirement Village Land.

- Please note the draft budget that went out for consultation and the budget document attached to the agenda of the 3 June 2024 meeting had the correct differential rate published. The error related specifically to a typographical error in the Council report. There is no change to the value of rates being raised and there is no impact on the amount ratepayers get charged.
- It is recommended that Council resolves to make the following administrative correction to the 2024-2028 Budget to reflect the correct differential rate for Retirement Village Land which aligns to the Published Budget documentation:
 - *A general rate of 0.148640% for all rateable Retirement Village Land;*
- Notes an administrative error occurred where, at its 3 June 2024 Meeting, Council adopted the 2024-2028 Budget for the below item:

12.1 Governance Matters Report for 22 July 2024**Executive Summary**

3.15. *Commits \$30,000 for design of an additional netball court at the Frankston Bombers Netball Club in 2024/2025 to be funded from Lighting Frankston Plan Implementation – Circuit Path Illumination Pilot Program.*

- It is noted that the budget allocation is for the additional netball court at the Frankston Dolphins Football Netball Club. It is recommended that Council endorses the following correction to the 2024-2028 Budget:

3.15. *Commits \$30,000 for design of an additional netball court at the Frankston Dolphins Football Netball Club in 2024/2025 to be funded from Lighting Frankston Plan Implementation – Circuit Path Illumination Pilot Program.*

Inclusion Action Plan Update

- Council undertakes a variety of community strengthening activities aimed at building capacity, resilience, and well-being across diverse population groups. These activities are informed and prioritised through extensive community consultations, resulting in targeted strategies and standalone action plans.
- Due to the overlapping nature of this work and its stakeholders, there is a risk of duplication when developing separate plans. This issue is not unique to Council, and so there has been a growing practice within the Local Government sector to move away from developing a broad range of stand-alone action plans, and instead to take a more holistic and integrated approach of consolidating these plans into one comprehensive Inclusion Action Plan.
- The development of an integrated Inclusion Action Plan that identifies intersecting areas and includes targeted actions for specific population groups moving forward would integrate priorities and actions for focus areas such as disability, culturally and linguistically diverse communities, LGBTQIA+, and positive ageing. Importantly, it is a legislative requirement under the Disability Act 2006 for councils to develop and maintain a current Disability Action Plan.
- It is recommended that Council comply with this requirement via a renewed approach of integrating action plans through the development of an Inclusion Action Plan from July 2025. Council officers will brief Councillors in April 2025 as a heads up.

Response to Petition - Increasing the priority of the Frankston Bowling Club all weather canopy project

- At its Meeting on 22 April 2024, Council received a petition requesting Council to increase the priority of the Frankston Bowling Club all weather canopy project, containing 575 signatures.
- In consideration and response to this petition, at its 3 June 2024 meeting, Council adopted the 2024-2028 Budget where it resolved that Council:

6. Commits the following priority project, recognising this may require future discretionary projects be deferred or cancelled as part of developing the 2025/26 Budget and next Long Term Infrastructure Program, to ensure asset renewal targets are not compromised and Council's financial position is not adversely impacted:

- *A capped \$200,000 grant towards the dome roof at Frankston Bowls Club, recognising the current \$600,000 State government funding towards the project, and conditional on the Federal government funding the balance of the total project cost;*

12.1 Governance Matters Report for 22 July 2024**Executive Summary**

- Following the endorsement of this project in the budget, Officers notified the head petitioner accordingly.

Delegation to Canberra

- At its Meeting on 13 May 2024 Council resolved the following:
 - [Councillor Interstate Travel](#)
 - *3. Notes the Mayor will be travelling to Canberra for key advocacy associated with the Greater South East Melbourne Group Advocacy delegation from 26 to 27 June 2024, at no cost to Council.*
- On 26 and 27 June 2024 Frankston City Mayor Nathan Conroy and Chief Executive Officer Phil Cantillon attended a delegation to the Australian Parliament House in Canberra alongside the Greater South East Melbourne group of Councils (GSEM).
- GSEM includes the shires of Cardinia and Mornington Peninsula, and the cities of Casey, Frankston, Greater Dandenong, Kingston, Knox and Monash.
- The GSEM delegation included Mayor and CEO representatives from all eight membership Councils, GSEM Board and administrative members and representatives of key local industry, business, education and community leaders such as Peninsula Health, Chisholm University and others.
- The GSEM delegation met with Ministerial and Shadow Ministerial representatives relating to key advocacy areas of the group, including:
 - Representatives for the Hon Richard Marles MP, Deputy Prime Minister and Minister for Defence;
 - Representatives for the Hon Tony Burke MP, Minister for Employment and Workplace Relations and Minister for the Arts;
 - Representatives for the Hon Chris Bowen MP, Minister for Climate Change and Energy;
 - Senator the Hon Jane Hume
 - The Hon Ed Husic MP, Minister for Industry and Science;
 - The Hon Catherine King MP, Minister for Infrastructure, Transport, Regional Development and Local Government;
 - The Hon Jason Clare MP, Minister for Education;
 - The Hon Sussan Ley MP, Deputy Leader of the Opposition.
- While in Canberra, the GSEM delegation also hosted an event at Parliament House to officially launch the GSEM Jobs and Skills Roadmap (**Attachment G**). The Roadmap, launched by the Hon Brendan O'Connor MP, Minister for Skills and Training, outlines the solutions needed to ensure the fastest growing region in Australia's fastest growing city creates the jobs and provides the skills necessary for residents have the well-paid and secure work they need. The event was very well attended across both major political parties, highlighting GSEMs strong bipartisan approach, and has been highly praised by Ministers and Shadow Ministers.
- In addition to the GSEM arrange meetings, Frankston City Mayor and CEO met with Australia Post representatives to discuss the planned closure of the Wells Street (Central Frankston) Post Office and with the Minister for the National Disability Insurance Scheme the Hon Bill Shorten MP to discuss alleged fraudulent NDIS providers and regulations required for Supported Independent Living facilities;

12.1 Governance Matters Report for 22 July 2024**Executive Summary**

- Australia Post - it was agreed that further discussions between Australia Post and Frankston City Council occur to consider alternative options for retaining essential Australia Post services within Frankston's city centre;
- NDIS - Council raised a number of alleged incidents occurring locally with some NDIS providers unfairly targeting vulnerable community members while requesting regulatory changes for Supported Independent Living facilities. The Minister highlighted a number of NDIS reforms currently underway and planned to address these concerns.

Financial Impact

There are no financial implications with this report.

Consultation**1. External Stakeholders**

Nil.

2. Other Stakeholders

Council Officer Representatives for external and internal committees were consulted to provide highlights of activities for the committee meetings that occurred in the previous quarter.

Analysis (Environmental / Economic / Social Implications)

There are no environmental or social implications associated with this report.

Legal / Policy / Council Plan ImpactCharter of Human Rights and Responsibilities

The Charter of Human Rights and Responsibilities has been considered in the preparation of this report but is not relevant to the content of the report.

Legal

Nil.

Policy Impacts

Nil.

Officer's Declaration of Interests

Council officers involved in the preparation of this report have no Conflict of Interest in this matter.

Gender Impact Assessments

No gender impact assessment was required. This initiative has no impact on our community or the public.

Officer's Declaration of Interests

Council officers involved in the preparation of this report have no Conflict of Interest in this matter.

Risk Mitigation

There are no risks identified with this report.

12.1 Governance Matters Report for 22 July 2024**Executive Summary****Conclusion**

The purpose of this report is to brief, update and seek Council's endorsement on various governance matters listed above.

It is recommended that Council endorses the governance matters raised in this report.

ATTACHMENTS

- Attachment A: [↓](#) Notice of Motion Report - 2024 - CM09 - 22 July 2024 Cost Summary
- Attachment B: [↓](#) Notice of Motion Report - 2024 - CM09 - 22 July 2024 Status Update
- Attachment C: [↓](#) Completed Actions since 24 June 2024 Council Meeting
- Attachment D: [↓](#) Quarterly Update on Committee Activities - April-June 2024
- Attachment E: [↓](#) Written declaration on completion of mandatory induction training - Cr Aitken
- Attachment F: s11A - Instrument of appointment & authorisation by CEO.pdf - **CONFIDENTIAL**
- Attachment G: [↓](#) GSEM Jobs and Skills Roadmap June 2024

Notice of Motion Report - 2024 - CM09 - for the 22 July Council Meeting (A5283542).XLSX

Notice of Motions Estimated Costs By Councillor 2020 - 2024 Term

Councillor	Number	Primary Cost	Ongoing Cost	Outcome Cost	Urgent Business
Cr Glenn Aitken	1	\$0	\$0	\$0	0
Cr David Asker	1	\$0	\$0	\$0	2
Cr Sue Baker	2	\$500	\$0	\$0	3
Cr Kris Bolam	12	\$10,000	\$0	\$0	1
Cr Nathan Conroy	1	\$0	\$0	\$0	0
Cr Claire Harvey	7	\$7,155	\$0	\$0	2
Cr Brad Hill	4	\$0	\$0	\$0	3
Cr Liam Hughes	2	\$800	\$0	\$0	1
Cr Steven Hughes	3	\$0	\$0	\$0	0
Cr Suzetter Tayler	1	\$0	\$0	\$0	1
TOTAL	35	\$ 18,455	\$ -	\$ -	13

NOTE: There may be occasions when the Ongoing Cost is ALSO reported under Outcome costs: this is on the occasions when the ongoing cost has a KNOWN FINITE total. This is to note for budgeting purposes (for eg: \$121,000 total over 11 years = \$11,000 budgeted per year). Notes/comments are provided in the report when this occurs

Item 12.1 Attachment B: Notice of Motion Report - 2024 - CM09 - 22 July 2024 Status Update

Notice of Motion Report - 2024 - CM09 - for the 22 July Council Meeting (A5283542).XLSX

Meeting Date	Item No	NOM Title and Councillor	Council Resolution	Responsibility	Comments	Cost Summary
2-Oct-23	14.1	2023/NOM6 - Accountability Transparency Reform (ATR) III Cr Bolam	<p>Council Decision Moved: Councillor Bolam Seconded: Councillor Asker That Council: Transparency Hub</p> <p>1. Notes the progress on Council's website redevelopment to improve public transparency and access to information, which notably features its Transparency Hub that offers streamlined access to selected Council data, stories, reports, and curated information and allows the community to explore and visualise data, providing an overview of Frankston City Council's decision-making and activities;</p> <p>2. Notes that: a) The Transparency Hub already includes valuable resources such as External grants received and applied and reduction in Closed Council items, which to note are also reported in the CEO's quarterly report (public version attachment); b) Council's redeveloped website already publishes its Contractor Code of Conduct with access to information about tenders; c) Refinements are occurring relative to the existing CEO's Public Report, with aspects within this report to be transferred to the Transparency Hub, where agreed upon by Council; 3. Receives a briefing and is engaged on planned future stages for further development of the Transparency Hub in anticipation of a report to Council by no later than December 2023 Council meeting. 4. Notes the following is to occur, no later than December 2023: a) The streamlining of Council's website to improve the community's ease of access to the Transparency Hub (via direct hyperlinks or related measures); b) The following components are added to the Transparency Hub in the spirit of good governance, transparency and accountability: i. Council's developer/lobbyist register, subject to first addressing any privacy or legislative requirements; ii. Council's developer contribution register; iii. A register of any contracts (including consultancies) awarded both above and within financial delegation, along with contract exemption and additional delegations afforded to the CEO; iv. A register of any external submissions formally endorsed and submitted by the Council; v. A summary of broader Freedom of Information (FOI) outcomes achieved, which is currently reported annually to Council, subject to any privacy, confidentiality and legislative requirements; vi. A register of petitions received taking into account any privacy, confidentiality and related requirements; vii. Council's legal expenses summary taking into account any privacy, confidentiality and related requirements; viii. Council's interstate travel register, for Councillors; ix. Councillors' Conduct matters summary, bringing it out of the CEO's quarterly report (confidential attachment) but taking into account any confidential or legislative requirements;</p>	<p>Brianna Alcock / 27 Jun 2024 Fiona McQueen / Tammy Ryan / William Costello</p>	<p>1. Complete. Council noted progress to improve public transparency and access to information., 2. Complete. Council noted the Transparency Hub already includes information also reported in the CEO's quarterly report., 4. In progress. The Lobbyist and Developer Register has been assessed and cannot be released publicly as it is not compliant with privacy law. Changes will be made to the register. Records and registers on Council's website have been centralised under documents available for public inspection., 5. Complete. A register and workflow have been established for registers on Council's website and the Transparency Hub to be updated quarterly., Council's Independent Internal Reviews, 6.a) Complete. Noted., b) Complete. Noted, c) Complete. Report presented at the 20 November Council Meeting., Director recommends closure of this completed action. 7. Complete. Report prepared for the 11 December Council Meeting. Director recommends closure of this completed item. 8. Completed. In November 2023 Director recommended closure of this completed item as a report was presented to a Councillor Briefing 29 November 2023. 9. Complete. A report was presented to Council at its meeting in December 2023.</p>	
22-Apr-24	14.1	2024/NOM11 - Strengthening the voice of young people within Council Cr Bolam	<p>Council Decision Moved: Councillor Bolam Seconded: Councillor Aitken</p> <p>Given the importance of the work that Council undertakes to support local young people, Council seeks that a report be provided focussing on two key areas of delivery: a) How the role and functions of the Youth Council can be further enhanced to strengthen the voice of young people within Council. The report is to explore a simple model that considers: • The Frankston Youth Council providing updates and recommendations to Council; • Representative(s) of the Youth Council to attend, alongside the Mayor, relevant major civic events to be determined; • The Youth Council engaging with school-based student councils across the Frankston municipality with support from Council; • Youth Council Representative(s) to meet with the Mayor periodically to discuss youth based issues; • At the end of their term, the Youth Council is to report to Council on their activities and any recommendations. b) The current outreach work being undertaken by Frankston Youth Services, with specific reference to: • Engagement with schools throughout the municipality, and the assistance provided to students that may be experiencing exceptional hardships, challenges and are at risk of becoming disengaged; • The outreach work and partnerships being undertaken to support young people who have become disengaged from educational, vocational and/or employment settings; • Identifying any opportunities to continually raise the profile of these services within the secondary schools network in order to maximise the benefits for young people who are in need of support. The report is to be provided at the August 2024 Council Meeting.</p>	<p>Fiona McQueen</p>	<p>01 Jul 2024 1.A Noted, and will be included in a report in August 2024, 1.B Noted, and will be included in a report in August 2024</p>	
24-Jun-24	14.1	2024/NOM13 - Council Response to the Rising Cost of Living Cr Conroy	<p>Council Decision Moved: Councillor Conroy Seconded: Councillor Aitken</p> <p>1. Council acknowledges the difficult social and economic conditions resultant from the rising cost of living; 2. During the 2025-26 annual budget process, Council are briefed on the following matters for consideration: a) The implementation of a rate freeze, without impacting essential community services or creating an infrastructure renewal backlog; b) The suspension of interest on outstanding rates for up to six months; c) The extension of instalment payments for rates; d) The implementation of a fees and charges freeze that provides a positive impact on Frankston City Council residents and business owners i.e. resident permit applications, business permit applications, pet registration etc; e) Explore the contestability of Council refusing to collect state based levies and charges on behalf of the State Government, where it has the power to do so; f) Advocacy and representation to the State Government seeking a meaningful reduction, or freeze, of the Victorian land tax and vehicle registration; g) Council to resource external providers for a twelve month rollout of specific, free services to Frankston residents and business owners that could range from financial planning, accountancy services and financial literacy mentoring/seminars; h) Reinforcing to both the State and Federal governments that any future infrastructure projects will be based on reciprocal funding where each tier of government will provide near equal funding portions. Where this cannot be achieved, to avoid Frankston ratepayers from being short-changed, Council will not enter into funding agreements for projects where funding is not equitable; and i) Review of Council's Financial Hardship Policy and recommend refinements that reflect the current environment. Carried</p>	<p>Caroline Rediy</p>		
24-Jun-24	14.2	2024/NOM14 - Wells Street Post Office Cr Aitken	<p>Council Decision Moved: Councillor Aitken Seconded: Councillor Harvey</p> <p>That Council: 1. Notes Australia Post has undertaken a review of the Wells Street Frankston Post Office (also known as Frankston Central Post Shop) and as a result of this review, has subsequently made a decision to close this location, withdrawing all personal, business and retail postal services; 2. Notes Frankston's Metropolitan Activity Centre (FMAC) will create more development and activation in the city centre, including a large increase in housing, it is therefore essential there is a centrally located post office to support the activities of city residents and a developed businesses area is retained; 3. Notes the State Government's announcement on 16 June 2024, which set a target of 36,000 new dwellings in Frankston City by 2051, significantly exceeding initial estimates. Due to limited availability of land for development, this housing growth will need to be concentrated on development and major housing projects in the Frankston city centre. This population increase will heighten the demand for essential services, such as a central post office in the city centre; 4. Notes and provides support to the Frankston Business Collective's (FBC) online Change.org petition launched on 12 June 2024, highlighting the closure of the Frankston Central Post Office and the negative effect that decision will have on Frankston's city centre. The petition information will be distributed in community spaces such as libraries, PARC and community centres; 5. Notes community concerns and sentiment expressed online, which highlight key factors such as location accessibility for those without a vehicle, wheelchair accessibility, the strain this will place on remaining post office branches, and the difficulties this will create for city centre businesses utilising post office services; 6. Acknowledges the upcoming meeting occurring with Australia Post and involving the Federal Member for Dunkley, Ms Jodie Belyea MP, the Mayor and the Chief Executive Officer with the intention to seek a positive resolution for the community. Following this meeting Council will write to Australia Post Group Chief Executive Officer and Managing Director, Mr Paul Graham, alongside the Minister for Finance and the Minister for Communications, Urban Infrastructure, Cities and the Arts, seeking their formal support in retaining essential postage services; 7. Communicates the FBC online petition regarding the closure of the Frankston Central Post Office and shares community concerns through Council's communications channels, including Facebook; and 8. Encourages the community to attend a forthcoming rally planned outside the Wells Street Post Office to show the depth of its support for retention of the post office in Frankston. Carried</p>	<p>Fiona McQueen</p>	<p>03 Jul 2024 1. Noted., 2. Noted, 3. Noted., 4. Noted. Council has promoted the Frankston Business Collective's (FBC) online Change.org petition on social media a number of times since it was established. Hard copy posters promoting the petition were supplied to community spaces such as libraries, PARC and community centres., 5. Noted., 6. Completed. A meeting with Australia Post CEO and Government Affairs Advisor occurred on 26 June 2024 alongside Federal Member for Dunkley Ms Jodie Belyea MP. Correspondence to Australia Post, Federal Minister for Finance and Federal Minister for Communications, Urban Infrastructure, Cities and the Arts has been prepared, seeking their formal support in retaining essential postage services., 7. Completed. Council has promoted the Frankston Business Collective's petition on social media a number of times since and in a media release. Hard copy posters promoting the petition were supplied to community spaces such as libraries, PARC and community centres., 8. Completed., Director recommends closure of this completed action</p>	

Action Sheets Report **DATE FROM:** 9/11/2020 **DATE TO:** 10/07/2024
Printed: Wednesday, 10 July 2024 2:02:25 PM
CLOSED / COMPLETED

MEETING DATE ITEM NUMBER	Title	MOTION	RESPONSIBLE DIVISION & OFFICER	COMMENTS	DATE COMPLETED
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23/10/2023	14.2	2023/NOM9 - Federal Funding in Abeyance 2023 Council Decision Moved: Councillor Bolam Seconded: Councillor Tayler That Council renews its advocacy for the \$225 Million funding committed by the former Liberal Federal Government in 2019 for the proposed rail electrification extension past Frankston Metropolitan Activity Centre by: <ol style="list-style-type: none"> 1. Noting the importance of \$225 million in funding for the Dunkley and Flinders electorates for alternative transport projects. 2. Noting the bipartisan Federal support for this project, spanning from 2018 until the recent 90 day infrastructure review 3. Writing to the new Victorian Premier, the Hon Jacinta Allan MP, and all relevant members, to support the retention of the \$225 million to remain for improved transport outcomes in the City of Frankston and Mornington Peninsula Shire; 4. Highlighting the regional economic and visitor importance of Frankston City and the Mornington Peninsula, which is currently impacted by the lack of a vibrant, well connected and sustainable transport network (roads, public transport, walking and cycling) servicing much of these areas, noting: <ol style="list-style-type: none"> a. Frankston's position as a Metropolitan Activity Centre with an expected population growth of 18,000 people by 2041 and which services a population across these two municipalities expected to reach 340,000 in less than 20 years; b. Frankston's strategic planning work, including the Integrated Transport Strategy and Housing Strategy – all closely aligned to the Frankston Metropolitan Activity Centre Structure Plan and the broader intentions of the State Government's recently announced Housing Statement; c. Mornington Peninsula's position as Victoria's top regional tourist destination (second only to Melbourne) with 8.2 million visitors in 2022; d. If rail extension is not an option there are numerous other transport improvements (for example, roads, shared user paths, Nepean Hwy upgrades) necessary in Frankston and Mornington Peninsula; 5. Engage the Mornington Peninsula Shire Council and the Committee for Greater Frankston and Mornington Peninsula to get behind this advocacy, offer their support and express their views. 6. <ol style="list-style-type: none"> a. That Council notes that the Mayor is due to meet with Peta Murphy, the Federal Member for Dunkley, to discuss potential local alternative uses for a portion of the \$221M if the Federal Government ultimately determines that the electrification effort is no longer deemed viable; and b. That a verbal update is to be provided by the Mayor at the December Ordinary Meeting on the outcome of this discussion. 	Customer Innovation and Arts McQueen, Fiona	02 Nov 2023 2:21pm Moro, Jacqueline 1, 2, 3, 4 a, b, c & d - In progress. Draft letter currently under review prior to signing., 5 - In progress., 6 a & b - Completed - discussed at the 20 October 2023 meeting with Federal Member for Dunkley Peta Murphy MP and State Member for Frankston Paul Edbrooke MP. No need for a Mayor update at the December Council Meeting as all Councillors were in attendance and meeting notes to all Councillors distributed. 07 Dec 2023 3:02pm Moro, Jacqueline 1, 2, 3, 4 a, b, c & d - In progress. Draft letter on hold as this NOM action was superseded by the 20 November 2023 Council Meeting item 12.10 Advocacy Priorities Refresh for 2023-2024 action number., 8. Receives a report at the January 2024 Council Meeting on a range of transport initiatives within Frankston City and the Mornington Peninsula suitable for proposing to the Federal Government for consideration in retaining partial or full funding from the long-standing \$225 million electrification of the Stony Point rail line beyond Frankston Station. Officers will re-visit this letter following the January 2024 Council Meeting. 06 Feb 2024 4:42pm Moro, Jacqueline Completed. Draft letter on hold as this NOM action was superseded by the 20 November 2023 Council Meeting item 12.10 Advocacy Priorities Refresh for 2023-2024 action number., 8. Receives a report at the January 2024 Council Meeting on a range of transport initiatives within Frankston City and the Mornington Peninsula suitable for proposing to the Federal Government for consideration in retaining partial or full funding from the long-standing \$225 million electrification of the Stony Point rail line beyond Frankston Station. Officers will re-visit this letter following the January 2024 Council Meeting. 22 May 2024 3:58pm Thomson, Kristen 3 & 4 a-d – Completed. This NOM action was superseded by the 20 November 2023 Council Meeting item 12.10 Advocacy Priorities Refresh for 2023-2024 and the 29 January 2024 Council Meeting item 12.4 Transport initiatives for submission to Federal Government., 5. Completed. Council is still actively engaging with MPSC on a combined transport initiatives ask to the Federal Government., 6 a & b – Completed. The alternative transport initiatives proposal was discussed with Federal Member for Dunkley Peta Murphy MP on 30 October 2023 where all Councillors attended, resulting in no requirement to report back to Council. 12 Jun 2024 5:31pm Craig, Tenille - Completion Completed by Craig, Tenille on behalf of McQueen, Fiona (action officer) on 12 June 2024 at 5:31:23 PM - As per Council Resolution, at its 3 June 2024 Meeting, this action is closed.	12/06/2024
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11/12/2023	14.1	2023/NOM10 - Graffiti Advocacy and Invitation Council Decision Moved: Councillor Asker Seconded: Councillor Hill That Council: <ol style="list-style-type: none"> 1. Notes recent correspondence in November 2023 to the Victorian Government highlighting the desire of Council to work collaboratively on improving the presentation and safety of a number of key road gateways across Frankston City. This correspondence reiterated the period of exciting transformational change currently underway in Frankston City, with Council increasingly focused on beautification and maintenance of its assets to enhance the overall presentation of our city; 2. Notes that prompt response times to community and Council reports of graffiti, overgrown landscaping, poor lighting and cleanliness of road reserves (rubbish removal), will positively impact community sentiment and reputation of both Council and the Victorian Government; 3. Notes particular state government owned sites identified by Council include the cleanliness and presentation of Nepean Highway, Frankston-Cranbourne Road, Beach Street/McMahons Road underpass, Quinn Link Overpass Precinct, Frankston Freeway, Frankston-Flinders Road/Moorooduc Highway, Ballarto Road and Dandenong-Frankston Road; 	Customer Innovation and Arts McQueen, Fiona	19 Jan 2024 12:20pm Moro, Jacqueline	26/06/2024
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Action Sheets Report		CLOSED / COMPLETED		Date From:	Date To:	Printed: Wednesday, 10 July 2024 2:02:25 PM	
MEETING DATE ITEM NUMBER	Title	MOTION	RESPONSIBLE DIVISION & OFFICER	COMMENTS	DATE COMPLETED		
		<p>4. Notes that, in addition to numerous correspondence to the Victorian Government throughout 2021-2023, Council has raised concerns with maintenance of state government owned road and gateway infrastructure with the Department of Transport and Planning (DTP), however have been unsuccessful in receiving a positive resolution to the increased graffiti and maintenance concerns on DTP assets;</p> <p>5. Subsequent to this recent correspondence Council is to request a meeting with the relevant Victorian State Ministers, including the Premier, to discuss opportunities for key state government owned road gateway precinct beautification, improvements and maintenance to address growing concerns around graffiti, landscaping, lighting, cleanliness and other aspects. This invitation will include an offer to visit Frankston City to meet in person and possibly a site visit; and</p> <p>6. Prepares a motion for consideration at the May 2024 Municipal Association of Victoria State Council seeking a commitment from the Victorian Government to deliver improvements and increased maintenance of state government owned road gateway infrastructure assets (roads, road reserves, under/overpasses, sound walls).</p> <p style="text-align: center;"><u>Carried Unanimously</u></p>		<p>Complete. 1. Noted recent correspondence in November 2023 to the Victorian Government highlighting the desire of Council to work collaboratively on improving the presentation and safety of a number of key road gateways across Frankston City. This correspondence reiterated the period of exciting transformational change currently underway in Frankston City, with Council increasingly focused on beautification and maintenance of its assets to enhance the overall presentation of our city;, Complete. 2. Noted that prompt response times to community and Council reports of graffiti, overgrown landscaping, poor lighting and cleanliness of road reserves (rubbish removal), will positively impact community sentiment and reputation of both Council and the Victorian Government;, Complete. 3. Noted particular state government owned sites identified by Council include the cleanliness and presentation of Nepean Highway, Frankston-Cranbourne Road, Beach Street/McMahons Road underpass, Quinn Link Overpass Precinct, Frankston Freeway, Frankston-Flinders Road/Moorooduc Highway, Ballarto Road and Dandenong-Frankston Road;, Complete. 4. Noted that, in addition to numerous correspondence to the Victorian Government throughout 2021-2023, Council has raised concerns with maintenance of state government owned road and gateway infrastructure with the Department of Transport and Planning (DTP), however have been unsuccessful in receiving a positive resolution to the increased graffiti and maintenance concerns on DTP assets;, In Progress. 5. Subsequent to this recent correspondence Council is to request a meeting with the relevant Victorian State Ministers, including the Premier, to discuss opportunities for key state government owned road gateway precinct beautification, improvements and maintenance to address growing concerns around graffiti, landscaping, lighting, cleanliness and other aspects. This invitation will include an offer to visit Frankston City to meet in person and possibly a site visit; and, In Progress. 6. Prepares a motion for consideration at the May 2024 Municipal Association of Victoria State Council seeking a commitment from the Victorian Government to deliver improvements and increased maintenance of state government owned road gateway infrastructure assets (roads, road reserves, under/overpasses, sound walls).</p> <p>06 Feb 2024 4:45pm Moro, Jacqueline</p> <p>In Progress. 5. Subsequent to this recent correspondence Council is to request a meeting with the relevant Victorian State Ministers, including the Premier, to discuss opportunities for key state government owned road gateway precinct beautification, improvements and maintenance to address growing concerns around graffiti, landscaping, lighting, cleanliness and other aspects. This invitation will include an offer to visit Frankston City to meet in person and possibly a site visit; and, , Completed. 6. Motion prepared for consideration at the May 2024 Municipal Association of Victoria State Council seeking a commitment from the Victorian Government to deliver improvements and increased maintenance of state government owned road gateway infrastructure assets (roads, road reserves, under/overpasses, sound walls).</p> <p>22 May 2024 3:48pm Thomson, Kristen</p> <p>5. Completed. Meeting requests with relevant Ministers and local Members of Parliament were sent. No response to these requests has been received to date., 6. Completed. A motion for MAV State Council was prepared and presented at the 17 May 2024 State Council meeting.</p> <p>12 Jun 2024 5:26pm Craig, Tenille - Completion</p> <p>Completed by Craig, Tenille on behalf of McQueen, Fiona (action officer) on 12 June 2024 at 5:26:00 PM - As per Council Resolution, at its 3 June 2024 Meeting, this action is closed.</p> <p>12 Jun 2024 5:26pm Craig, Tenille - Notification</p> <p>Babbar, Shweta (first authoriser) notified by Craig, Tenille on behalf of McQueen, Fiona (action officer) on 12 June 2024 at 5:26:22 PM, Sent to Shweta Babbar and Jacqueline Moro for authorisation, Notified by Tenille Craig</p> <p>26 Jun 2024 2:28pm Moro, Jacqueline - Authorisation</p> <p>Authorised by Moro, Jacqueline (delegate) on behalf of Babbar, Shweta (first authoriser) on 26 June 2024 at 2:28:11 PM, Authorised by Jacqueline Moro on behalf of Shweta Babbar, Notification sent to Shweta Babbar, Fiona McQueen and Tenille Craig, Note: Shweta approved closure of this completed action</p>			
29/01/2024	12.5	2019 Work Ready Program update	<p>Council Decision</p> <p>Moved: Councillor Hill</p> <p>That Council:</p> <p>1. Notes the success and impact of the Work Ready program;</p> <p style="text-align: center;">Seconded: Councillor Harvey</p>	<p>Customer Innovation and Arts</p> <p>Upson, Nathan</p>	<p>06 Feb 2024 12:21pm Moro, Jacqueline</p> <p>1. Complete. Noted the success and impact of the Work Ready program;, 2. In Progress. The review and future development of the program is scheduled for the 3 June 2024 Council meeting; and, 3. Complete. Graduation ceremonies to involve Councillors commencing in 2024.</p> <p>08 Mar 2024 1:35pm Moro, Jacqueline</p>	26/06/2024	



Quarterly Update on Committee Activities April – June 2024

Committee Name:	Frankston Suburban Revitalisation Board	
Date of Meeting:	6 June 2024	
Councillors in Attendance:	Mayor Cr Nathan Conroy	
Council Officers in Attendance: <i>(please specify only the title of the officer)</i>	Phil Cantillon, Chief Executive Officer Shweta Babbar, Director Customer, Innovation and Arts Angela Hughes, Director Communities Fiona McQueen, Manager Community Relations Coordinator Advocacy and Strategic Partnerships Business Support Officer	
Other Attendees: <i>(please specify only the title & organisation of the attendee)</i>	Paul Edbrooke, State Member for Frankston, Parliament of Victoria; CEO, Peninsula Health; Managing Director, South East Water; Dean of Health Sciences, Monash University; CEO, Chisholm Institute; Interim CEO, Frankston Business Collective; CEO, Peninsula Community Legal Centre; Centre Manager, Vicinity Centres – Bayside; Simon Waller Live representative; Senior Project Officer, Suburban Revitalisation; Manager, Suburban Revitalisation; Electorate Officer, Office of Paul Edbrooke MP	
Responsible Directorate:	Customer, Innovation and Arts	
Matters considered		
Title/heading of Item	Brief highlights of the matter discussed	Declaration of Conflict of Interest, if any
Welcome	Overview of general Board administrative matters including agreement of previous meeting minutes and declarations of conflicts of interest. Acknowledgement of new member Bernadine Geary representing the Frankston Business Collective as Interim CEO.	None
Projects	Summary of work underway or in planning by Council contributing towards the revitalisation of Frankston’s city centre, including:	None

	<ul style="list-style-type: none"> • FCC commitment to new vision for Frankston City and emphasis on FSRB collaboration and role in achieving new vision; • Conversations between Council and Department of Transport and Planning on strategic work undertaken by FCC; • Frankston Metropolitan Activity Centre Structure Plan guiding the look, feel and function of city centre; • Housing Strategy (FCC) and Housing Statement (Vic Gov) linked to FMAC Structure Plan; <p>Young Street Precinct issues and opportunities being actioned by FCC and to be considered further by Board.</p>	
New Board member	Discussion on the opportunity to include a member from Victoria Police on FSRB with the aim of enhancing collaboration to address community safety concerns.	None
Vision Workshop	Board members explored the key facets of a successful and vibrant city, elements that may assist in developing the new vision of the Board and the role of the Board in achieving this new vision.	None
General Updates	<p>Board members provided updates of relevance from their respective organisations:</p> <ul style="list-style-type: none"> • Peninsula Health - 5-year strategic plan launched, acknowledgement of Board member Felicity Topp resignation; • State Government - Housing Statement and impending announcement, feedback from Premier visit to Frankston City very positive about transformation achieved to date; 	None



	Office of Suburban Development - wrapping up program funding and changes to staffing, with no impact to Board.	
Next Meeting date:	8 August 2024 (noting this date is flagged for potential rescheduling due to conflicting diary schedules)	





Quarterly Update on Committee Activities April – June 2024

Committee Name:	South East Councils Climate Change Alliance – Councillor Advisory Group (CAG) and Management Committee meetings	
Date of Meeting:	23 May 2024	
Councillors in Attendance:	CAG: Cr Clair Harvey, Cr Sue Baker Management Committee meetings: Mayor Conroy	
Council Officers in Attendance: <i>(please specify only the title of the officer)</i>	Phil Cantillon CEO, Climate and Sustainability Coordinator, Sustainable Education Officer	
Other Attendees: <i>(please specify only the title & organisation of the attendee)</i>	CAG: Cr Fiona Stitfold Bayside City Council, Cr Peter Martin City of Port Phillip, Cr Jeff Springfield Cardinia Shire Council, Cr Chris Hill City of Kingston, Cr Sarah Race Mornington Peninsula Shire Council, Cr Clark Martin Bayside City Council, Management Committee: Officers from Kingston City Council, Cardinia Shire Council, City of Casey, Mornington Peninsula Shire Council, City of Greater Dandenong, City of Port Phillip, Kingston City Council, Bayside City Council, Bass Coast Shire Council	
Responsible Directorate:	Infrastructure and Operations	
Matters considered		
Title/heading of Item	Brief highlights of the matter discussed	Declaration of Conflict of Interest, if any
Strategic Plan update	Update on Strategic Planning process to date, including presenting a summary of the revised version of the Strategic Plan 2024-28. It was noted, funding requests will remain unchanged.	
Advocacy activities	Summary of recent advocacy activities provided: - Canberra delegation, highly valuable activity, meeting with Ministerial officers, including a member of the opposition and the Department of Infrastructure & Planning.	

	<ul style="list-style-type: none"> - Government meetings with: Zoe Daniel with a focus on biodiversity and SECCCA's role in this space. Advisor of Catherine King's Office. - Other key meetings and conferences: GSEM Board meeting, GSEM Jobs & Skills Summit, Metro Melbourne Integrated Water Management Forum, Industrial Decarbonisation Summit, Impact X Climate Change Summit, DEECA Executive Director. - Submissions: Inquiry into Transition of Electric Vehicles – Victorian Greenhouse Alliance submission, National Adaptation Plan Issues paper - Victorian Greenhouse Alliance/MAV submission, Victorian Parliamentary Inquiry into Climate Resilience. 	
SECCCA Project updates	<ul style="list-style-type: none"> - Project updates provided for: Submission to Round two of Disaster Relief Fund, GSEM Net Zero Roadmap Implementation Plan under development, and Resilient Communities Project: Enhancing Community Resilience completed Frankston video's shown to group. 	
Next Meeting date:	1 August 2024	





Quarterly Update on Committee Activities April – June 2024

Committee Name:	Destination Event Working Group	
Date of Meeting:	13 June 2024	
Councillors in Attendance:	Mayor Cr Nathan Conroy, Cr David Asker	
Council Officers in Attendance: <i>(please specify only the title of the officer)</i>	Director Customer, Innovation and Arts Manager Arts & Culture Head of Festivals and Major Events Creative Destination Events Lead	
Other Attendees: <i>(please specify only the title & organisation of the attendee)</i>	Nil	
Responsible Directorate:	Customer, Innovation and Arts	
Matters considered		
Title/heading of Item	Brief highlights of the matter discussed	Declaration of Conflict of Interest, if any
Destination Event Attraction Program	Summary of results and feedback for the 2023-2024 event season. Recommendations from the EOI for 2024-2025.	None
Destination Events Strategy	Shared updates on the progress of the strategy and new event opportunities.	None
Next Meeting date:	December 2024	



Quarterly Update on Committee Activities April – June 2024

Committee Name:	Disability Access and Inclusion Committee (DAIC)	
Date of Meeting:	16/04/2024 – Special Meeting	
Councillors in Attendance:	Councillor Sue Baker	
Council Officers in Attendance: <i>(please specify only the title of the officer)</i>	Diversity and Inclusion Project Manager Coordinator Asset Planning	
Other Attendees: <i>(please specify only the title & organisation of the attendee)</i>	7 X DAIC Members' 2 X Engagement Representatives from Conversation Caravan	
Responsible Directorate:	Community Strengthening	
Matters considered		
Title/heading of Item	Brief highlights of the matter discussed	Declaration of Conflict of Interest, if any
Engagement for Community Vision 2040: Council plan, Assets Plan and Financial Plan	Conversation Caravan took the DAIC through the engagement for the Council Vision including plans Pillars and what services Council should focus same/more/less resources on.	
Next Meeting date:	14 May 2024	



Quarterly Update on Committee Activities April – June 2024

Committee Name:	Disability Access and Inclusion Committee (DAIC)	
Date of Meeting:	11/06/2024 -	
Councillors in Attendance:	None Apologies: Councillor Sue Baker	
Council Officers in Attendance: <i>(please specify only the title of the officer)</i>	Diversity and Inclusion Project Manager Community Development Project Manager	
Other Attendees: <i>(please specify only the title & organisation of the attendee)</i>	1 1 X DAIC Members IX MiLife Victoria Representative Community Members as Guests Speakers	
Responsible Directorate:	Community Strengthening	
Matters considered		
Title/heading of Item	Brief highlights of the matter discussed	Declaration of Conflict of Interest, if any
Guest Speaker: T21 Ambassador program: Boss For a Day	Guest speaker spoke about T21 Ambassador Program and his experiences as "Boss for A Day" at Frankston City Council	
Presentation from MiLife:	MiLife Informed DAIC about their plans for their new Work Link Program: supporting young people with disability gain work skills and connection before they leave school. They noted that they are currently seeking potential employer connections in community and also funding to support the program.	1 presenter from MiLife is also a Casual Organisational Representative DAIC Member
Previous Action Update	Outstanding questions from the DAIC were provided with a response, including update on actions for a DAIC identified accessibility Parking shortage in PARC/Chisholm area in Frankston.	1 Organisational Representative DAIC member represents Chisholm
DAIC News	Notified of Upcoming Recruitment in July	

	Informed new Volunteer Management System DAIC will use. Informed of requirements for Police Checks and WWCC for all volunteers.	
Quick Updates	Passed on Cr Bakers Written Update to DAIC Shared Current Council engagements and upcoming events. Members shared any relevant news they had.	
Next Meeting date:	13 August 2024	





Quarterly Update on Committee Activities April – June 2024

Committee Name:	Foreshore Advisory Committee	
Date of Meeting:	30 April 2024	
Councillors in Attendance:	Cr Brad Hill	
Council Officers in Attendance: <i>(please specify only the title of the officer)</i>	Coastal Policy and Planning Officer Coordinator Environmental Policy and Planning	
Other Attendees: <i>(please specify only the title & organisation of the attendee)</i>	6 out of 9 community committee members	
Responsible Directorate:	Communities	
Matters considered		
Title/heading of Item	Brief highlights of the matter discussed	Declaration of Conflict of Interest, if any
Port Phillip Bay Environmental Plan MERI evaluation	<p>The committee provided a joint response to the Port Phillip Bay Environmental Management Plan MERI evaluation survey for DEECA. Key priorities that required extra attention were identified as: nutrient and pollutants, litter and marine biodiversity.</p> <p>Overall, the activities in the above-mentioned areas have been found rather ineffective and indicated as such in the submitted response. Stewardship and the habitat and marine life goals have improved to a degree. The geographical diversity of EMP activities has also been found to be concentrated at more or less the same locations.</p>	
FCCR2100 project work plan and outcomes	<p>Coastal Planning and Policy Officer provided an update on Frankston City Coastal Resilience 2100 project.</p> <p>We are moving through Stage 1 – scoping and gap analysis</p> <p>The project will cover Stages 1 – 4 of the VRC framework building on the findings of the Port Phillip Bay Coastal Hazard</p>	

	Assessment and addressing locally relevant gaps/trends in the Stage 3 hazard assessment and Stage 4 vulnerability and risk assessment.	
Coastal updates	<p>The Coastal Policy and Planning Officer provided an update on:</p> <ol style="list-style-type: none"> 1. <i>Mornington Peninsula Beach cleaning</i> Mornington Peninsula Shire is starting a trial to move away from mechanical beach cleaning to purely manual. They'll have a contractor and are seeking comparison sites like Frankston that still use mechanical cleaning to undertake transects and compare litter and sea wrack loads. 2. <i>Port Phillip Bay Coastal Hazard Assessment</i> Summaries, data and technical reports can be accessed here: https://www.marineandcoasts.vic.gov.au/coastal-programs/port-philip-bay-coastal-hazard-assessment Council will use this regional data as the baseline for the FCCR2100 project that will introduce a local lens, identify and seek to address data and information gaps. 3. <i>Cliff Hazard Assessment</i> Recently released in April 2024. The committee has found it lacking as the assessment excluded almost a half of the Olivers Hill cliffs, part of which is an active landslip site. Access report and CoastKit layers: https://www.marineandcoasts.vic.gov.au/marinecoastal-management/coastal-erosion 4. <i>Other coastal business:</i> EarthCare removed 7630 North Pacific Sea-stars from Seaford in March Infrastructure upgrades: <ul style="list-style-type: none"> • Olivers Hill seawall maintenance scheduled between June and August this year. (DEECA) • Frankston Pier replacement of deteriorated piles complete. (Parks Vic) 	
General business	Expressions of Interest to backfill FAC seats. EOI ended on 27 th April, the committee agreed to extend the timeframe after only 2 submissions received to try and fill all 3 seats.	
Next Meeting date:	28 May 2024	





Quarterly Update on Committee Activities April – June 2024

Committee Name:	Foreshore Advisory Committee	
Date of Meeting:	28 May 2024	
Councillors in Attendance:	Cr Brad Hill	
Council Officers in Attendance: <i>(please specify only the title of the officer)</i>	Coastal Policy and Planning Officer Coordinator Environmental Policy and Planning Coordinator Urban Design Senior Landscape Architect	
Other Attendees: <i>(please specify only the title & organisation of the attendee)</i>	6 out of 12 community committee members	
Responsible Directorate:	Communities	
Matters considered		
Title/heading of Item	Brief highlights of the matter discussed	Declaration of Conflict of Interest, if any
Welcome to new members	Introductions of 3 new members to the committee.	
FCCR2100 project update	<p>The project is moving into Stage 2 – Values, vision and objectives. This stage will build on:</p> <ul style="list-style-type: none"> the extensive community consultation that has been done on the values, issues and opportunities paper the coast-wide and precinct-specific visions and priorities developed by the FAC for the CMMP <p>The committee split up into groups and worked through 4 questions focusing on introducing a coastal hazard/adaptation planning lens into the existing precinct visions and priorities.</p>	
General business	<ul style="list-style-type: none"> Healthy Waterways Strategy Information Session is on in June. Catchment Forums will kick off mid year – an opportunity for community groups and agency partners to meet in-person and collaborate on the priority actions identified in the mid-term 	

	review and inform the response. Will send an FAC representative there. <ul style="list-style-type: none">• Change of next meeting to a Thursday evening – no opposition Change of September meeting to the start of the month before the Council's care-taker period starts.	
Next Meeting date:	18 July 2024	





Quarterly Update on Committee Activities April – June 2024

Committee Name:	Major Projects Advisory Committee (MPAC)	
Date of Meeting:	27 May 2024	
Councillors in Attendance:	Mayor, Cr Nathan Conroy, Cr David Asker, Cr Sue Baker, Cr Kris Bolam, Cr Claire Harvey, Cr Brad Hill, Cr Glenn Aitken, Cr Suzette Tayler	
Council Officers in Attendance: <i>(please specify only the title of the officer)</i>	Chief Executive Officer, Director Corporate & Commercial Services, Director Communities, Director Infrastructure & Operations, Director Customer Innovation & Arts, Manager Operations, Manager Sustainable Assets, Manager Arts, Manager Capital Works Delivery, Manager City Futures, Manager Engineering Services, Manager Building Infrastructure, Manager Development Services, Manager Procurement, Property & Risk, Manager People & Culture, Manager Community Services	
Other Attendees: <i>(please specify only the title & organisation of the attendee)</i>	Nil	
Responsible Directorate:	Infrastructure and Operations	
Matters considered		
Title/heading of Item	Brief highlights of the matter discussed	Declaration of Conflict of Interest, if any
Councillor Projects of Interest – April 2024	<ul style="list-style-type: none"> • Project status changes. • Issues and comments. Projects / items discussed: <ul style="list-style-type: none"> ○ 14654 – Urban Forest Action Plan - Tree Planting on Major Roads ○ 14751 – Bridge Illumination Program - Lighting Frankston Plan Implementation ○ 14746 – Circuit Path Illumination Program - Lighting Frankston Plan Implementation ○ 14870 – Robinsons Road to Peninsula Link Trail Shared User Path 	None

	<ul style="list-style-type: none">○ 14861 – Wittenberg Reserve Shared User Path (Wittenberg Reserve to Peninsula Link Trail)○ 14899 – Non-Native Ornamental Trees○ 14813 – Peninsula Reserve Upgrade○ Request for Information from Councillor Bolam – 10 March 2024● Councillor direction required.	
Next Meeting date:	31 July 2024	





Quarterly Update on Committee Activities April – June 2024

Committee Name:	Reconciliation Action Plan Advisory Group	
Date of Meeting:	18 April 2024	
Councillors in Attendance:	Cr Sue Baker	
Council Officers in Attendance: <i>(please specify only the title of the officer)</i>	Coordinator Community Development Projects	
Other Attendees: <i>(please specify only the title & organisation of the attendee)</i>	Representatives from Bunurong Land Council Aboriginal Corporation	
Responsible Directorate:	Communities	
Matters considered		
Title/heading of Item	Brief highlights of the matter discussed	Declaration of Conflict of Interest, if any
Reconciliation Program Manager position and recruitment to the RAP Advisory Committee.	<ul style="list-style-type: none"> Discussion relating to current advertising for vacant position and difficulty in recruiting to it. 	Nil
Frankston City Council Reconciliation Action Working Group update	<ul style="list-style-type: none"> Details on various actions that have been and are being currently implemented across Council. 	Nil
Reconciliation Australia Update	<ul style="list-style-type: none"> Details on next review period of the RAP. 	Nil
Next Meeting date:	4 July 2024	



Quarterly Update on Committee Activities April – June 2024

Committee Name:	Sports Liaison Committee	
Date of Meeting:	23 April 2024	
Councillors in Attendance:	Mayor, Cr Nathan Conroy	
Council Officers in Attendance: <i>(please specify only the title of the officer)</i>	Team Leader Recreation, Recreation Development Officer	
Other Attendees: <i>(please specify only the title & organisation of the attendee)</i>	Representatives from: Frankston District Basketball Association, Tennis Australia, Pines Football Netball Club and Frankston Hockey Club	
Responsible Directorate:	Communities	
Matters considered		
Title/heading of Item	Brief highlights of the matter discussed	Declaration of Conflict of Interest, if any
Fair Access Policy Endorsement	<ul style="list-style-type: none"> High-level overview of the Fair Access Policy including the community engagement process, outcomes and next steps. A general discussion followed where questions were relating to the engagement with other councils, the provision of training for sporting clubs to support them in implementing the policy, and the strong engagement and feedback in the survey from diverse communities. Following the discussion, via a show of hands, an indication of support for the policy was given: all in attendance raised their hand in favour of supporting the policy prior to its presentation to Council at the next available Council Meeting. 	Nil
Next Meeting date:	13 August 2024	



Quarterly Update on Committee Activities April – June 2024

Committee Name:	Youth Council	
Date of Meeting:	23 April 2024	
Councillors in Attendance:	Nil	
Council Officers in Attendance: <i>(please specify only the title of the officer)</i>	Senior Youth Worker (x2)	
Other Attendees: <i>(please specify only the title & organisation of the attendee)</i>	Community representatives: Youth Councillors (x7)	
Responsible Directorate:	Communities	
Matters considered		
Title/heading of Item	Brief highlights of the matter discussed	Declaration of Conflict of Interest, if any
Introduction to Youth Council	<ul style="list-style-type: none"> • Introductions, housekeeping issues 	Nil
Terms of Reference	<ul style="list-style-type: none"> • Discussed and noted, all signed 	Nil
Child Safe Standards and requirements	<ul style="list-style-type: none"> • Completed overview and discussion 	Nil
Volunteer opportunities	<ul style="list-style-type: none"> • Youth Councillors to research prior to next meeting. 	Nil
Next Meeting date:	7 May 2024	



Quarterly Update on Committee Activities April – June 2024

Committee Name:	Youth Council	
Date of Meeting:	7 May 2024	
Councillors in Attendance:	Nil	
Council Officers in Attendance: <i>(please specify only the title of the officer)</i>	Senior Youth Worker (x2)	
Other Attendees: <i>(please specify only the title & organisation of the attendee)</i>	Community representatives: Youth Councillors (x2)	
Responsible Directorate:	Communities	
Matters considered		
Title/heading of Item	Brief highlights of the matter discussed	Declaration of Conflict of Interest, if any
	<ul style="list-style-type: none"> As a quorum was not met, a formal meeting was unable to occur. 	
Volunteer Opportunities	<ul style="list-style-type: none"> Opportunities were discussed and noted for suggestion at next meeting. 	
Volunteer Celebration	<ul style="list-style-type: none"> As the Volunteer Celebration is happening on the same day as the next scheduled meeting, next meeting will in four weeks. 	
Next Meeting date:	4 June 2024	



Quarterly Update on Committee Activities April – June 2024

Committee Name:	Youth Council	
Date of Meeting:	4 June 2024	
Councillors in Attendance:	Nil	
Council Officers in Attendance: <i>(please specify only the title of the officer)</i>	Senior Youth Worker (x2)	
Other Attendees: <i>(please specify only the title & organisation of the attendee)</i>	Community representatives: Youth Councillors (x7)	
Responsible Directorate:	Communities	
Matters considered		
Title/heading of Item	Brief highlights of the matter discussed	Declaration of Conflict of Interest, if any
Youth X Stand for Council: online information session	<ul style="list-style-type: none"> Attended and discussed learnings. 	
Next Meeting date:	18 June 2024	



Quarterly Update on Committee Activities April – June 2024

Committee Name:	Youth Council	
Date of Meeting:	18 June 2024	
Councillors in Attendance:	Deputy Mayor, Cr Liam Hughes	
Council Officers in Attendance: <i>(please specify only the title of the officer)</i>	Senior Youth Worker (x2)	
Other Attendees: <i>(please specify only the title & organisation of the attendee)</i>	Community representatives: Youth Councillors (x6)	
Responsible Directorate:	Communities	
Matters considered		
Title/heading of Item	Brief highlights of the matter discussed	Declaration of Conflict of Interest, if any
Conversation with Cr Liam Hughes	<ul style="list-style-type: none"> Discussion re Cr Hughes' experience in Frankston City Council and how he came to be the Deputy Mayor 	
Volunteer Celebration overview and reflection	<ul style="list-style-type: none"> Discussion of the FCC Volunteer Celebration event 	
Volunteer opportunities	<ul style="list-style-type: none"> Youth Councillors discussed the various volunteer opportunities they wish to take part in. Senior Youth Workers to support Youth Councillors to arrange dates and times for Youth Councillors to participate. Senior Youth Workers to invite Trudy Poole to attend Youth Council meeting. 	
Next Meeting date:	23 July 2024	



Written declaration on completion of mandatory induction training

I, Councillor Glenn Aitken, hereby declare that I have completed the mandatory induction training within six-months of taking the Oath of Office on 19 January 2024.

Signature of Councillor	[Redacted]
Date	17 July 2024

I, Phil Cantillon, Chief Executive Officer of Frankston City, confirm that I have witnessed the making of this declaration.

Signature of CEO	[Redacted]
Date	17/7/24



Jobs and Skills Roadmap



**Think
Regionally
Achieve
Locally**

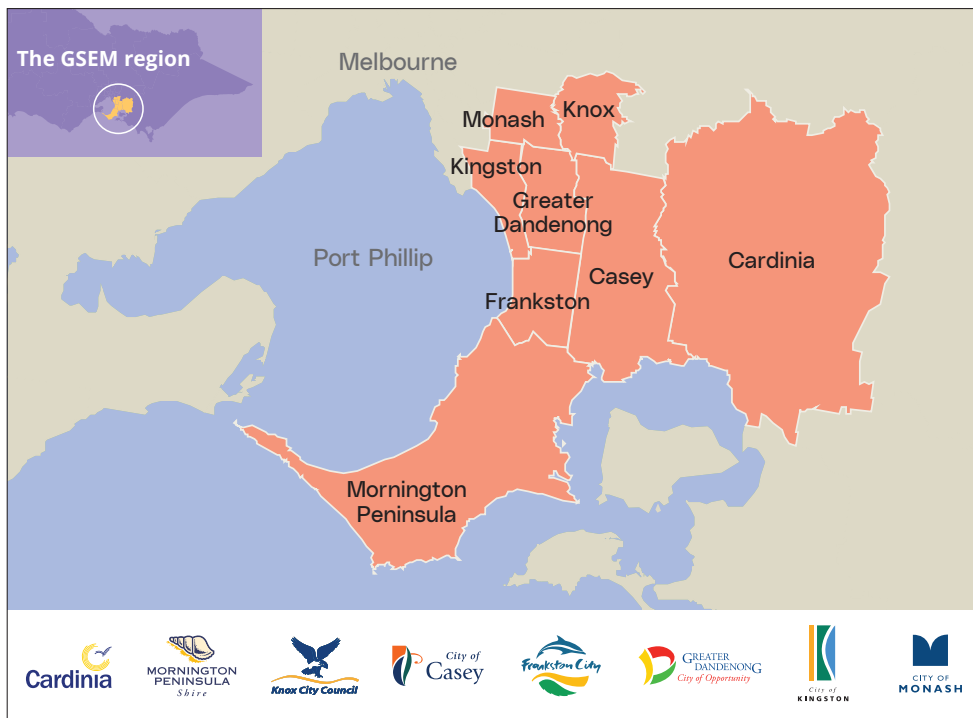
Overview

On Friday 3 May 2024 more than 200 industry, community, education, and government leaders from across the Greater South East Melbourne region came together. Their task was to share experiences and knowledge around jobs and skills to develop a roadmap for regional success.

GSEM is a regional alliance of eight local governments – the shires of Cardinia and Mornington Peninsula, and the cities of Casey, Frankston, Greater Dandenong, Kingston, Knox and Monash, alongside independent Directors James Merlino, Margaret Fitzherbert and Simon McKeon (Chair).

Greater South East Melbourne (GSEM) advocates for jobs, infrastructure, investment, liveability, sustainability and wellbeing for the southeast and everyone who works and lives in the region.

The Greater South East Melbourne region



Greater South East Melbourne (GSEM) is an important economic region that has seen significant expansion in recent years.



Summit insights

The discussion at the Summit was wide-ranging and covered a variety of viewpoints.

The key takeaways were:



Regional leadership is needed

The only way to secure investment for the region is to present a strong regional voice.



Greater collaboration

Greater collaboration needs to be fostered within the region and between the region and governments.



Supporting our people is the key to regional success

We need to build on what and who is already in the region by listening to those with lived experience. There should be a focus on migrants who are being blocked from fully contributing, women who have lower participation and young people who are under-engaged in study and in work.



The connection and links

The connection and links between industry, education and community need to be strengthened and supported.



Start earlier and plan for the future

Addressing skills gaps and overcoming barriers should start at primary school. We need to better understand and plan for our future workforce need.



We need to be strategic

Emerging digital industries, innovation, high value manufacturing, the care sector and the clean economy are key future opportunities the region should be preparing for now.

Our Roadmap

For GSEM to grow and to be a place where people from all backgrounds can succeed, we need to have a roadmap that addresses the challenges now and plans for the opportunities of the future.

Underlying Principles

Our approach to Jobs and Skills and the development and implementation of this roadmap are built on three key underlying principles.



Lived Experience and Participatory Design

The experience of the people who live and work in the region should be a core element of the work this roadmap does. We commit to a participatory approach that utilises co-design, and human-centered design to ensure that initiatives are responsive to the needs of all community members. Listening to and incorporating lived experiences and acknowledging diversity are crucial for creating effective and inclusive solutions.



Equity and Fairness

Equity and fairness must be at the heart of our skills development initiatives. GSEM acknowledges that residents and workers have different backgrounds and perspectives, many facing unique obstacles requiring targeted support.

Inclusivity and equal opportunity are essential for regional prosperity. At its core the roadmap will actively work to remove barriers and create pathways for full participation in education, learning, and employment, focusing on those facing multiple barriers to work and well-being.



Partnerships for Outcomes

Achieving this roadmap vision requires strong partnerships with government, education, industry and community partners to ensure resources, opportunities and support are allocated to address disparities and promote a level playing field.

Achieving this vision requires strong partnerships with government, education, industry and community partners.





The GSEM Jobs and Skills Summit



The Greater South East Melbourne (GSEM) Jobs and Skills Summit was held on 3 May 2024.

More than 200 attendees were Welcomed to Country by the Bunurong Land Council, before discussing a range of topics and solutions outlined in this document.

Speakers included industry, community, manufacturing, and political leaders, along with people with lived experience.





Our Vision for Change

Short Term



Foster Regional Leadership and Collaboration

Through targeted support, partnerships can be built and existing links strengthened to create a mutually beneficial environment for sustainable growth for industry and employment pathways for people across the region.

We are calling for:

- Funding GSEM to continue the Jobs and Skills Working Group to implement this roadmap and be a collaborative voice for the region on this key issue. The group would be responsible for:
 - Supporting the creation of a formal collaboration framework between local, state, and federal governments, industry, education providers, lived experience representatives, and community organisations.
 - Development of an implementation plan for this roadmap and facilitating regular meetings and workshops to maintain momentum, track progress and report back to GSEM and the region.

Right: Nathan Carolus, Youth Adviser, Brotherhood of St Laurence; Nikita Rodgers, Holmesglen student with lived experience of Autism; Mel Godinho Flores, Foundation Coordinator, MEGT Australia; and Rebecca Packer, Bachelor of Social Work student who lives with a disability.



Strengthen Workforce Planning and Knowledge Sharing

With more than 500,000 jobs and 83,500 businesses, Greater South East Melbourne is a key economic region for Australia. Until now the approach to industry growth and jobs and skills in the region has been piecemeal.

There is a need to improve our understanding of the evolving landscape and identify current and future workforce and skills needs for the region. By developing a strategic regional approach to skills development, we ensure that our community is prepared for the opportunities of tomorrow.

We are calling for:

- Funding to complete a regional jobs and skills strategy that fully evaluates the skills in the region, and understands the gaps, the challenges, and the opportunities.





Address Immediate Barriers to Employment

More needs to be done to support people to achieve their potential.

Many people coming to our region as refugees or migrants are unable to use their skills because the current system doesn't work. There are already existing programs that should be continued and expanded.

We are calling for:

- Immediate funding for education providers in the region to provide targeted foundation education programs for migrants and other disadvantaged groups.
- Work with GSEM and other representatives to simplify and expedite the process for recognising overseas qualifications.
- The formation of a regional task force with representation from lived experience representatives, local education institutions, community organisations and key providers to develop a strategy to reform English competency testing to better accommodate migrants and refugees.
- An expansion of the programs that support students to earn while learning, removing barriers to providing hands-on experience. Extend the current payment for the placement scheme to a broader range of courses and career pathways and increase the payment to a liveable wage.



Support Regional Initiatives

There are many initiatives and ideas in the region that need resourcing to continue contributing to growth.

We urge an approach that ensures that initiatives with a record of success have the financial support they need to make a lasting impact.

We are calling for:

- The continuation and expansions of the successful GameChange program and the Dandenong Employment Hub pilot to be expanded across the region with the establishment of employment hubs in each sub-region.
- Increased resources to expand the Wellsprings for Women 'Beyond the Basics' program – which provides advanced literacy program for migrant and refugee women – to support women facing multiple disadvantages.
- Ongoing funding for the Young Mothers Transition Program, the only program of its type in Australia, which supports young mothers with case management to overcome barriers and access education, training, and employment. This program should be replicated and expanded rather than wound up.
- Support for the Expanding Horizons program, which currently supports Monash based businesses to employ people with disabilities.

Our Vision for Change

Medium Term



Enhance Educational Pathways and Early Promotion

Our commitment to education and skills pathways is unwavering. By forging strategic partnerships, we need to facilitate accessible and tailored education opportunities, ensuring that individuals can develop the skills required for the jobs of today and tomorrow.

We are calling for:

- Government to work with the region to identify existing resources and consolidate them into a regional platform for job opportunities, training programs and educational resources.
- Initiatives to highlight the workforce opportunities in primary and secondary skills. These resources will be tailored to the region, working with industry and community to ensure they address the needs of the region.
- Explore opportunities to expand local TAFE and University offerings to accommodate population and employment growth in the Casey and Cardinia municipalities.



Support Emerging Industries and Innovation

Cultivating innovation is also a priority for the region. Support for emerging industries, providing the resources necessary for their growth, especially ensuring there is a well-trained local workforce to draw from. By cultivating new sectors, we contribute to a diverse range of job opportunities for the region and secure the economic future of the South East.

Work needs to be done to identify and prioritise key industry sectors for growth in the GSEM region in the workforce strategy, particularly digital technology, innovation, and the green economy.

We are calling for:

- The development of a regional industry policy, developed by a GSEM industry advisory group representing all education providers, key industries, digital, care sector, manufacturing, green economy.
- Innovation and start-up activities in the region to drive regional economic growth. Provide specific funding to establish an innovation hub in the region.



Manufacturing Skill Demands and Trends: Todd Hartley (Managing Director, Hilton Manufacturing), Hacia Atherton (Founder & CEO, Empowered Women in Trades, EWIT), Couteney Munn (Project Officer – Women in Manufacturing, AMWU Victorian Branch); and Daniel Prins (Chisholm, Project Manager – Jobs Victoria Engineering Project).



Promote Industry-Education-Community Connections

By extending our efforts across the entire region and helping to establish strong connections we will be able to bridge gaps and think regionally to ensure that the benefits of all the initiatives are accessible at a local level.

Work with regional education providers and industry to develop targeted training programs aligned with these emerging sectors.

We are calling for:

- Funding to expand the success of Skills and Jobs Networks already in operating in Dandenong, Casey-Cardinia, and Frankston Mornington Peninsula. These groups should be expanded across the GSEM region and include more employer and industry representation to work on regional projects and enhance collaboration on specific employment issues.
- Support for education providers to have the resources they need to ensure the sector has the capacity to deliver.

Our Vision for Change

Long Term



Sustain and Scale Regional Growth

A comprehensive regional industry policy that sets the framework for sustainable growth, jobs and skill pathways is needed. By developing an industry policy that specifically aligns and responds to regional needs, we will create an environment for businesses to thrive and communities to prosper.

We are calling for:

- Long-term investment and funding to support sustained regional development. An integrated plan to attract investment in projects that have regional benefit.
- Support for key regional priorities such as the development of a future South East airport and the extension of Thompsons road.



Promote Inclusive Growth and Reduce Disadvantage

We believe that at the heart of our region's success is our incredibly diverse population. The GSEM region has people from a wide variety of backgrounds and abilities. We need to do more to empower the people in our community so they can access the opportunities we are seeking to foster.

In particular, we acknowledge that not everyone has the same starting point in life. Programs, initiatives and pathways should acknowledge this and be created and implemented in a way that promotes access and incorporates the views of people with lived experience.

We are calling for:

- Governments to advocate for and implement policies that ensure growth is inclusive, particularly for immigrants and disadvantaged groups.
- The application of an intersectional gender lens to all skills and workforce development policies.
- Support for equitable education pathways to ensure that all individuals, regardless of socio-economic status, have access to quality higher education and training opportunities.



Conor Mullan from Chisholm Institute presents on education and industry.



Strengthening Local and Global Competitiveness

Manufacturing is a key pillar of the region's economic success. The south east produces \$85 billion in Gross Regional Product and is one of Australia's largest manufacturing regions, with more manufacturing jobs than greater Adelaide and Western Sydney.

The GSEM region has an important part to play in securing manufacturing sovereignty.

Melbourne's southeast is one of Australia's largest manufacturing regions, with more manufacturing jobs than greater Adelaide and Western Sydney.

We are calling for:

- Support for existing industries to ensure that established sectors receive the assistance needed to adapt, innovate, and remain at the forefront of the evolving market.



For more information

Contact us at info@gsem.org.au



Visit GSEM online
gsem.org.au



Follow us on LinkedIn
[@greatersoutheastmelbourne](https://www.linkedin.com/company/greatersoutheastmelbourne)

The GSEM Jobs and Skills Roadmap
was developed by The Agenda Group.
theagendagroup.com.au

Executive Summary**12.2 Chief Executive Officer's quarterly report - April to June 2024**

Enquiries: (Phil Cantillon: Chief Executive Office)

Council Plan

Level 1:	6. Progressive and Engaged City
Level 2:	6.5 Support transparent and evidenced based decision making through sharing council data and clear reporting on our measures of success to the community

Purpose

To brief Council with an overview of relevant matters within the organisation.

Recommendation (Director Chief Executive Office)

That Council:

1. Notes the Chief Executive Officer's report and any updates on previous recommendations actions provided within the report;
2. Notes the *Chief Executive Officer's Quarterly Report for the period April to June 2024 ~ public version* (attachment A), which will be made available after this meeting through Council's website;
3. Notes reduction of decisions being made in Closed Council in this reporting quarter (4 – 2023/24) with a result of 0%;
4. Notes its prior resolution at the 1 May 2023 Council Meeting, requiring that a future quarterly Chief Executive Officer report be provided on an indefinite basis, which for all intents and purposes has been a great success for its breadth and commentary of the substantial progress being made by Council, along with the integrity and wider transparency it provides of the Council and its operations;
5. Resolves Attachment B, *Confidential Chief Executive Officer's report for April to June 2024*, be retained as confidential indefinitely, on the grounds that it contains information that is confidential pursuant to the Local Government Act 2020, section 3(1) (a), (d), (e), (f), (g), (h) (i) and (j) and would, if released, reduce Council's ability to properly perform its functions; and
6. Resolves Attachment C, *Frankston City Council – Councillor Conduct Matters Table as at June 2024*, be retained confidential until the date of this Council meeting on the grounds that it contains information that is confidential pursuant to the *Local Government Act 2020, section (j)* and would be released with the minutes of this meeting and placed on Council's Transparency Hub to meet the requirements of the resolution passed on 2 October 2023 from part 4.b)ix. of the *2023/NOM6 - Accountability Transparency Reform (ATR) III*.

Background

At its Council meeting on 27 January 2021, Council resolved for the Chief Executive Officer's Quarterly Report normally presented in Closed Council to be reported in Open Council from April 2021, with confidential attachments provided to Councillors under separate cover.

12.2 Chief Executive Officer's quarterly report - April to June 2024**Executive Summary**

Subsequently, at its meeting on 25 July 2022, Council resolved that any future updates relating to COVID-19 recovery including financial updates will be reported in the CEO Quarterly report.

Council also resolved at its meeting on 1 May 2023 that a future quarterly Chief Executive Officer report be provided on an indefinite basis, which for all intents and purposes has been a great success for its breadth and commentary of the substantial progress being made by Council, along with the integrity and wider transparency it provides of the Council and its operations. Officers have prepared this report in accordance with the resolution above.

Council at its meeting on 2 October 2023 adopted a notice of motion titled 'Accountability Transparency Reform (ATR) III'. The CEO's Quarterly report is referenced a number of times within the recommendations and this CEO's Quarterly report has incorporated any updates required.

Following this Council meeting, it is recommended that the *Frankston City Council - Conduct Matters Table as at June 2024* (attachment C) be released with the minutes of this meeting.

Key Points / Issues

The CEO is pleased to present the Chief Executive Officer's Quarterly Report providing an open and transparent overview of the organisation, its highlights along with key activities. The report represents the period from April to June 2024. Key topics covered under the public version of attachment A include:

- People and Culture;
- Organisational Highlights;
- Business Transformation;
- Planning Progress;
- Financial and Corporate Planning;
- Accountability and Transparency;
- Key Projects Updates;
- Key Meetings and Activities;
- Advocacy; and
- Audit and Risk.

Under separate cover as attachment B is a report titled "CEO's quarterly report – confidential version – April to June 2024" dealing with matters of a confidential nature.

CEO's quarterly report update on additional recommendations

At the Council meeting held on 29 January 2024, an additional recommendation was adopted as part of the CEO's quarterly report with an update provided below noting the recommendation.

- *Directs the Chief Executive Officer to ensure that all bespoke park benches on Wells Street are to be routinely oiled/lubricated, cleaned and specifically maintained.*

12.2 Chief Executive Officer's quarterly report - April to June 2024**Executive Summary**

The seats were restored to a highly presentable condition in June 2024. This item will no longer be reported in the CEO's report.

Financial Impact

Community Support Frankston (CSF) additional and top-up funding for CSF as part of Council's COVID Relief ceased 30 June 2024. An update is provided in this report on the outstanding works, noting the internal and external building safety modifications continued with rear gate access and intercoms fully actioned and internal duress alarms also completed. Swipe card access to be managed on-site is planned for the next stage of works. Going forward this matter will no longer be reported in the CEO's report going forward.

Consultation**1. External Stakeholders**

See attachment A under the heading section 'Meetings and Activities'.

2. Other Stakeholders

Mayor, Deputy Mayor, Councillors, Directors, Managers, Coordinators and Officers.

Analysis (Environmental / Economic / Social Implications)

It is paramount Council's business is open and transparent with activities relating to its operation and the CEO's office.

Legal / Policy / Council Plan ImpactCharter of Human Rights and Responsibilities

All matters relevant to the Charter of Human Rights and Responsibilities have been considered in the preparation of this report and are consistent with the standards set by the Charter.

Legal

Nil to report unless otherwise mentioned in the relevant attachments.

Policy Impacts

Nil to report unless otherwise mentioned in the relevant attachments.

Gender Impact Assessments

Nil to report unless otherwise mentioned in the relevant attachments.

Officer's Declaration of Interests

Council officers involved in the preparation of this report have no Conflict of Interest in this matter.

Risk Mitigation

Nil to report unless otherwise mentioned in the relevant attachments.

Conclusion

The report be received.

12.2 Chief Executive Officer's quarterly report - April to June 2024

Executive Summary

ATTACHMENTS

- Attachment A: [↓](#) Public Version of CEO's Quarterly report - April to June 2024
- Attachment B: Confidential Version of CEO's Quarterly report for April to June 2024 - **CONFIDENTIAL**
- Attachment C: Councillor Conduct Matters Table as at June 2024 - **CONFIDENTIAL**

Public - Chief Executive Officer's Quarterly Report

Period reporting – April to June 2024 (public version)



Lifestyle Capital of Victoria

I am pleased to present the Chief Executive Officer's Quarterly Report for the period ending 30 June 2024 (public version).

The information within this public document represents the period in time from April to June 2024 inclusive providing transparency and a more comprehensive overview of the organisation and its key activities.

Key topic areas include:

- People and Culture;
- Organisational Highlights;
- Business Transformation;
- Planning Progress;
- Financial and Corporate Planning;
- Accountability and Transparency;
- Key Projects Updates;
- Key Meetings and Activities;
- Advocacy; and
- Audit and Risk.

I also wish to highlight in my report, the sad passing of a staff member at Council recently being John Ashute, Team Leader of Network and Cyber Security. Council staff recently fundraised for the Cancer Council in honour of John and all staff who have been affected by Cancer.

Thank you to the Mayor, Councillors, Council's staff, volunteers and contractors who continue to actively support our municipality.

Regards
Phil Cantillon

Chief Executive Officer

Frankston City Council acknowledges and pays respect to the Bunurong People, the Traditional Custodians of these lands and waters.

PEOPLE AND CULTURE

Weekly communication

The CEO distributes an all-staff email every Monday providing advice on key achievements, sections thanking staff and well-done commentary, along with other news and items relating to Council briefings/meetings. The email is then uploaded onto Council's internal website portal called Grapevine.

EMT Panel Q&A sessions

Council's Executive Management Team (EMT) made up of the CEO and four Directors hosted their first EMT Panel Q&A session for 2024 on Tuesday 30 April 2024 at the Frankston Arts Centre, Theatre. Over 170 staff attended in person with over 80 staff also participating online via teams.



The theme for the event was *'Fit for the Future – efficiencies in Council'* with EMT presenting on the topic followed by a Q&A session managed through the Slido platform.

Work Ready Program

The Work Ready Program supports those in the Frankston municipality in gaining the skills and experience they need to have rewarding careers. The program, now in its fifth year, supports a work experience program for year nine and year ten students, practical student work placements, apprenticeships and traineeships and school-based apprenticeships.

In June 2024, the Work Ready Program underwent a formal review with the focus on effectiveness, improvement opportunities, current challenges and future view of the program. The review was conducted by the Manager, People and Culture in conjunction with officers from the Culture and Capability unit. The review was actioned between October 2023 and May 2024 with Council endorsing the report and its recommendations at the 3 June Council meeting.

The program continues to focus on assisting those who live in the municipality, are living with a disability, are experiencing long-term unemployment and/or identify as Aboriginal or Torres Strait Islander.

This quarter the Work Ready Program has supported 3 traineeships, 1 apprenticeship and 28 work-experience and work placements across various departments and functions of Council.

Leadership Development

Future Ready Leaders Kick Start Program progressed this quarter with officers undertaking sessions on Leading Change, Thinking Strategically and Executing Operational Plans. Officers heard from Council leaders on topics such as Good Governance, OHS Responsibilities, Fundamentals of Budgeting and Contract & Procurement practices. Officers are currently preparing their Future Ready Project Pitches that will see them present to EMT a possible improvement, efficiency or change idea.

In June, Managers and Coordinators came together for the first Manager and Coordinator forum of the year. With over 80 staff in attendance, it was a great opportunity for leaders to network and hear about what's happening across Council. Topics included: Transitioning to a new Council in 2024, Community Vision and Council Plan Actions, and Council's strategic approach to being 'Fit for Future'.

'Your Voice, Your Workplace' Staff Engagement Survey 2024

Council's 2024 'Your Voice, Your Workplace' Staff Engagement Survey was held in late May 2024 managed by the Culture and Capability Team. This year's survey focused on understanding the employee's thoughts on: our workplace values, physical and psychosocial safety at work, inclusion and gender equality as well as our focus for the future. It is anticipated results will be made available to EMT, Manager and Staff in July 2024.

ORGANISATIONAL HIGHLIGHTS

External Awards and Recognition

The \$5.6 million Healthy Futures Hub (HFH) was a finalist in the Parks and Leisure Regional Awards under the Community Facility of the Year category. Unfortunately, it did not win however the HFH is certainly a winner with our Community.

Council's Maternal and Child Health team were awarded the 2024 LGPRO Award in the category of First Nations Community Partnership initiative. This award was for the development of the Balit Booboop Narrkwarren (BBN) which is the Aboriginal iteration of Baby Makes 3 (BM3), a gender equality and family violence prevention program.



Internal Awards

The second Directorate Excellence Awards for 2024 was held on 5th June 2024 at the Frankston Arts Centre with the four Directorates announcing the winners selected from nominations by staff peers. A CEO welcome and introduction video was played at the four sessions. The winners from the November 2023 and the June 2024 Directorate awards will be assessed by a panel of peers with the overall winner for each of the award categories announced during the 30 July 2024 event. The next Directorate Awards will be held on 15th October 2024 (bi-annually).

Corporate donations and fundraising

At Frankston City Council, staff can elect to donate an amount directly from their pay to the Frankston Community Support Fund with new staff provided information on this option during induction. Council staff held a morning tea event on 23 May 2024 donating over \$950 to the Cancer Council.

BUSINESS TRANSFORMATION

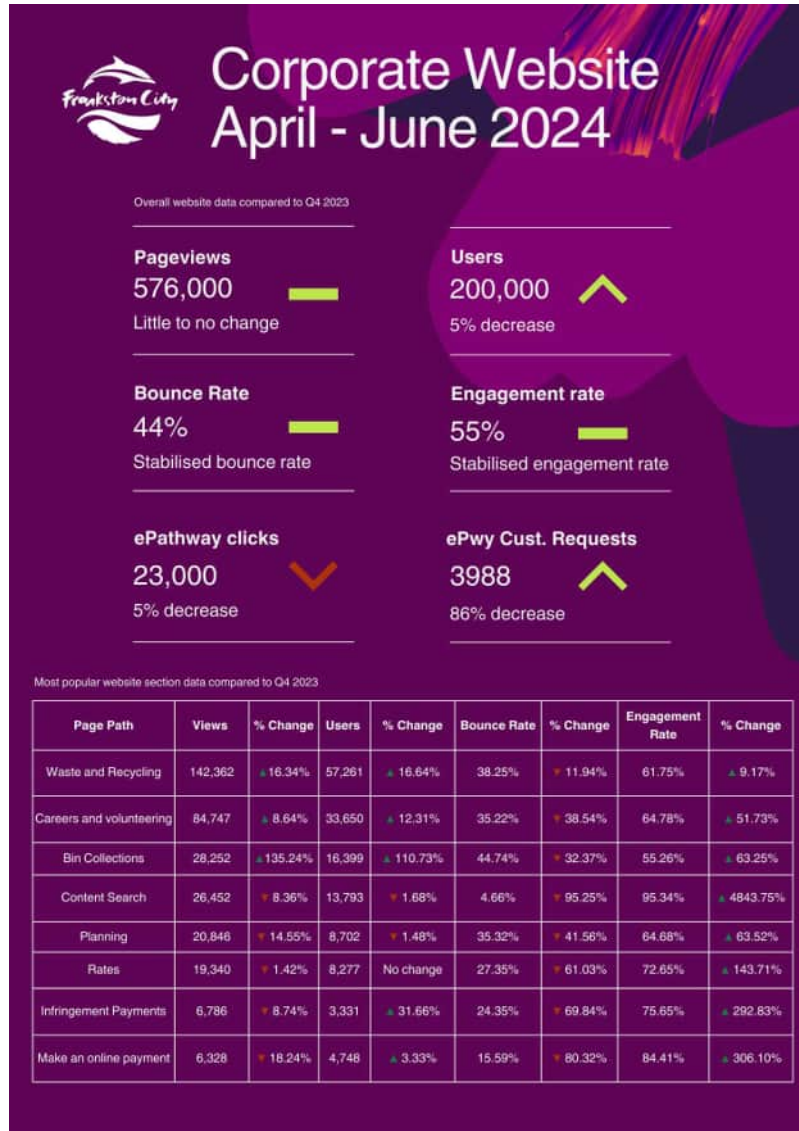
Council's Websites

While page views across the corporate website remained similar to Q4 2023, there have been significant positive shifts in user engagement across the most popular sections. These improvements can be attributed to the digitisation of services via ePathway/Pathway, particularly in the following areas:

- **Waste and Recycling and Bin Collections:** These sections saw an increase in page views and engagement due to a restructure that accommodates multiple new online service forms for managing customer bins.
- **Infringement Payments:** This section now features online forms for each infringement type and underwent a similar restructure, resulting in a significant uptick in engagement and an excellent bounce rate.

The increases in engagement indicate better user interaction with pages and content effectiveness, a direct result of the 2022 Website Redevelopment and Content Rewrite.

Additionally, a more refined search functionality was introduced to the corporate website in Q4, significantly improving the effectiveness of our site search. The user bounce rate (% of users who leave the site without interacting) on our search page dropped by 95%, indicating that users are engaging more and leaving less frequently. The reduced bounce rate across several of the sites most popular sections suggests that changes to structure and content are positively affecting our customers' ability to find and interact with Council services and information.





Transparency Hub updates

During the Quarter January - March 2024, seven new data sets were updated to the Transparency Hub. This includes i) Customer Complaints - Received and Closed, ii) Customer Assistance Queries, iii) Allocation of rates expenditure, iv) Energy and Water usage data, v) Rates vs Region, vi) Infringement, vii) Waste Charge Budget. Frankston City Council is one of the fastest among Victorian councils, to share data publicly.

The Lobbyist and Developer register is still under review due to the complex privacy and confidentiality issues that surround the release of this type of information in a public setting. Appropriate options are being reviewed to ensure legislative compliance.

Work is in progress to update 19 registers with last financial year end data. Preparation work is underway to migrate Transparency Hub to the Corporate Website. Target end date is March 2025. This is an extremely technically challenging project but will realise a cost savings of 60K annually. The work is done in a "Transform as we Perform" model which indicates there will be no downtime for the existing system. All current changes are being implemented in both existing and test systems.

Future Ready Frankston Efficiencies

In the last quarter, the Business and Digital team have continued to work towards the closure of the Future Ready Frankston program of works. These projects are supporting and enabling a significant shift in digital channel uptake. Overall, 66% of all applications are now lodged online providing a time saving for both the customer and the receiving officer. We have seen a 10% increase on digital lodgements based on previous year. A good baseline of transaction data has now been established, that we can continue to be built upon, to assess further impact and benefits realised.

Key digital projects for Q4;

- Swimming Pool Workflow Review and Enhancements;
- Trim and Pathway Integration – Building Services;
- GIA Application;
- Planning Integration;
- Referral Workflow process for Planning Applications;
- Subdivision Integration;
- Advertising Workflow for Planning Applications;
- Health Referral Workflow;
- Traffic Management Plan Assessment for Engineering;
- Planning Progress Register for Public to view application status.

The team have completed a high volume of digital transactions to help improve customer satisfaction and staff efficiency:

- Environmental Health - New application to register Health Business;
- Environmental Health - Notification of a Class 4 – Food Premises;
- Engineering Services - Building Over Easement;
- Engineering Services – Construction in a flood prone area ;
- Safer Communities – Footpath Trading Permit.



Public Art

- The Expression of Interest for the Mile Bridge Gateway sculpture closed with a number of submissions from quality applicants – five artists were shortlisted to further develop their artistic concepts.
- Scoping and consultation work is progressing well for the he Frankston Regional Arts Trail with a stakeholder session held at Cube 37 in April that attracted a number of participants including local businesses, artists, in addition to tertiary institutions and health representatives.

Frankston Major Events

- Mayor's Party in the Park wrapped up the Event season with approximately 3,500 visitors attending the event. The Festivals & Major Events team also supported The Block Party and South Side Festival's Neon Fields, demonstrating broader team collaboration and a positive outcome in finding efficiencies.
- Post event survey data analysis was undertaken post the events season, providing key insights that will help guide direction and strategic planning for the future.

Destination Events and Tourism including Discover Frankston

- Tourism led a significant part of the transition from Discover Frankston to the new City Positioning brand Imagine Frankston, including migration of the website and development of roles and responsibilities and the action plan for the new City Positioning taskforce.
- The Destination Event Attraction Program opened applications for the 2024-2025 season, with more than double the applicants from 23/24 (28 up from 13). 4 events were endorsed from those including 2 major and 2 minor events, which aim to attract over 35,000 visitors in total. In addition to this, officers confirmed a partnership with Always Live (a State Government backed music program) to deliver an 'End of the Line' event in Frankston in November.
- June also saw delivery of the event 'Sound Cube' at Cube 37, which was 100% funded via a \$30,000 grant sponsorship from Music Victoria and Creative Victoria.

Frankston Arts Centre (FAC)

- This quarter, we introduced digital membership cards for 2025, a Gold Membership, the Hungry Hungry ordering app, a promoter dashboard for live sales, and a complimentary ticket portal, alongside enhanced EDM reminders. We successfully delivered the South Side Festival with over 35,000 attendees and hosted major performances, including the MSO and Jimmy Barnes. Our popular Dinner & Show series contributed to strong financial gains in hospitality. Additionally, we raised over \$3750 in our Annual Giving Campaign and secured funding for a Concert Grand Piano renewal.

Frankston City Libraries

- Frankston City Libraries have showcased commitment to diversity and inclusivity through events like the inaugural Human Library, as part of the South Side Festival. The community has continued to embrace the library spaces for studying, working and connecting, leading to increases in WIFI usage. The library collection loans, especially online resources like e-books and e-audio books, has experienced growth, and continues to be valued by the community. It is anticipated that for 2023/24 loans will reach nearly 1 million which will be the highest since 2015/16.



Council's Corporate Customer Service Update

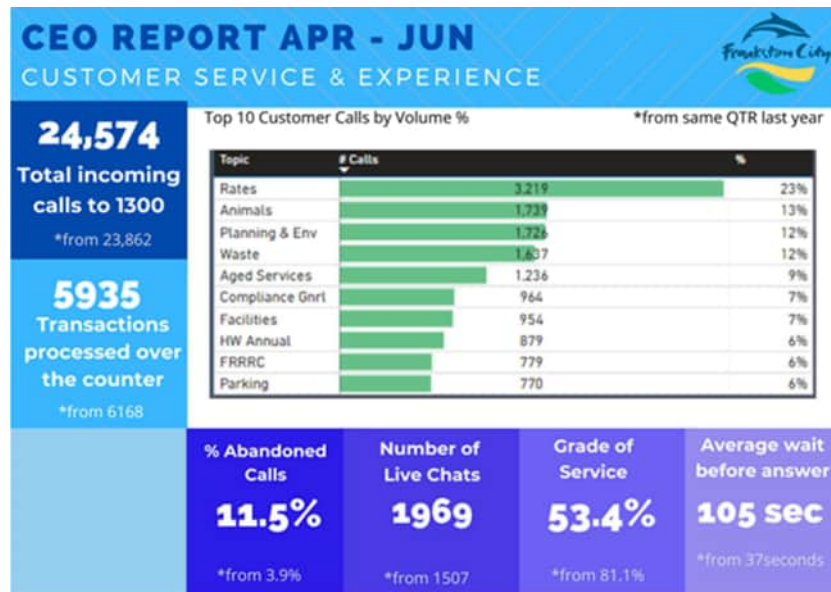
The Customer Service and Experience Team continues to prioritise sustainable continuous improvement initiatives with a focus on streamlining processes and utilising systems and technology to the full extent of their potential. Initiatives include trial adjustments to face-to-face customer service, and adjusting officer utilisation to ensure all channels are appropriately serviced in line with preferred contact methods and customer trends. Contacting council by phone is steady as the preferred contact method of customers and this is reflected in our resource allocation. Improvements made in the last quarter have had a direct impact on average wait times for the call centre with a 46 second improvement in wait times.



Measures	Monthly			Quarterly	
	APR	MAY	JUN	THIS QTR	LAST QTR
Average Wait Times	Phones: 1min 28 sec Live Chat: 1 min 22 sec	Phones: 2 min 19 sec Live Chat: 1 min 19 sec	Phones: 1 min 22 sec Live Chat: 1 min 14 sec	Phones: 1 min 22 sec Live Chat: 1 min 18 sec	Phones: 2min 31 sec Live Chat: 58 sec
Abandoned Calls	9.7% or 789	15.2% or 1446	8.7% or 601	11.5% or 2836	16.08% or 4216
Grade of Service	56.7%	42.8%	63.0%	53.4%	46.28%
Satisfaction Score	4.70	4.86	4.74	4.78	4.79

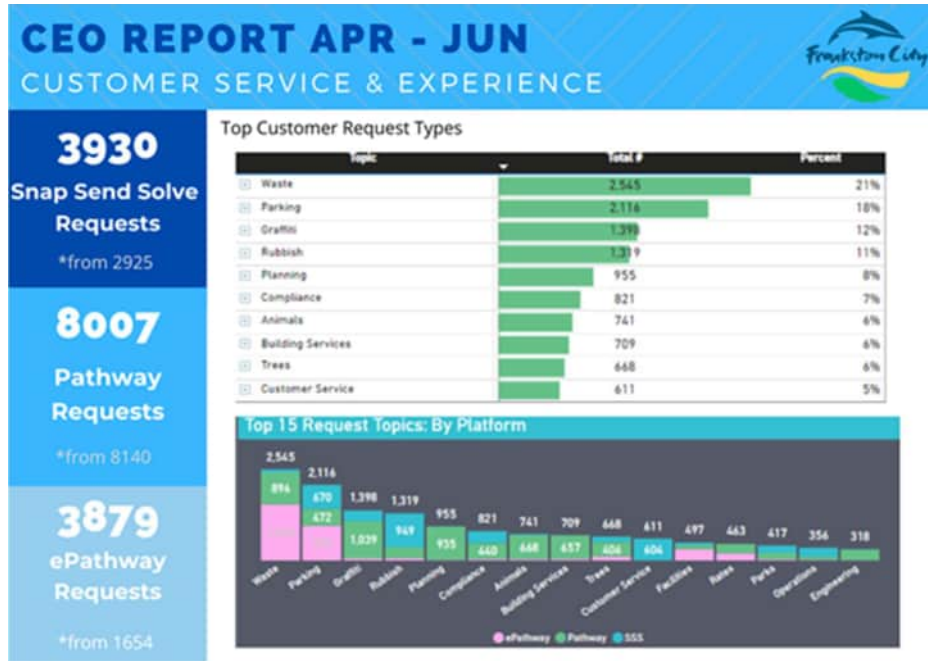


In the last quarter, 23% of calls were regarding Rates. This equates to almost double the next highest call reason being Animals (in line with Animal Registrations between April-June). This data is consistent with the same period last year, indicating this is a potential opportunity for continuous improvement to support the community around rates enquiries, how can we make it easier for our customers.



Requests logged

The number of requests logged by officers has remained relatively unmoved, while SnapSendSolve and ePathway (website) requests logged have significantly increased year on year. Overall, this shows we are seeing a higher volume of requests from our customers. This indicates that our digital channels are becoming more accessible, and that customer awareness of digital channels is increasing. In conjunction with this, the fact that the requests logged via Pathway (officer logged requests) has not changed signals that we are not seeing a channel shift from officer logged to self-service.



Customer Experience

With the introduction of a survey platform at three locations (Civic Centre, Langwarrin Service Centre and Carrum Downs Library) the voice of customer program is beginning to take shape. This program is in its infancy, but the opportunity for our customers to provide “in the moment” feedback regarding their experience at our service centres has been well received to date. The platform became available early June and feedback has been received by 40 customers. The chosen Customer Experience measurement for this program is the FCC Customer Promise whereby we promise to be Accessible, Accountable, Clear and Respectful. The Overall Score for Customer Experience (out of 10) was 9.1.

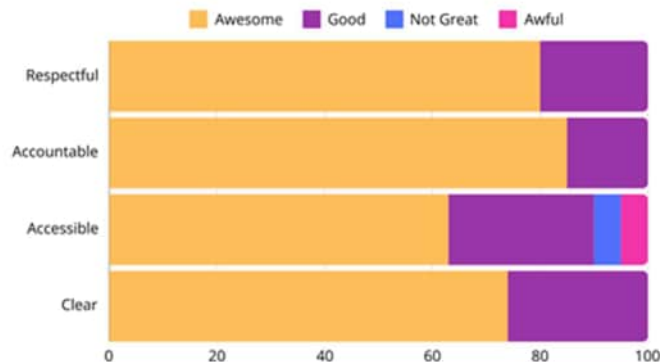


CEO REPORT APR - JUN

CUSTOMER SERVICE & EXPERIENCE- FEEDBACK



OUR SERVICE PROMISE



Customer Requests Update

When the community request information from the council, the demand is measured in two ways;

1. Via our customer service channels (aka "Customer Requests"); or
2. Written correspondence -emails and paper-based letters (aka "REM Requests").

Performance analysis is performed quarterly and year on year to more accurately gauge trends and to account for seasonal variances (eg. animal registration renewal, rates notices).

1. Customer Requests:

Council received 15,815 requests in Q4 which is an increase of 24% from same time last year (12,719) but is below Q3 with 16,986. Council closed 16,482 requests, up 27% same time last year (12,931) on par with Q3 (16,093).

At the end of Q4, Council had 1,671 requests still open, which is a big improvement over Q3 by 37% (2,651). Average number of days a request stays open 67* up from 59*- this figure has increased over the past 3 quarters. Internal processes are under review and a more widely available report to manage this (especially older requests) will be launched in Q1.

Council aims to close requests within 10 days and the average number to close this financial year is 29*, down from 34* at the end of Q3. Work continues to close long standing FAMIS related requests. At the end of last financial year, average days to close was 12.1.

* Figures are rounded to the nearest whole number.



Graph highlights Customer Requests Apr-Jun (Q4).

2. ReM Requests:

Council received 8,083 pieces of correspondence in Q4 which is a 32% decrease from the same time last year (11,925).

There are 930 open ReM requests, down 22% from 1,198 in Q3 and down 55% from 2,068 in Q2. Internal communication about timely closure has occurred in Q4 as well as more widely available reporting launching next quarter- which will keep the organisation on top of timely closures.

Council aims to respond to correspondence within 10 days - we met that benchmark in Q4 75% of the time (80% for Q3 and Q2). The average number of days to respond to correspondence decreased to 10* days for this reporting period which is a decrease of 23% compared to last year (13* days) and a decrease of 69 % over Q3 (34* days).

The performance for the quarter for closing requests has improved as has the average days to close.

* Figures are rounded to the nearest whole number.



Graph highlights ReM Requests Apr-June (Q4).

Social and media engagement - Frankston City Community

This quarter the media and social presence has ranged from the hard waste collection to the opening of a number of new attractions, including the Ballam Park junior playspace and Austin Reserve upgrade.

There has also been interest in Council elections and we have done a lot of work communicating the process for future candidates.

The quarter also saw continued mainstream media interest in the closure of the Frankston Central Post Office, with Council supporting the Frankston Business Collective petition against the closure.

The Lloyd Street Pavilion was officially opened in June 2024 by the Federal MP Jodie Belyea and the Mayor. The social media post on that was very well received by the community.

There were also number of events happening in the quarter which received media and social interest, including the Big Picture Fest.

City Positioning and branding

Imagine Frankston was launched on 3 May 2024. It brought together the branding from Discover Frankston and Invest Frankston.

Imagine Frankston website continues to be developed at www.imaginefrankston.com.au

There is now have an all-encompassing Prospectus for Frankston City which can be distributed at business expos and stakeholder meetings, as is also available to download on the home page of the Imagine Frankston website.

The flags which adorn main City Centre streets have been updated with Imagine Frankston branded flags in between festival promotion.



For the launch there was an article in the **Saturday Herald Sun** which focussed on consumer insight data and a local resident case study. Circulation of Saturday's edition is 653,000 Victorian (readership circa 1.3 million Victorians) with continued circulation in cafes, libraries, public spaces on the following Sunday.

The article was also published on **realestate.com.au** which has an estimated 12 million site visitors per month: <https://www.realestate.com.au/news/aussies-prefer-living-outside-the-city-if-they-can-work-from-home-survey-reveals/>

We also held a stakeholder breakfast to meet with key stakeholders and discuss a collective positioning for Frankston City and a united, integrated communications approach amongst the local community and wider audiences. This work is ongoing.

Community Engagement

Community engagement over this quarter has continued to focus on an integrated engagement approach to the Community Vision, Council Plan, Budget, Asset Plan and Financial Plan.

The broad engagement stage of this engagement closed on 31 May 2024 and we are now analysing all of the data. This work included:

- 20 community engagement pop ups/intercepts
- 6 stakeholder workshops
- 2 internal staff engagement sessions
- Comms via FCN, E-News, LinkedIn, social media, newsletters, targeted postcard drops

We have received feedback inclusive of:

- 1246 contributions (approx. 1080 in person), plus stakeholder/staff input
- 3700 free text comments about Council services

Plus expression of interest from 87 people for the Community Panel later in the year.

Immediate highlights are detailed below and will be shared with Councillors when the collation has been completed.

The next stages of this key engagement work are detailed below.





Building Frankston's Future (BFF) Capital Works Awareness

Several projects were completed and celebrated in this quarter:

- Opening of Lloyd Park Pavilion – opened by Federal MP Jodie Belyea and the Mayor Nathan Conroy;
- Reserve upgrades as part of the Play Strategy (Kareela, Austin, Pratt and Lavender Hill).

We are also now in the process of planning for the official openings of Whistlestop Reserve and play space, upgrades to Ballam Park (play space and lake), Carrum Downs Recreation Reserve car park, the Sandfield Reserve youth space and Eric Bell and Kevin Collopy pavilions

There has been BFF signage and communications relating to these projects and others throughout construction, at key milestones, and where appropriate, on completion.

Other channels:

- Social media postings for capital works projects on Facebook, Instagram and LinkedIn continue to reference #BuildingFrankstonsFuture;
- Building Frankston's Future and the projects delivered continue to be showcased in Frankston City News and eNews.

PLANNING PROGRESS

Statutory Planning data update – Quarter 4 (Q4) (2023-24)

Statutory planning on-time delivery for Q4 at 82 percent was above the target of 70 percent. Outstanding application volumes are within the target band (200-300). As at the time of this report, there were 243 undecided planning permits, amendment to planning permits, and plan approval applications currently with Council.

The on-time delivery data is illustrated in the charts below (calendar year) as well as the volume of applications received per month over the last four years.

This demonstrates the consistent volume of applications received each month, noting that the lodgement volume includes new permit and amendment applications and other consent types, but is still not reflective of all work undertaken in the processing of planning permit applications.

Lodgements so far in 2024 have been consistent with 2023 lodgement volumes.

A summary of developer financial contributions received within the quarter is also detailed below.

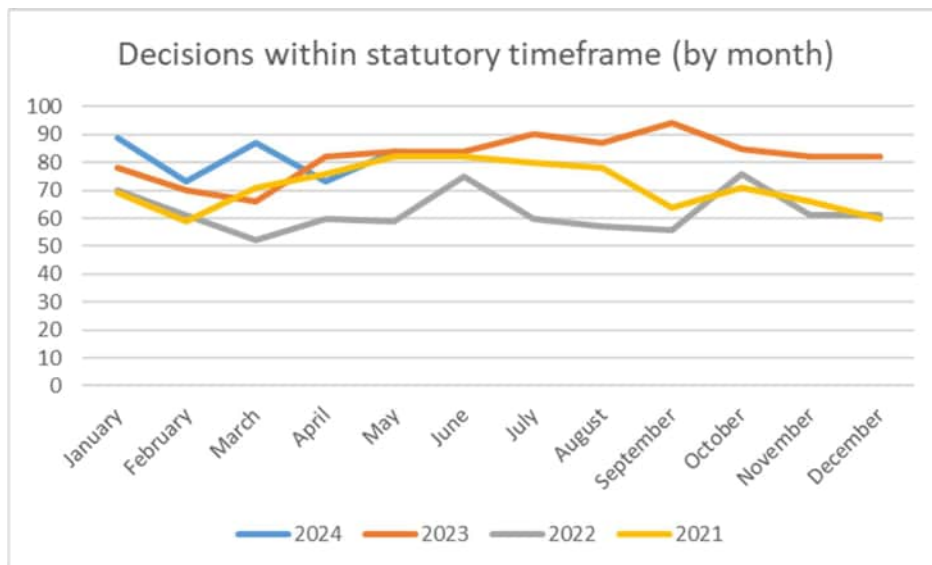
It should be noted the data for Q4 was calculated manually as the State Government Planning Permit Activity Reporting System (PPARS) does not publish the monthly or quarterly data until the middle of the following month. There may be a minor discrepancy with the manually calculated on-time delivery data and the published PPARS data.

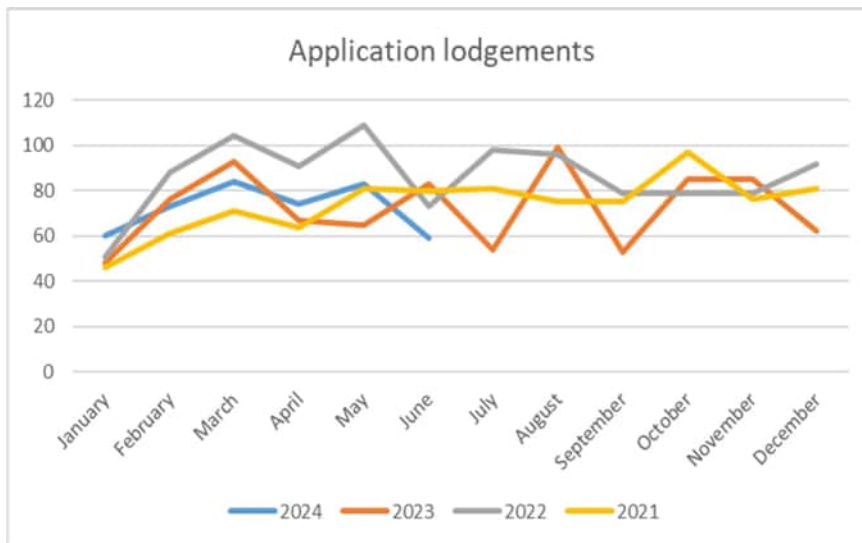
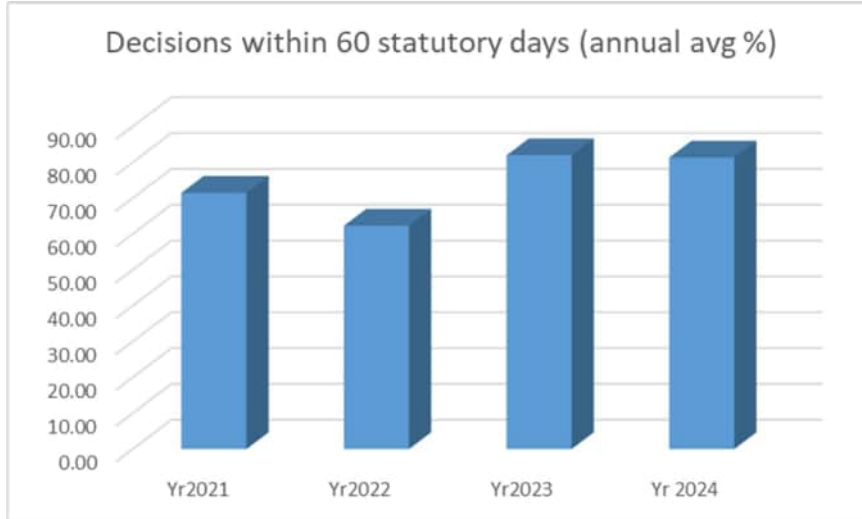
Contributing to improved outcome measures, the Statutory Planning unit made several improvements to business systems, including those identified in previous updates. As detailed in the monthly progress report, progress has been made on the creation of Council's development activity model for the Frankston Metropolitan Activity Centre (FMAC) area, with 11 development activity models (proposed and approved buildings) now within the Vic3D platform. This relates to a Councillor initiative to trial the use of the Vic3D platform to create a development activity model of the FMAC area for improved engagement and major development planning assessment purposes. This initiative involves utilising the 3D modelling and visualisation services of Department of Transport and Planning.

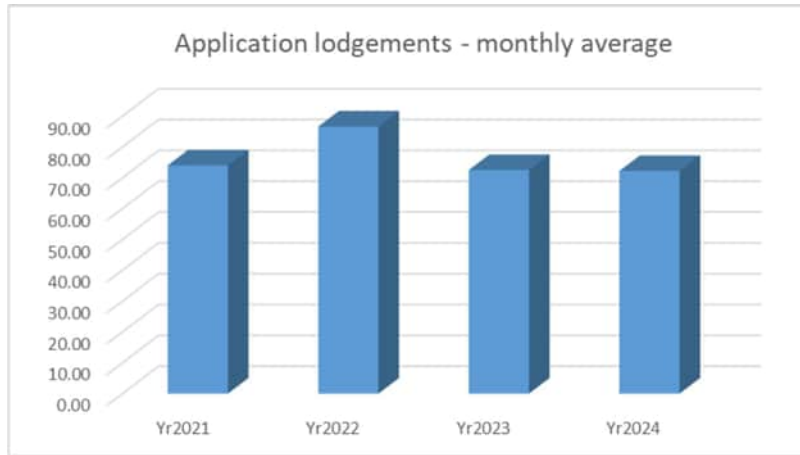


Work continued to progress on implementation of new 'workflow' processes which will improve the functionality of Council's application processing software and allow for more accurate tracking of applications and reporting of live data and application statuses.

Developer Financial Contributions- Quarter 4 (2023-24)	
Contribution Type	Total Amount Received
Open Space Contributions	\$466,200
Car Parking Financial Contributions (cash-in-lieu)	\$0.00







Environmental Health update- Food Business Inspection and Enforcement Outcomes Quarter 4 (2023-24)

Food business inspection and enforcement outcomes for Q4 are summarised in the tables below, with 260 inspections undertaken in the quarter at a compliance rate of 83 percent, up from 76 percent in Q3. The number of inspections increased from the previous quarter, from 188 to 260. Also, 100 percent of critical and major follow-ups were completed, with one Food Act Order and four penalty notices issued.

Environmental Health

CEO REPORT APRIL - JUNE

28%

statutory food inspections completed in Q4

Percentage of Critical and Major non-compliance follow ups completed

Quarter	Percentage
Q3 - 21/22	67
Q4 - 21/22	76
Q1 - 22/23	85
Q2 - 22/23	94
Q3 - 22/23	100
Q4 - 22/23	100
Q1 - 23/24	100
Q2 - 23/24	100
Q3 - 23/24	97
Q4 - 23/24	100

260

statutory inspections completed (up from 188 in Q3)

83%

compliance rate at statutory inspections (up from 76% in Q3)

Our proactive, risk-based approach continues to produce exceptional outcomes, showcasing the Environmental Health team's dedication to delivering high-quality food safety standards across the community.



Environmental Health

CEO REPORT APRIL - JUNE

Food Business Inspection and Enforcement Outcomes

Measures	Monthly			Quarterly	
	April	May	June	THIS QTR	LAST QTR
Critical and major non-compliance notifications - follow up rate	-	-	-	100%	97%
Compliant statutory food premises inspections	77	92	57	226	142
Non-compliant statutory food premises inspections	14	13	7	34	48
Food Enforcement - Food Act Orders & Directions Issued	0	1	0	1	1
Food Enforcement - Penalty Infringement Notices Issued	1	3	0	4	33

City Futures Department update

The following Policy and Strategy Development work was undertaken during April to June 2024:

- On 22 April 2024, the Directions Hearing for Planning Scheme Amendment C160fran (FMAC) was held on, with the Panel Hearing to commence week of 1 July 2024 to hear submissions to the Amendment C160fran over a 10 day period.
- On 12 February 2024, Planning Scheme Amendment C161fran (the FMAC DCP) received authorisation and commenced exhibition on 9 May 2024, which will conclude on 5 July 2024.
- On 16 May 2024, Planning Scheme Amendment C152fran 'Fix Up' was approved and gazetted into the Frankston Planning Scheme by the Minister for Planning.
- At the 22 April 2024 Council Meeting, Council considered all the submissions received (3) to Planning Scheme Amendment C158fran (250 Wedge Road, Skye) and resolved to request that the Minister for Planning appoint an independent Planning Panel to hear the submissions. The Panel that was appointed, decided to consider the process "on the papers", to which then Council received the Planning Panel Report (Report) on 13 June 2024. The findings and recommendations of the Report will be considered at the 22 July 2024 Council Meeting.
- On 6 June 2024, Council received authorisation for Planning Scheme Amendment C148fran (Frankston City Industrial Strategy) subject to conditions. Exhibition of Amendment C148fran is anticipated to commence end of July for a period of 6 weeks.
- Work has continued to develop the Draft Affordable Housing Policy. SGS Economics & Planning have provided a Background Analysis & Technical Advice Report to quantify the housing affordability problem in Frankston City, formulate targets for the required supply of affordable housing, and recommend policy actions to



improve housing affordability outcomes. A Councillor Briefing took place in May 2024 to discuss the data and Council's preferred policy position on affordable housing. A Gender Impact Assessment has been completed. The Draft Policy for community engagement will be presented to a Councillor Briefing in July 2024 and Council Meeting in August 2024.

- A community engagement process was completed to inform the statutory review of the Community Vision 2040 and develop the new Council Plan 2025-29, which will have the Municipal Health and Wellbeing Plan integrated into it.
- The Nepean Boulevard Master Plan has progressed with detailed strategic transport modelling and analysis underway in close consultation with DTP to ensure transport network functionality is satisfactorily maintained with any future development scenarios related to the Nepean Boulevard project. This technical transport planning assessment is critical to determining viable improvements to Nepean Highway and has informed development of the Draft master plan. Consultation with the Bunurong Land Council Aboriginal Corporation has continued through various site walks and a Culture Values assessment. Engagement with authorities will continue throughout development of the draft master plan and delivery of the early works. A Gender Impact Assessment has been completed for the Nepean Boulevard project and the findings will be incorporated into the draft master plan.
- Nepean Boulevard early works median planting and gateway signs are progressing at two (2) locations in the north and south of the project corridor. Officers have received DTP approval and early works will commence in August 2024.
- Work has commenced in Quarter Four to scope the preparation of FMAC Urban Design Guidelines to reinforce Councils commitment to supporting high quality, exemplary development which reinforces Frankston's city centre as the 'capital of the south east' and its coastal location. It will guide how medium and high rise development integrates with street level and frames the public realm. Good design is important to create a vibrant and successful city. The guide's intent is to use illustrations and images to visually communicate the desired outcomes and requirements for the FMAC. The intent is to provide easy to use graphic illustrations to support Frankston City Council and developers in providing certainty in design approach.
- Work began to scope a Frankston Open Space Strategy 2016 review with help from a Monash University PHD student in the Urban Design team. The existing Open Space Strategy was prepared in 2015 and adopted by Council in 2016. Since that time several gaps have emerged, and a review is required to ensure Council is meeting current policy and changing requirements.
- Council is a member of the Council Alliance for a Sustainable Built Environment (CASBE) committed to positive change to Victoria's built environment through collaborative, local government led action. CASBE is working towards Elevating Environmental Sustainable Design (ESD) Targets Project Stage 2 in the pursuit of zero-carbon buildings and urban places. In Quarter Four, officers attended a total of seven CASBE network meetings to ensure Council is up to date with the most current ESD knowledge and aligned with other Victorian Councils. Also in Quarter Four, CASBE commenced a modelling research project regarding Daylight levels in Victorian buildings Stage 2 to further enable the development of revised effective daylight requirements for planning applicants.
- The Frankston Public Toilet Action Plan implementation continued in Quarter Four. Planning and design is progressing for the Seaford Road and Armstrongs Road toilets and design is being finalised for the Witternberg Reserve public toilet renewal. The Lloyd Park Scout Hall public toilet, identified as surplus, has been decommissioned. Scoping commenced for the potential decommissioning of the surplus bluestone toilet at Baxter Park. Tender documentation is underway for the new public toilet at Sandfield Reserve, Carrum Downs and construction of the new public toilet at Carrum Downs Recreation Reserve play space is complete.
- Planning for Open Space improvements continued in Quarter Four. Scoping was completed for district level play space upgrades in Langwarrin which identified Pindara Reserve as the preferred location. Due diligence activities and a design brief were also completed for Pindara Reserve. Due diligence activities for Lisa Beth



Mews and 250 Wedge Road are largely complete with review of submissions to undertake a CHMP study underway. Due diligence and a design brief commenced for Banyan Reserve playspace upgrade to secure \$1.5 million in pledged State funding.

- Local Park Action Plan and Frankston Play Strategy implementation continued in Quarter Four. A Gender Impact Assessment has been completed for both strategies. Passive open space upgrades complete at Whitewood and Nodding Reserves in Frankston North and Carrum Bella and Regency Reserves in Carrum Downs. Following community engagement, design development is underway for Brunel Reserve, Seaford and Lucerne Reserve, Karingal with the design for Heysen Reserve, Skye being finalised for tender. Design underway for Athol Reserve, Langwarrin. Due diligence for Pindara Reserve, Langwarrin is complete and RFQ for concept design is out to tender. Park and playspace upgrades were completed at Kareela Reserve-Frankston; Austin Reserve, Seaford; Pratt Reserve Frankston South; and Lavender Hill Reserve in Carrum Downs.
- Wayfinding Strategy and Style Guide implementation continued with Primary Gateway sign at Seaford and Secondary Gateway sign at Karingal installed. Power for signage illumination anticipated to be connected for the Primary Gateway Signage at Seaford by August 2024. Implementation of the Gateway signage will continue through the delivery of the Nepean Boulevard early works.
- Sandfield Reserve Master Plan Implementation progressed with the Youth Space Multi-Purpose Court and Skate Park now complete and open to the public. Official opening event with funding representatives for the Youth Space anticipated for August 2024. Plans for the Play Space and Stage 3 (open space) upgrades are currently out to tender. Public toilet design documentation currently being finalised for tender. State Government funding agreement from DJSIR has been executed.
- Lighting Frankston Plan implementation continued in Quarter Four. Integrated pedestrian lighting along the dune boardwalk between the Pier forecourt and Olivers Hill anticipated to be complete by October 2024. Tree illumination at Ballam Park and Peninsula Aquatic Recreation Centre as resolved at the 20 November 2023 Council meeting. Pre-planning underway for Ballam Park Safety Lighting between Naranga Crescent and Athletics Track. Concept development underway for Ballam Park Play Space lighting. Grimwade Clocktower and St Paul's Church illumination complete.
- Local Shopping Strip Action Plan implementation continued in Quarter Four with due diligence and planning underway for Mahogany Avenue Shops in Frankston North. Designs are progressing for Kareela Road Shopping Strip in Frankston and construction is nearing 60% completion at Fairway Street Shops in Frankston.
- The 20,000 trees per annum planting program has made significant progress in increasing tree canopy cover across Frankston City. It was decided to transition the program to sustain and enhance canopy tree cover on private land, through engaging the community, offering incentives and education opportunities, and maintaining rigorous data collection and analysis methods. The proposed recommendations to support these efforts and ensure the long-term success of the Urban Forest Action Plan will be reported to Council at its meeting on the 22 July 2024.
- Coastal Marine and Management Plan has been finalised, incorporating input from community as well as agency stakeholder feedback. The Plan is scheduled to go to a Council Meeting on 22 July 2024 for adoption.
- Foreshore Advisory Committee held a meeting in April and May 2024. Three new members joined the committee while one member resigned in May.
- Other Coastal collaboration work included; Parks Victoria completed maintenance works on Frankston Pier in April, replacing 15 piles and Department of Energy, Environment and Climate Action commenced maintenance of the Olivers Hill seawall coastal protection structure in June that will continue until August 2024
- Preparation of the Environment Significance Overlay (ESO) mapping report for the Planning scheme amendment was put on hold to complete the Native Vegetation Offset investigation.



- Investigations for the establishment of a Native Vegetation Offset Site explored opportunities on private land with eligible property owners contacted. There was no interested from private landholders to pursue an offset site on their property. Consultants were engaged to investigate the feasibility of a site being established at Downs Estate. A report will be provided at Council meeting on the 22 July 2024.
- Preparations for National Tree Day at Seaford Wetland (July 28th) and Schools Tree Day (July 26th) are underway. McClelland College and Ballam Park Primary were selected as the ambassador school and will receive 300 plants and assistance with planting on the day. 52 schools and kindergartens applied to receive 50 plants each.
- Consultants were engaged to provide a review and update of the Landscape Plan Preparation Guidelines
- Lower Sweetwater Creek wayfinding and path network project undertook internal stakeholder engagement and a community engagement with Action Sweetwater Creek and a broader community survey which received 32 responses.
- At the 13 May 2024 Council Meeting, Council resolved to adopt the Frankston City Economic Development and Skilled Community Strategy. The Strategy aims to support economic prosperity by using current economic and demographic data and information to build on existing strengths and advantages as well as future opportunities which are aligned with the Frankston City Community Vision and Council Plan Priorities. A Strategy Action Plan addresses each of the three Priority Areas of the Strategy: Supporting local business; Investment attraction and economic activation of places; and Council as an enabler.

The following Programs and Events were delivered during April – June 2024:

- Seven business workshops were delivered to support both current and aspirational local business operators this quarter and included Business Branding – Session #1 "Knowing your WHY"; Tax Planning for Small Business; Business Plan Accelerator Workshop; Business Workshop Series for Builders & Trades: More Leads, More Sales, More Profit; and Small Business Leadership's Toolkit. 121 participants attended business workshops this quarter.
- Council's Business Mentoring program offers two free 1-hour support session with experienced business operators across a range of sectors. This quarter, fifteen participants received business mentoring support. To ensure the Business Mentoring program continues to deliver a high standard of support to a wide a range of industry sectors including business, start-ups, digital marketing, social media, hospitality, retail and HR an expression of interest process was carried out this quarter with seven responses received. Applicants will be interviewed and selections made in July 2024.
- In collaboration with FMPLLEN, a Breakfast meeting for business and local school principals was held at McClelland Gallery on Tuesday 18 June 2024. A panel of guests including Chisholm, Mt Erin College Principal, Sam Grigg (Burst Branding Agency), Elizabeth McDonald (Netfocus IT) spoke about career pathways.
- Council's Business Concierge program responded to 116 requests this quarter. The majority of requests were related to hospitality and health and beauty businesses and most requests were from businesses located in Frankston.
- Council's Investment Attraction program made outreach cold calls to nine unique potential business operators and responded to 31 unique inquiries this quarter. 18 businesses were provided with research, solutions and investment opportunities for consideration that matched their unique needs.
- Following extensive feedback from local stakeholders, the Local Careers & Jobs Expo, project has been re-imagined to include "Career Pathway Q&A" (Day in the Life Of) sessions with professionals from industries of interest to current Year 9-12 students. These sessions will be customised to the needs of each particular student cohort, following information collected from respective Careers Guidance Councillors. For example, Woodleigh School have requested professionals from Engineering, Accounting, Law etc. and Mount Erin Secondary College have requested people from Health and Community Services, Trades and Education and



Early Childhood to speak to students. Economic Development Officers are currently working to deliver these sessions at six local high schools.

- On 30 April and 14 May, 2024 Council hosted a Frankston High School Business Students Q&A session with local businesses. Each session had 40 students and 5 local business owners attend. Students were encouraged to ask the business owners questions relating to starting and running your own business. Mayor Conroy addressed the students and provided an insight into how Council supports local business owners.
- The Frankston Zero Executive Committee met on 30 April 2024 with discussions focusing on opportunities to work collaboratively with our Mornington Peninsula Shire colleagues in tackling some of the 'wicked problems' associated with homelessness. The group felt that there were significant benefits in working collaboratively with the Mornington Peninsula Shire due to many of our clients being transient across both catchments and that the majority of the key agencies working across Frankston and the Mornington Peninsula catchments. The Frankston Zero Executive Committee also met in early June with the focus of the meeting being improved connections with Peninsula Health, with a particular emphasis on the mental health and emergency departments, to assist clients in navigating the system. Peninsula Health expressed interest in continuing the conversations as part of their rebuilding and transforming the mental health and wellbeing crisis services.
- The Frankston City Strategic Housing & Homelessness Alliance met during quarter four to provide stakeholders from across the homelessness and community housing sector with a forum to discuss ideas to address local issues. The Strategic Alliance heard a presentation from the Mental Health Legal Centre on reports of the exploitation of NDIS clients in Supported Independent Living accommodation by some NDIS providers. The Rooming House Working Group, which is a sub-committee to the Strategic Alliance, met twice during quarter four to discuss important matters relating to rooming house clients.
- The Housing Advisory Committee met on 20 May 2024 to monitor progress with its annual work plan and discuss matters relating to housing affordability, and heard a presentation on the new Messaging Guide to Build Support for Social Housing that has been developed by Common Cause Australia to provide a toolkit for local councils in the South East Melbourne region. The Committee also recommended that Council advocated to the Australian Government for better safeguards for NDIS clients accessing Supported Independent Living Accommodation, which resulted in a meeting between the Mayor, CEO and the Hon. Bill Shorten MP. Advocacy letters were also sent to the Victorian Minister for Planning and Minister for Housing to advocate for more innovative initiatives to improve housing affordability, which includes the promotion of social enterprises like HomeGround who are encouraging affordable private rental housing and for the introduction of a land tax exemption scheme for landowners making their land available for registered community housing organisations and social enterprises like HomeGround that are providing affordable housing.
- The Frankston Indigenous Nursery held its annual open day on 6 April 2024. Attendees enjoyed various activities including plant sales and giveaways, nursery and propagation tours, coffee, and a sausage sizzle from the local scout group. Local environmental friend's groups, Garden for wildlife volunteers, wildlife carers, and educators provided valuable educational resources. Ecologist Kelly Smith gave a special presentation on her work with Koala conservation and ways to support these iconic Australian creatures.
- The Autumn School Holiday Rangers program 'Seaford Wetland Wonders' took place on 3 April 2024, at Down's Community Farm. Three sessions were run by Earth Flower Wilding. Despite the autumn rain, the program was a delightful educational experience about native flora and fauna and the importance of biodiversity conservation.
- On 5 June 2024, volunteers gathered to celebrate World Environment Day with a brunch. Special guests Vicky Shukuroglou and Harry Saddler shared stories about land revegetation across Melbourne. The event was a lovely way to acknowledge and thank the environmental volunteers for their efforts.
- As part of the Backyard Biodiversity Workshop Series, Living with Wildlife hosted an in-person workshop aimed at assisting residents to increasing biodiversity and care for local wildlife on 28 April 2024, at the



Frankston South Community Centre. An online fungi webinar was held on June 20th, where Dr. Sapphire shared her 20+ years of experience in the natural fungus world. Upcoming future workshops and webinars will be held in September on attracting local birds and a session on Urban Microbats.

- Volunteers made 32 Gardens for Wildlife visits to talk to residents about steps they can take in their home gardens to support local wildlife.
- In April members of Frankston City's' Community Gardens Network attended a workshop with Dr Luis Mata where they learnt about types of pollinator insects, their value and function and using iNaturalist for identification and to contribute to citizen science.

Frankston Business Collective

The second quarter of 2024 has focussed on the launch and marketing of new membership fees and tiers. This has been very well received and there has been an immediate increase of members – the FBC is now sitting at just on 220 members.

The FBC has held some very successful events over the quarter including:

- Monthly networking events. Numbers were very high and supported by host sponsors, Vicinity and Grace Professional Services.
- Education programs including Business Planning, Better Habits for Better Productivity and
- Participated in the Buy Local campaign with Economic Development.
- Launched proactive advocacy to stop the closure of the Frankston Central Post Office.

The CEO, Jeff Rogut resigned from the role and has been replaced by Bernadine Geary who has been a Board Member of the FBC. The FBC and FCC Economic Development team are currently working together to optimise business and industry relationships.

Additional reporting from the FBC will also be available for the financial year 2024/25.

FINANCIAL AND INTEGRATED PLANNING

Integrated Planning and Reporting update

The Quarter 3 performance report for January to March 2024 was endorsed by Council on 13 May 2024.

Service Planning update

The budget 2024-2028, including year 4 Council Plan actions, was adopted by Council at its meeting on 3 June 2024. Twenty-One (21) written submissions were received with six (6) submitters being heard to support their submissions at the meeting held on Wednesday 22 May 2024.

The broad deliberative engagement on the Vision, new Council Plan, Financial Plan and Asset Plan has now closed and an engagement report will be prepared. As mentioned earlier in this report, Council delivered, 20 community engagement pop ups/intercepts, 6 stakeholder workshops, 2 internal staff engagement sessions, and Comms via FCN, E-News, LinkedIn, social media, newsletters, targeted postcard drops. Achieving 1246 contributions (approx. 1080 in person) plus stakeholder/staff input along with 3700 free text comments about Council services with representation across all demographics. We had 87 residents have expressed interest in joining our deliberative Community Panel;

Detailed analysis and reporting and Recruitment of the Community Panel will conclude in July 2024.



Update on Federal Parliamentary Inquiry into Local Government Financial Sustainability

The House of Representatives Standing Committee on Regional Development, Infrastructure and Transport has commenced a new inquiry into local government sustainability.

The Legislative Council adopted an inquiry into local government funding and service delivery (sustainability) on 21 March 2024 following a referral from the Minister for Infrastructure, Transport, Regional Development and Local Government, the Hon. Catherine King MP. The terms of reference include the effects of cost-shifting from the State and Federal governments, whether Councils are delivering on their core service objectives and the overall revenue structure of local government. Council made a submission to this inquiry highlighting the financial stress many councils such as Frankston City are experiencing and outlining the concerns over the long-term financial sustainability of the sector.

The submission recommended the following actions to the State Government:

- Undertake a review of the rate-capping legislations effectiveness and it's limiting of Council's ability to raise revenue, meeting CPI etc.;
- Undertake a detailed forensic financial analysis of service shifting to Local Government, the cost of implementation/delivery;
- Allocate appropriate funding levels, with a minimum funding split of 50:50 if with one level of government, or a three-way split if with all three levels of government;
- The additional responsibilities falling on Council are costing millions each year, with a strong need for more robust funding allocated by the State Government.

Council's submission in relation to the Victorian Parliamentary Inquiry into Local Government funding and services was submitted in late June 2024 addressing the various forms of financial stress many Councils such as Frankston City are experiencing.

ACCOUNTABILITY AND TRANSPARENCY

Interstate Travel Public Register (Councillor and Staff)

During the April – June 2024 quarter, there was one interstate travel undertaken by a Councillor and four instances of interstate travel by Officers. The Travel Register for Councillors is available on the Council's website under *Documents available for public inspection* and on Council's Transparency Hub.

Training costs associated for staff

An action from Council's Accountability and Transparency (ATR) project was to identify any staff member (de-identified) who has received greater than \$1000 for their professional development in a calendar year and the rationale for the approval. This information now forms part of the Chief Executive Officer's quarterly report for each quarter. This information will also be reflected in a report to the Council's Audit and Risk Committee.

For the previous quarter (01/04/2024 - 30/06/2024) there were training costs greater than \$1000 provided. The focus on implementing the corporate training program continues this quarter.



Department	Directorate	Development Category	Date of start of Training	Total Cost	Rationale for Approval
Family Health Support Services	Communities	Leadership Development	29/8/24 – 31/5/24	\$5880.44(for 4 officers)	Professional Development
Arts & Culture	Customer, Innovation & Arts	Leadership Development	29/4/24 – 3/5/24	\$1385	Professional Development
Family Health Support Services	Communities	Leadership Development	11/6/24- 13/6/24	\$1922	Professional Development

Process for Councillors to seek advice from Governance on legal and administrative matters relevant to role

Previous advice to Councillors wanting to seek legal advice was that Councillors are encouraged to contact the Manager Governance in the first instance, for any governance, legal or administrative enquiries.

A Terms of Reference document has been endorsed by Council in quarter 4 for the CEO Employment and Remuneration Committee in relation to seeking legal advice.

Notice of Motion process

The process for lodging a Notice of Motion (NOM), reasons for rejection and how it is considered in a Council Meeting is detailed under Rule 24 of Council’s Governance Rules. Once a NOM is accepted by the CEO, the full text of the NOM is included in the agenda.

There were four Notice of Motions tabled by Councillors for the April – June 2024 quarter.

Public petition process

The Governance Rules, adopted and amended by Council on 5 September 2022, include amendments to Rule No. 58 for Petitions. This expresses Rule No. 58.10 *“Electronic or online petitions, joint letters, memorials or like applications must contain the name and email address of each petitioner or signatory, which details will, for the purposed of this Rule 58, qualify as the address and signature of such petitioner or signatory.”*

Further changes were proposed to the Petition process in the draft amendment to Governance Rules endorsed by the Council in December 2023. Chapter 3 of the Rules were deferred from release for community engagement in February 2024 and only Chapter 8 Election Period Policy was released and adopted by Council in quarter 4, due to the pending announcement of the reforms to the Local Government Act 2020 for the introduction of a Model Governance Rules. Further updates on the timing of these reforms are awaited from Local Government Victoria.

The Petition Register, listing the summary of all petitions lodged with Council during this Council term, is available on Council’s website under *Documents available for public inspection* and on Council’s Transparency Hub.

Councillor Appreciation awards process

The Councillor Appreciation Awards Protocol was developed to provide guidance on the nomination process for Councillors and the community. Councillors can present a Councillor Appreciation Award at each Council meeting to an individual/group for their extraordinary work in the community. These awards are recorded in the minutes of the council meeting and are considered as nominations for the annual Citizen of the Year awards.

The register of Councillors nominations for Councillor Appreciation Awards is available on Council’s website.



Accountability and Transparency Reform document update

Cr Bolam’s Accountability and Transparency Reform (ATR) commenced in May 2018 with 160 items. These were considered by Officers and where relevant were implemented. New supplementary items to the ATR II were introduced by Cr Bolam in March 2022 and presented to Council’s meeting on 24 October 2022. The remaining items were monitored and reported via the CEO’s public quarterly report until complete and where appropriate considered for Council’s Transparency Hub. The table below outlines the status of the remaining ATR item since July 2023.

At its meeting on 2 October 2023, Council resolved Cr Bolam’s NOM to introduce the ATR III, which required 16 registers already published on Council’s website to be added to Council’s Transparency Hub. Almost all of these registers have been added since then, with at least one remaining Lobbyist and Developer Register.

Accountability and Transparency Reform (ATR) - status update quarter 4 (April to June 2024)	
Supplementary ATR items	
Cr Bolam new items from October 2022	Officer comments
Item 3	
That the next Councillor and Staff Code of Conduct updates are to include the strengthening of compliance with Council’s Lobbyists’ Register and Developers’ Register.	<p>The Local Government Act 2020 includes provisions that allow other matters to be included in the Councillor Code of Conduct, it is noted that the prescribed standards of conduct are the only obligations that must be complied with by a Councillor.</p> <p>IBAC released its report on Operation Sandon with recommendations regarding a lobbyists’ register for Councils. Since then, the Minister for Local Government has announced reforms for the Local Government Act will be coming in 2024 including a Model Councillor Code of Conduct. Council made a submission in response to the proposed reforms in February 2024 and are awaiting further updates on the timing.</p> <p>In the interim, Cr Bolam’s NOM ATR III Council resolution requires Council’s Lobbyist and Developer Register to be released on Council’s Transparency Hub.</p> <p>On hold until further information released.</p>

Councillor Attendance

One of the items identified in the original ATR was to provide a quarterly status of Councillor Attendance at Councillor Briefings. The overall status is included in the Annual Report every year and updated quarterly on Council’s website. As resolved by Council on 11 September 2023, the record of Councillor briefings including the list of topics discussed, Councillors attendance and the ‘Conflict of Interest’ declarations, if any, are also being reported through the Governance Matters Report at each Council meeting.

The status of Councillor Attendance at Council Meetings is also required for the Local Government Performance Reporting Framework indicators as part of reporting to Local Government Victoria (LGV). These are provided to the community via LGV’s Know Your Council website and in the Annual Report every year. The information will be included on the Transparency Hub before the end of the financial year. During quarter 4 (April – June 2024) there were five (5) Council Meetings and eight (8) Councillor Briefings.



Table 1 titled, 'Councillor Attendance at Meetings and briefings (April to June 2024)' below provides an overview of attendance for this period.

Councillor Attendance at Meetings and Briefings - April to June 2024

Councillor	Council Meetings Attended	Councillor Briefings Attended	Total Attended	Attendance
Cr David Asker	5	7	12	92%
Cr Sue Baker	5	8	13	100%
Cr Kris Bolam	5	8	13	100%
Cr Nathan Conroy	5	8	13	100%
Cr Claire Harvey	5	8	13	100%
Cr Brad Hill	5	8	13	100%
Cr Liam Hughes	4	5	9	69%
Cr Glenn Aitken	5	8	13	100%
Cr Suzette Tayler	5	5	10	77%
Total	44	65	109	93%

Table 2 below notes Councillor Attendance at Briefings only for the quarter is as follows:

**Councillor Attendance at Briefings only
 April to June 2024**

Councillor	Council Briefings	Attendance
Cr David Asker	7	88%
Cr Sue Baker	8	100%
Cr Kris Bolam	8	100%
Cr Nathan Conroy	8	100%
Cr Claire Harvey	8	100%
Cr Brad Hill	8	100%
Cr Liam Hughes	5	63%
Cr Glenn Aitken*	8	100%
Cr Suzette Tayler	5	63%
Total	65	90.28%

Reports presented to Council at meetings closed to the public

Council continues to serve its community with integrity through transparency, good governance and accountability. There has been an astounding reduction in the percentage of the reports presented to Council in a meeting closed to the Public, represented by 28% (2018-2019), 18.84% (2019-2020), 8.92% (2020-2021), 5.86% (2021-2022) and 2.34% in (2022/2023). There has been a further reduction in the percentage of the reports presented in meetings closed to the Public in 2023/24, represented by 2.12%.



In 2021-2022, Council's result for the Local Government Performance Reporting measure 'Decisions made in Closed Council' was 5.86%, as against the average of 7.44% for all Victorian Councils, demonstrating the better transparent decision making for the community. The average for all Victorian Councils has been less than 10% since 2016. Since July 2020, contracts are tabled in open Council Meetings. Agendas and reports were also streamlined to ensure they are tabled in open agendas at every Council Meeting.

During Quarter 4 (April-June 2024), there were no decisions made in Council Meetings closed to the public. During this time, 34 reports were presented to Council Meetings open to the public. There were four (4) Notice of Motions and no Urgent Business item raised during the last quarter. This information is available on Council's Transparency Hub.

Implementation and review of effectiveness of key policies from previous financial year

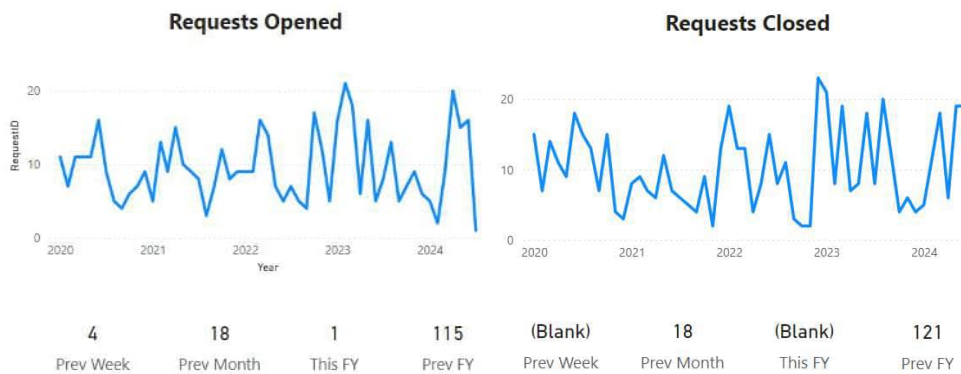
During 2022-2023 there were four policies on the Policies Register selected for review to assess their effectiveness. A survey was conducted with 29 responses received and feedback provided indicated the selected policies were effectively implemented.

A report has been prepared to the Audit and Risk Committee to provide an update on the overall status of the Policy Register, an improved approach to reviewing the effectiveness of policies and a review of the Policy Framework.

Reports on progress against Councillor Requests

The status indicates there are currently 15 open Councillor Requests. During the 2023-24 financial year there were 121 requests closed off and a total of 115 new Councillor Requests were opened. Councillor requests are assigned to the relevant Department Manager for investigation and monitored by the Governance team. Regular updates on progress are provided to Councillors via the Council Request Report Portal and officers liaise with residents to resolve the request.

Tables 3 & 4 - Councillor Requests opened and closed for the financial year to date from 1 July 2023 against previous financial years 2020-2023:





Procurement update

To promote accountability and transparency, the following reports are provided:

Contracts awarded under Financial Delegation between 1 April and 30 June 2024.

Contracts valued over \$1,000,000 (GST exclusive) are awarded in open Council Meetings.

Contract No.	Title	Award Date	Supplier	Contract Value (\$ ex GST)	Awarded By
CN11056	Jubilee Park (Stage 1) - Landscape Works	29/04/2024	UDL GROUP Pty Ltd	431,000.50	CEO
CN11071	Construction of Local Shopping Strip Fairway Street upgrade	7/05/2024	Blue Peak Constructions Pty Ltd	400,408.18	CEO
CN11158	Frankston Foreshore Boardwalk Lighting	15/05/2024	KLJ Electrical Pty Ltd	183,640.00	Director
CN11316	Lighting Frankston Plan Waterfront Precinct	31/05/2024	KLJ Electrical Pty Ltd	110,078.00	Director
CN11369	Installation of Storage Shed at Operations Depot (Centenary Park Golf Course)	2/05/2024	D Q Construction PTY LTD	211,692.19	Director
CN11400	McClelland Reserve Grandstand Refurbishment	30/04/2024	More Building Group Pty Ltd	184,750.00	Director
CN11425	LM5513-2023 Provision of Library Materials - Audio Visual	17/04/2024	DM Entertainment Pty Ltd	90,000.00	Manager
CN11433	Seaford Wetlands Rejuvenation Viewing Platform and Shelter	20/05/2024	Maw Civil Marine Pty Ltd	746,370.07	CEO
CN11458	Street Light Bulk Changeover Project - Supply of LED Lights	29/05/2024	Schreder Australia Pty Ltd	395,430.00	CEO
CN11468	Provision of Loan Finance 2024/25	28/06/2024	Treasury Corporation Victoria	NA	CEO
CN11471	Legal Representation Fees 438-444 Nepean Highway, Frankston - VCAT P125/2023	1/04/2024	Maddocks	99,999.00	Manager
CQ11185	Home Gutter Cleaning Panel	10/05/2024	Bains Property Maintenance Group HSC Facility Service Superior Tradesmen T/A Roof Gutter Cleaning Melbourne	Schedule of Rates	Director
CQ11326	Monterey Reserve Master Plan Stage 2	4/06/2024	PLAYCE PTY LTD	79,900.00	Manager
CQ11358	Frankston North Gateway Landscaping	9/04/2024	Open Playscapes Pty Ltd	149,968.50	CEO
CQ11364	Stormwater Quality In-lieu Contributions Scheme Policy	4/04/2024	Marsden Jacob Associates Pty Ltd	99,750.00	Director
CQ11373	Lloyd Park Tennis Court Car Park Lighting	20/05/2024	HIGH ACCESS CABLING PTY LTD	77,920.00	Manager
CQ11374	Bridge Illumination Program - Wells Street	24/05/2024	KLJ Electrical Pty Ltd	62,760.00	Manager



CQ11387	Road Safety Strategy FCC 2024	3/04/2024	SAFE SYSTEM SOLUTIONS PTY LTD	36,675.00	Manager
CQ11408	Probity Advisory Services Panel	10/05/2024	Landell Probity Pty Ltd	100,000.00	Manager
CQ11409	Wedge Road Public Lighting Upgrades	3/06/2024	UTILITY SOLUTIONS GROUP PTY LTD	83,061.64	Manager
CQ11410	Carrum Downs Recreation Reserve - Landscape Works	7/05/2024	Commercialsapes Pty Ltd	67,184.76	Manager
CQ11418	Outdoor Dining Parklet removal from Nepean Highway	11/04/2024	Maw Civil Marine Pty Ltd	53,450.00	Manager
CQ11430	Shared User Path Maintenance	23/04/2024	ULTIMATE CIVIL PTY LTD	56,518.00	Manager
CQ11438	Peninsula Reserve BBQ & Picnic Shelter Installation	13/06/2024	Sustainable Landscaping	61,621.07	Manager
CQ11445	Peninsula Reserve Landscaping Stage 2	17/05/2024	Commercialsapes Pty Ltd	54,227.54	Manager
CQ11448	Norman Avenue and McComb Boulevard Drainage Works	17/05/2024	APS Drainage and Civil	47,438.00	Manager
CQ11452	Frankston South Drainage Bay Street Drainage Outfall	3/06/2024	GEOTESTA PTY LTD	68,371.50	Manager
CQ11454	Grand Piano Renewal Frankston Art Centre	17/06/2024	DALE CLEVES MUSIC PTY LTD	92,727.27	Manager
CQ11462	Centenary Park Golf Course 10th and 17th Bunker Constructions	5/04/2024	SJM TURF & CIVIL PTY LTD	50,265.00	Manager
CQ11464	Landscaping Works - Cranbourne Rd and Lindrum Rd Intersection and Ferndale Median at Cranbourne Rd	13/06/2024	Summit Open Space Services	73,400.74	Manager
CQ11469	VMWare	26/06/2024	Onel Consulting Pty Ltd	60,442.53	Manager

Contracts granted exemption by CEO from Procurement Process between 1 April and 30 June 2024.

Contract No	Contract Title	Award Date	Supplier	Contract Value (\$ ex GST)
E11411	LinkedIn Talent Accelerator Program	15/04/2024	LinkedIn Singapore Pte Ltd	39,996.00
E11420	Strategic Advice for AI	15/04/2024	The 852 Group Pty Ltd T/A Customer Experience Innovation	24,000.00
E11434	(Lloyd Group) Jubilee Park Stadium - Interpretive Signage	24/04/2024	Form A Sign Pty Ltd	62,340.00
E11434	DTP Consent - Kananook Commuter Carpark Access (Wells Road / Bardia Avenue)	26/04/2024	Department Of Transport and Planning	169,929.39
E11440	Frankston Planning Scheme Amendment C160fran Planning Panel Hearing	14/05/2024	Department Of Transport and Planning	100,000.00



E11450	Active Paths Initiative	13/05/2024	BICYCLE NETWORK	42,500.00
E11453	Aspire Platform - Waste Materials Marketplace	24/05/2024	ADVISORY SYSTEM FOR PROCESS INNOVATION AND RESOURCE EXCHANGE	54,000.00
E11457	Native Vegetation Offset Site Due Diligence Investigation	28/05/2024	The Abzeco Unit Trust T/A Abzeco Pty Ltd	12,750.00
E11463	Linkedin Learning	13/06/2024	LinkedIn Singapore Pty Ltd	24,530.00
E11470	Security Works - Baden Powell Kindergarten	27/06/2024	Logical Services Pty Ltd	50,000.00

KEY PROJECT UPDATES

The 2023/24 Capital Works Program is concluding, and while we continue to manage a significant capital works budget in a cost escalated environment, Council remains committed to delivering key infrastructure and vital services to the community.

As of 3 July 2024, Council has delivered actual expenditure of \$79.20M, with a forecast expenditure of \$84.58M against the Adjusted Capital Works Budget of \$93.28M; which equates to 90.7% delivery of the Annual Capital Works Program.

Lloyd Group Liquidation

The Lloyd Group went into liquidation in April 2023, at the time, Council had four contracts with the Lloyd Group on the following projects:

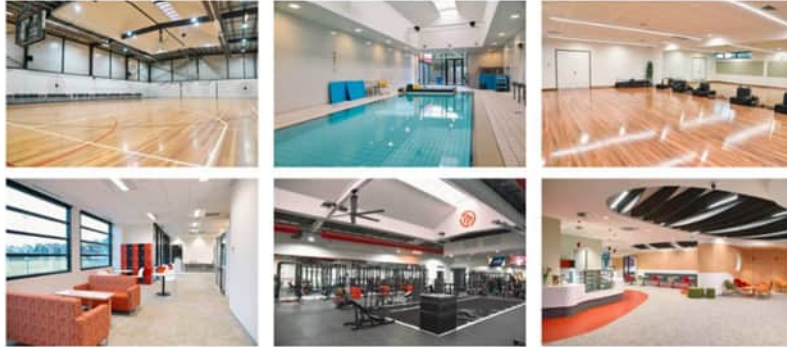
- Jubilee Park Indoor Multipurpose Netball Complex;
- Eric Bell Reserve Pavilion Redevelopment;
- Healthy Futures Hub at Belvedere Reserve (formerly Linen House Upgrade);
- Lloyd Park Football Pavilion Upgrade.

Council officers worked diligently with Deloitte, affected sub-contractors and interested builders to progress discussions on the completion of remaining works at all four sites. Additionally, the process was undertaken to ‘cash out’ Bank Guarantees (total of around \$2.25M) held by Council against the above projects to help offset budget impacts related to the above projects.

Despite being a very challenging and complex process, Council officers always worked collaboratively internally and externally with a range of stakeholders and, ensured decisions were made in the best interest of Council protecting Council reputation and financial exposure. All four projects are now complete and handed over to tenants and clubs.



Healthy Futures Hub (HFH), Seaford



Jubilee Park Stadium



Eric Bell Reserve Pavilion





Lloyd Park Football Pavilion



Kananook Commuter Car Park and Signalisation

Construction of the new \$22 million multi-level Kananook Commuter Car Park to provide 328 car spaces for commuters of Kananook Railway Station and future users of Frankston Basketball Stadium, is progressing well. The key activities completed to date includes completion of footing works, installation of precast concrete wall panels and slabs for multi-storey building. Project is fully funded by Federal Government grant funding.

Additionally, works to upgrade the intersection of Bardia Avenue and Wells Street have now commenced. The works include full signalisation of the intersection, including new pedestrian-operated signals and traffic islands, associated civil works and street lighting upgrades.

Car park and associated works are expected to be completed by October 2024.





Seaford Child and Family Centre and Langwarrin Community Hub

The Seaford and Langwarrin local area are two of five priority areas within Frankston City where the need for service development and expansion to meet future kindergarten demand has been identified.

The purpose of the projects is to provide for proposed integrated kinder facilities. The new facilities will satisfy modern functional requirements and provide sustainable use for the future. It will meet current building regulations and DDA requirements. The new facilities will also be able to integrate other services, such as community centre, MCH and youth group.

The new Seaford Child and Family Centre will include the following main functional areas:

- 2 Kinder room kindergarten;
- Maternal and Child Health (MCH) include two consult rooms;
- The third consult room;
- Youth Centre;
- Multipurpose room and staff rooms;
- Storage and amenities;
- Carpark.

The new Langwarrin Community Hub will include the following main functional areas:

- Existing Langwarrin Community Centre will be reconfigured and renovated, including Occasional cares;
- 3 Kinder room kindergarten;
- Maternal and Child Health (MCH) include two consult rooms;
- Second entrance for kindergarten and MCH;
- Multipurpose room and staff rooms;
- Storage and amenities;
- Additional Carparks.

Design works for both Kinder's progressed in 23/24 with tenders for construction advertised in June 24. Subject to tender evaluation process, it is expected both projects will be considered by Council for award at its September 2024 Council meeting. Construction works for both sites expected to commence in early 2025.

Baden Powell Kindergarten

Works are now underway to replace existing Baden Powell Kindergarten with a new modular building which will provide centre with 3 new kindergarten rooms and an outdoor play area, creating up to 99 new kindergarten places for local families in Frankston South.

This project is part of the Building Blocks Partnership between the State Government and Frankston City Council. The new building will include the following:

- Increase from one to a three-room kindergarten.
- Increased kindergarten places to 99 places.
- Beautifully designed and refreshed outdoor play space.
- One Maternal & Child Health consultation room.
- One Allied Health consultation/meeting room.
- Dedicated Playgroup room.
- Dedicated Playgroup outdoor space.



Works have now commenced and are expected to be completed by December 2024.

Frankston Basketball & Gymnastics Stadium Project Update

At the Council meeting on 11 September 2023, Council endorsed revised concept plans to renew and expand upon the existing stadium at Bardia Avenue, Seaford. The new stadium will include ten (10) sports courts and the first dedicated community level gymnastics space within Frankston City. With this decision the project has now moved to the detailed design and approvals phase. The new-look Frankston Basketball and Gymnastics Stadium will feature:

- A ten (10) court basketball stadium, with six new courts and four existing courts upgraded.
- A dedicated 1000 sqm gymnastics space including training pit and dedicated gymnastics viewing area.
- New amenities and change rooms to service players and spectators.
- A new Cafe, merchandising, and reception areas.
- Referees' areas including change facilities.
- Storage provision.
- Shared meeting rooms, offices, and administration spaces.
- Multi-purpose function rooms overlooking the show court.
- New entry, foyer, circulation, lift and stairs.
- External car parking, car park lighting, landscaping, and pedestrian connections.
- The redevelopment is targeting 5 Star GreenStar Buildings Certification by the Green Building Council of Australia (GBCA).

Council has engaged Williams Ross Architects (WRA) for the design development phase of project which is now progressing well. Tender for construction is expected to be out to market in late 2024 with construction of facility underway in mid-2025.

Project has a budget of \$60 million which includes \$30 million Council contribution with remaining costs equally funded by state and federal government.

Proposed Site Plan (Prepared by Williams Ross Architects)





Ballam Park Improvement works

Play Space and Landscape Project

- Construction of the second and final stage of the play space project at Ballam Park has now been completed, and has been opened to the public. Stage 1 was completed just prior to Christmas 2022. Both the Play Space and water play in stage one, and the additional stage 2 play space works have been well received as demonstrated via Social Media posts and the numbers using the area, even in this colder period.

Integrated Water Treatment/Lake Feature Project

- This project incorporates a bio-retention system and ornamental lake at Ballam Park in the north-east precinct adjacent to Karingal Drive and Naranga Crescent. Also included in the project are rain gardens, integrated ornamental lake, landscaping, new picnic shelter and barbecue, jetty, viewing platform, fountain, path connections, seating, LED lighting and sculptural elements.
- Council was successful in obtaining a grant from Melbourne Water for the project due to the environmental and integrated water benefits of the project.
- A contractor was appointed by Council at its meeting on 23 October 2023.
- Construction commenced in late 2023 and is progressing well, with formation of the lake and rain gardens mostly completed and works commencing of furniture and landscaping. The anticipated completion timing for the project remains July/August 2024.

Kananook Gardens Project update

- Delivery of the new pathways were completed in late March 2023 with the boardwalk completed in July 2023, being the main elements of this stage of works.
- The remaining Interpretative and wayfinding Signage component installation were to commence later in 2023. There was some original scoping undertaken however, and there is no budget for implementation this financial year.
- Design of a rotunda commenced in 2023/24 however funds are not allocated in 2024/25 for further works on this project.

KEY MEETINGS AND ACTIVITIES

During this quarter (April to June 2024) the CEO attended meetings either face to face or virtually. The CEO performed the role of Master of Ceremonies at several significant events during this time. Participating in many internal meetings with staff from across Council is a priority for the CEO.

Listed below is a snapshot of the meetings attended by the CEO during this period:

- Weekly meetings with the Mayor covering topics such as Advocacy, Communications, Developers matters and Economic Development, Investment & Activation;
- Participation Waste Board meetings;
- Participation in the Affordable and Social Housing sub-committee meetings;
- Participation in the Destination Events Working Group;
- Participation in the Housing Working Group;
- Participation in various meetings managed through the Mayor and CEO session format;
- Participation in various meetings with Council's Management Team;
- Participation in Corporate Induction program;
- Participation in FMAC Coordination Group meetings;



- Participation in the Council's Audit and Risk Committee meeting;
- Participation in Joint State/Local Government Monthly CEO forums;
- Participation in the MAV Metropolitan South Regional meeting;
- Participation in the Frankston Basketball & Gymnastics Stadium Redevelopment Project Advisory Group meeting;
- Participation in the Frankston Suburban Revitalisation Board meeting;
- Various meetings with newly elected Member for Dunkley;
- Meeting with CEO of Committee for Frankston & Mornington Peninsula;
- Meeting with representatives from Monash University;
- Meeting with representatives from Federation University;
- Meeting with representatives from Department of Transport;
- Participation in a number of meetings with fellow CEO's regarding South-East Melbourne Advanced Waste Processing (SEMAWP);
- Attendance at various Greater South East Melbourne Group (GSEM) meetings involving CEOs;
- Attendance at the GSEM hosted event at Parliament House, Melbourne;
- Participation in a number of Federal Members of Parliament meetings as a GSEM representative, Canberra;
- Meeting with representatives from Australia Post;
- Visits to Council's 43 Davey Street office;
- Visits to the Council's Operations Centre;
- Visit to the Frankston Library;
- MC role for the opening of Lloyd Park Pavilion;
- MC role conducted at Australia Citizenship Ceremonies hosted by Council.

ADVOCACY

Council hosted a dinner meet and greet on 6 May 2024 with newly elected Federal Member for Dunkley Jodie Belyea MP, Councillors and the Executive Management Team. Council met with all Frankston City Members of Parliament (Dunkley, Carrum, Frankston and Hastings) on Tuesday 11 June 2024 with updates shared by all key attendees including:

- Council update on local state and/or federally funded projects;
- Federal Budget 2024-2025 highlights;
- Upcoming Federal Government funding programs;
- Victorian Budget 2024-2025 highlights;
- Housing;
- McClelland Gallery and Sculpture Park;
- Young Street Action Plan aimed at improving the look, feel and function of Young Street;
- Frankston Metropolitan Activity Centre (FMAC) Structure Plan;
- Australia Post closure of Wells Street Post Office.

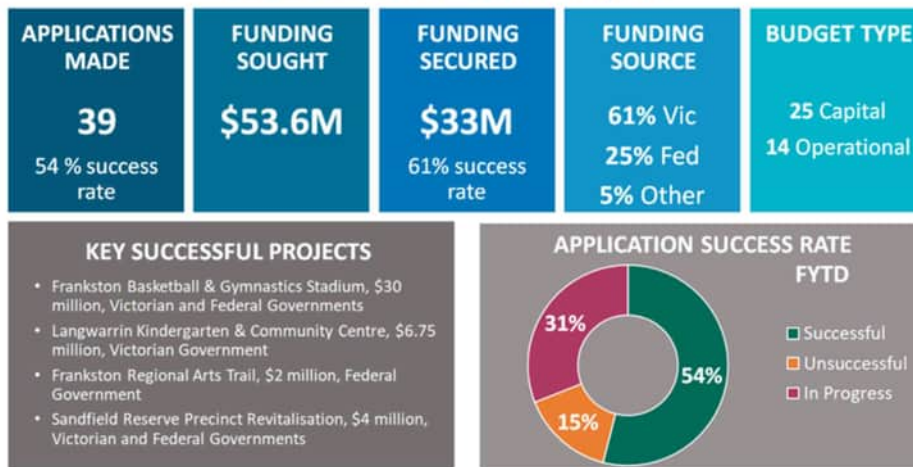
On 28 June 2024 Council met with Frankston City Members of Parliament (Dunkley, Frankston and Hastings) to present an update on the Frankston City Housing Advisory Committee and hear from Federal and State representatives their government's policies, plans and initiatives that support housing growth across Frankston City.



Grant Tracking Report

Council regularly applies for State and Federal Government funding through various grant programs available for projects, programs and services delivered by local government. This is also how Council secures the delivery of election campaign commitments.

2023-2024 FY Grant Report



Please note: grant report data is accurate at the time of reporting and is subject to change as new information arises.

Greater South East Melbourne Group (GSEM)

During this period, meetings were held monthly with the GSEM CEO group enabling opportunities for Frankston to advocate for better outcomes (includes shires of Cardinia and Mornington Peninsula, and the cities of Knox, Casey, Frankston, Greater Dandenong, Kingston and Monash). The vision is for job creation, job retention, future proofing the community and ensuring liveability and sustainability. The CEO is also a member of the newly formed Southeast Airport regional Working Group (part of GSEM), the group will focus on achieving an airport in the Cardinia Council municipality. There were no meetings held during this period. The Council was briefed on this project during this period.

A successful delegation visit to Canberra was conducted during this period (26-27 June 2024) with Mayor Conroy and the CEO representing Frankston City Council as part of the GSEM Mayor and CEO delegation.

The focus of the delegation visit was to bring a united group to advocate to Federal Members of Parliament highlighting the group’s objectives and to encourage Members of Parliament to include the group in any future discussions regarding policy about the region.



Frankston Suburban Revitalisation Board

The second meeting of the locally managed Frankston Suburban Revitalisation Board (FSRB) took place on 6 June 2024. It was chaired by the Mayor, Cr Nathan Conroy and covered topics such as:

- Introduction of new Board member Bernadine Geary, Interim CEO of Frankston Business Collective;
- Young Street Action Plan aimed at improving the look, feel and function of Young Street;
- Opportunity for housing in Frankston's city centre, including student accommodation with Monash University;
- Peninsula Health CEO Felicity Topp resignation.

Importantly, this meeting was an opportunity for the Board members to consider the future goal and operations of the new locally managed Board which was delivered through a facilitated workshop. A new vision will be considered by the Board utilising the feedback provided at this workshop. The FSRB meets quarterly and is co-chaired by the Frankston City Mayor and State Member for Frankston on rotation. The next meeting of the FSRB will be held in early August 2024, to be chaired by Mr Paul Edbrooke MP, State Member for Frankston.

Update on Community Support Frankston (CSF) Inc. financial support

Internal and external building safety modifications continued with rear gate access and intercoms fully actioned and internal duress alarms also completed. Swipe card access to be managed on-site is planned for the next stage of works. Additional and top-up funding for CSF as part of Council's COVID Relief ceased on 30 June 2024. This will no longer be reported in the CEO's report going forward.

AUDIT AND RISK

Homelessness update

The Housing Advisory Committee met on 20 May 2024 to monitor progress on its annual work plan and received three key updates. These included an update on the community engagement campaign being developed by Common Cause Australia about the benefits of diversity in housing within communities, and preparation for the Committee's meeting with Members of Parliament on 28 June 2024.

The Committee also received an update on advocacy, following Council's resolution on 22 April 2024, that Council:

Endorses the Housing Advisory Committee's recommendation that Council writes a letter to the local state MPs to advocate for the Victorian Government to:

- *Proactively promote the benefits to property investors of leasing their properties as affordable private rentals or affordable community housing through HomeGround and other social enterprises;*
- *Introduce a scheme to provide land tax exemptions for land owners that are providing affordable rental properties on that land through approved property management providers like HomeGround.*

The Housing Advisory Committee met Jodie Belyea MP and Paul Edbrooke MP on 28 June 2024 in discuss affordable housing and how different levels of government could work together to provide more housing in Frankston City. This meeting was attended by Mayor Conroy, Cr Baker and Cr Aitken, as well as the CEO, Manager City Futures and Coordinator Social Planning and Policy.



The Strategic Housing and Homelessness Alliance met on 16 April 2024 to provide stakeholders from across the homelessness and social housing sector with a forum to discuss local solutions to homelessness and social housing. The Alliance received and discussed a presentation from the Mental Health Legal Centre on Supported Independent Living (SIL) facilities and Vulnerable Community Members.

The Frankston Zero Executive Committee met on 30 April 2024 with discussions focusing on opportunities to work collaboratively with Mornington Peninsula Shire in addressing homelessness. The group felt that there were significant benefits in working collaboratively due to many of the clients being transient across both catchments and that the majority of the key agencies also work across the two. The Frankston Zero Executive Committee also met in early June with the focus of the meeting being improved connections with Peninsula Health, with a particular emphasis on the mental health and emergency departments, to assist clients in navigating the system. Peninsula Health expressed interest in continuing the conversations as part of their rebuilding and transforming the mental health and wellbeing crisis services.

Audit and Risk Committee update

The Audit and Risk Committee met once during this period, Friday 3 May 2024. The agenda included internal audit reviews of Financial Controls and the implementation of Key Council Strategies, an update on the policy register status and the draft budget along with risk reports. The next meeting for the Audit and Risk Committee is scheduled for 12 July 2024.

Aged Care Reform & Current Community Need

Reform consultation and engagement continues with community and providers. Home Care Package providers will commence the new Support at Home program in July 2025, which is earlier than Commonwealth Home Support Programme (CHSP) providers. It is important that the new Aged Care Act is in place prior to commencement for all providers as this will provide adequate time to implement the changes required. As such, the new Aged Care Act, which was due to commence on 1 July 2024, has now been delayed due to commence in December 2024. It is likely that the new strengthened Aged Care Quality and Safety Standards will also be delayed to better align with the new Act.

Frankston's service agreement for 2024-25 with the Commonwealth was received in June and is now fully executed by all parties. All CHSP services will continue to be delivered as per the agreement, noting there is no change to service provision for 2024-25. Additionally, officers have applied for Community Transport funding via the Commonwealth's growth funding stream. The Community Transport service is currently fully funded by Council, if the application is successful the service has the potential to be fully funded by the Commonwealth.

All Community Care services are operational. All clients have been provided with a letter to outline the fee increase for 2024-25. Additionally, all gutter cleaning clients were sent a letter to advise that the gutter cleaning service that has been closed for a significant duration, will resume in July. This letter includes details on the new fees, along with the reasons why there has been an increased contribution required for clients.

There are currently 95 service requests in the My Aged Care Portal (MAC) for Community Care services, including 19 requests for gutter cleaning. All services are now open with the exception of respite, unescorted shopping and domestic assistance. As capacity increases, services that are currently closed will be re-opened.



Update on Kindergarten Reform

The draft Kindergarten Partnership Strategy 2024-2034 is now complete. The Strategy was presented to Council at the 24 June Council meeting and Councillors unanimously endorsed the Strategy for the purpose of information sharing and public exhibition. A report will come back to Council on 12 August 2024 for formal adoption and will include any feedback received from community and stakeholders.

The Baden Powell kindergarten project in Frankston South commenced in June, the old buildings have been demolished and the new modular building is scheduled to be established early July. Officers have commenced conversations with the Department of Education for the building to be formally 'gifted' to Council. The project remains on schedule for the kindergarten to open in February 2025.

The Langwarrin and Seaford Child and Family Centre projects are currently out for tender. A builder is expected to be appointed at a Council meeting in September. Both projects remain on track for the facilities to open in February 2026. Officers have applied for formal funding for the Seaford Child and Family Centre via the Building Blocks Partnership in June and the outcome of the 4.5-million-dollar application is expected to be in the next month.

~ Thank you for taking the time to read this report.

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Executive Summary

12.3 Municipal Early Years Plan (MEYP) Year 3 Update

Enquiries: (Claire Benzie: Communities)

Council Plan

- | | |
|----------|---|
| Level 1: | 1. Healthy and Safe Communities |
| Level 2: | 1.1 Engage families to promote the importance of early childhood education and health |

Purpose

To inform Council on the progress on the year three actions of the Municipal Early Years Plan 2021-2025.

Recommendation (Director Communities)

That Council:

1. Notes the progress of the Municipal Early Years Plan (MEYP) 2021-2025, which represents a holistic and robust roadmap for enabling best outcomes for families with children aged 0 to 6 years in the municipality;
2. Acknowledges highlights from the Year Three Actions including the development of the Kindergarten Partnership Strategy, roll out of the INFANT Program (Infant Feeding, Active Play and NuTrition) by Council's Maternal and Child Health Service which helps families establish healthy lifestyle behaviours, and delivery of an online webinar on Referral Pathways to better assist allied health and support services professional to when referring parents to programs and services;
3. Celebrates the partnership between Council, the Cities of Casey and Greater Dandenong and Nar Mar Djambana in developing the "Regional Balit Boobop Narrkwarren (BBN) Bunorong Country Adaptation Training." Balit Boobop Narrkwarren means 'strong baby and family' in Woiwurrung language. It is a culturally adapted model of Council's Baby Makes 3 program;
4. Celebrates that the partnership referred to in Recommendation 3 of this resolution, resulted two awards – the 2024 LGPro Excellence Award in the First Nations Community Partnership Initiative category and 2024 Reconciliation Victoria Maggolee Award for Excellence for the Balit Boobop Narrkwarren Project; and
5. Supports officers to continue implementing the MEYP actions over the next 12 months.

Key Points / Issues

- The MEYP represents a holistic and robust roadmap for enabling best outcomes for families with children 0-6 years in the municipality, and integrated planning across Council, demonstrating a whole-of-Council commitment to the early years in Frankston City.
- The Family Health Support Services Early Years officers commenced implementation of the adopted Plan in July 2021. The Plan was distributed to relevant stakeholders and printed copies were placed in public community spaces to ensure access to the information.

12.3 Municipal Early Years Plan (MEYP) Year 3 Update**Executive Summary**

- Across 2021-22 and 2022-23, eleven actions were listed and 27 were ongoing across the duration of the plan, 2021-25. All 38 actions commenced, several were completed, some remain ongoing and one was delayed to 2023-24 due to competing priorities. Actions that have been completed are now embedded into every day practice.
- In 2023-24, five new actions were listed, four are in progress and one has been completed. The four that have commenced relate to the exploration of new opportunities and collaboration across all early years services. In addition to the year three actions there are 27 actions listed to be completed across four years. To date, 22 of the 27 have been completed, noting an additional two have been completed that were not due to commence until 2024-25.
- The following are highlights from the year three actions:
 - The Best Start Program in collaboration with external organisations, delivered an online webinar for Referral Pathways to around 75 participants from early years services. This complimentary webinar offered valuable information from local allied health and support services to teachers, educators, and early years practitioners. The outcome to increase professional confidence in identifying and referring parents to programs and services was achieved with a significant number of participants reporting a significantly enhanced understanding of service systems and their ability to refer families. This supports the objective to increase the number of children who are developmentally prepared before starting school.
 - The Development of the Kindergarten Partnership Strategy provided opportunity for planning and advocacy for additional kindergarten provision across the municipality. Extensive community engagement was undertaken to gain a clear understanding of the need for increased and improved kindergarten and early years services. Establishment of the Building Blocks Partnership has enabled Council to secure funding for two custom build kindergartens in the municipality which also bring together other support services for children, families and the broader community. In addition to this a modular kindergarten has been delivered in Seaford and another is under construction in Frankston South. These modular kindergartens are delivered by the Victorian School Building Authority, in collaboration with Council.
 - In 2023-24, the Maternal and Child Health Service rolled out the INFANT Program (INfant Feeding, Active play and NuTrition). The INFANT Program is an evidenced based program to help families establish healthy lifestyle behaviours from the start of life, whilst providing a social opportunity to support families. The program consists of four face-to-face group sessions run for 90 minutes and are delivered when infants are 3, 6, 9 and 12 months of age. INFANT sessions promote good nutrition, healthy eating and increased activity levels at the foundation of a child's life to set health habits and to minimise risk of morbidity later in life. This program contributes to reducing the deterioration of health and safety in the Frankston Community.
 - The Maternal and Child Health Service continue to support connection to community for Aboriginal and Torres Strait families in our municipality. Through the federally funded City of Greater Dandenong Indigenous Australians' Health Programme - New Directions Mothers and Babies Services, Frankston City Council's MCH Service was granted limited funding dedicated to an outreach based Aboriginal Maternal and Child

12.3 Municipal Early Years Plan (MEYP) Year 3 Update**Executive Summary**

Health Liaison Nurse role. This role attends Aboriginal Yarning Groups, providing health and development information and support, as well as providing Maternal and Child Health services to families in attendance. This role also heavily liaises, collaborates and works in partnership with other Aboriginal services, programs and stakeholders. The Aboriginal Maternal and Child Health Liaison Nurse also attends Frankston's First Peoples Health & Wellbeing fortnightly providing MCH Services onsite.

- Frankston City Council, in collaboration with our valued partners from the City of Greater Dandenong and City of Casey (as part of the Indigenous Australians' Health Programme - New Directions Mothers and Babies Services), were awarded a 2024 LGPro Excellence Award in the First Nations Community Partnership Initiative category. The award submission was made in acknowledgment of the work that has been achieved with the development of the Regional Balit Booboop Narrkwarren (BBN) Bunurong Country Adaptation Training in partnership with healthAbility and Uncle Shane Charles, Frankston City Council, City of Casey, Nairm Marr Djambana and Aunty Deborah Mellett. Balit Booboop Narrkwarren, which means 'Strong Baby and Family' in Woiwurrung language, is a culturally adapted model of the Baby Makes 3 program. Additionally, the partnership was also awarded a 2024 Reconciliation Victoria Maggolee Award for Excellence for the Balit Booboop Narrkwarren Project.
- A review of MCH workforce has been undertaken in response to an increase in families experiencing mental health issues impacting the workload of the Universal MCH program, as well as increased the referrals to the Enhanced MCH program, which is already at capacity. This review resulted in converting the vacant Enhanced Family Support Worker position to a Family Mental Health Practitioner position. This position will support families experiencing mental health issues, provide referrals and linkages to local community services and secondary consultation for the MCH team. Recruitment of the Family Mental Health Practitioner position is currently underway.
- Several challenges were experienced over 2023-24:
 - Exploration of the re-introduction of out of hours MCH Service has commenced, however is unable to be progressed at this time due to budget constraints. If community feedback warrants, further scoping will be completed, and resourcing requirements will be progressed through the service planning and annual budget process.
 - Staff resourcing and budget constraints have inhibited MCH and Immunisation services progressing outreach to Library Story Times. Library Services continue to attend MCH First-Time Parent Groups on a regular basis, which has received positive feedback from both clients and staff.
 - Consulting with children to gain their valuable feedback poses a number of challenges that requires further investigation, including the need to obtain informed consent. More research is required to ensure that children's rights are protected, appropriate facilitation is used to obtain feedback and the team is skilled in interpreting the information shared by children to ensure it is accurate and meaningful.

Financial Impact

There are no financial implications associated with this report.

12.3 Municipal Early Years Plan (MEYP) Year 3 Update**Executive Summary****Consultation****1. External Stakeholders**

- External stakeholders consulted across the year three and ongoing MEYP actions include: Early Years Service Providers
- Members of the Frankston Mornington Peninsula Child and Family Partnership
- Members of the Best Start Partnership
- Health and Family Service Providers

2. Other Stakeholders

Internal stakeholders consulted across the year three and ongoing MEYP actions include:

- Family Health Support Services
- Community Strengthening
- Building and Facilities
- Frankston City Libraries
- Operations

Analysis (Environmental / Economic / Social Implications)

Implementing Councils MEYP actions will yield positive social, economic, and environmental impacts. Socially, new initiatives and current efforts will foster inclusive communities by providing equitable access to early education and childcare, thereby supporting children's development regardless of socioeconomic background. This inclusivity promotes social cohesion and reduces disparities in educational outcomes, laying a foundation for a more equitable society.

Investing in early childhood development provides long-term benefits through a skilled and productive workforce. By enhancing school readiness and cognitive abilities early on, these programs reduce future education and healthcare costs while increasing earning potential and economic stability for families. Furthermore, they contribute to a more resilient economy by reducing dependence on social welfare programs and enhancing overall productivity.

Legal / Policy / Council Plan ImpactCharter of Human Rights and Responsibilities

The Charter of Human Rights and Responsibilities has been considered in the preparation of this report but is not relevant to the content of the report.

Legal

There are no legal issues associated with this report.

Policy Impacts

There are a number of Council policies relevant to the MEYP, internally and externally:

- Privacy and Freedom of Information legislation
- National Quality Framework
- Community Building Outcomes Framework (CBOF)
- Council's Child Safe Policy

12.3 Municipal Early Years Plan (MEYP) Year 3 Update**Executive Summary**

- Various department service guidelines and procedures
- Maternal and Child Health Principle Model
- National Early Years Learning Framework
- Ecological Model of Childhood Development

Gender Impact Assessments

No gender impact assessment was required. This initiative has no impact on our community or the public.

Officer's Declaration of Interests

Council officers involved in the preparation of this report have no Conflict of Interest in this matter.

Risk Mitigation

The draft Kindergarten Partnership has now been circulated to community and stakeholders. The Strategy lists a number of kindergartens to be expanded, along with kindergartens that are to be retained and reviewed. Kindergarten service providers have expressed the desire to have certainty these projects will proceed and for there to be an accurate timeline. It is important that Council confirm these projects in the Long Term Infrastructure Plan in a timely manner so that service providers have adequate communication to allow them to pre-plan for increased workforce, logistics and resources. At this stage funding uncertainty, including Councils contribution, prevents officers from providing information to kindergarten providers.

The planning and implementation of kindergarten reform projects will have a significant impact on the Children's Services Team. A Kindergarten Reform Officer was temporarily appointed to support the development of the Strategy and kindergarten projects. As such, to ensure this important work can continue and Council's risks and obligations can be met, this role needs to continue until the roll out of the infrastructure is complete.

The Enhanced MCH team is already at capacity, the service is receiving more referrals due to the increase in complexity and vulnerabilities that families are experiencing in our municipality. Without change, there will be longer wait times for service and this may place families under further pressure and risk. A full review of the Enhanced MCH workforce and operation is required in 2024-25 to ensure the service is effective and efficient, and meeting the needs of families in Frankston City.

Conclusion

The MEYP 2021-2025 continues to provide strategic direction for a whole-of-Council approach to enable stronger families, and thriving children within the community and supports the municipality to become a child-friendly city. Council officers will continue to progress relevant actions in the MEYP with the objective to imbed this work into the everyday work of Early Years service teams. New and ongoing program and resource requirements will be progressed through the service planning and the annual budget processes.

ATTACHMENTS

Nil

Executive Summary

12.4 Urban Forest Action Plan Update

Enquiries: (Tammy Beauchamp: Communities)

Council Plan

Level 1:	3. Sustainable Environment
Level 2:	3.3 Increase urban forest and canopy coverage to create a greener and cooler city

Purpose

To provide Council with an update on the activities completed within the Urban Forest Action Plan.

Recommendation (Director Communities)

That Council:

1. Celebrates the successful planting of 20,000 trees in 2022 and 2023 (calendar years) under the Urban Forest Action Plan, which represents the largest known tree planting endeavour in the State;
2. Highlights that as at June 2024, 65% of the current year's (the 2024 year) planting target of 20,000 trees had been achieved, with 100% delivery on track by the end of August 2024;
3. Acknowledges the recent canopy tree data and achievements to date to progress towards the urban forest tree canopy targets;
4. Notes that there are significantly reduced planting locations available on Council owned land, increased tree vandalism and maintenance costs and supports a transition in Year 4 (2025 calendar year) whereby fewer than 20,000 trees but that Officers will focus on replacing trees that have either been vandalised or have not survived since they were planted;
5. Notes that Officers will continue to work towards increasing the Urban Forest and local tree canopy cover, by encouraging tree planting on private land. Initiatives to support Private Land Owners will include Plant Giveaways, Environmental Landholder Grants, Tree Education Programs/Workshops and revised Landscape Guidelines for new development which requires planning permission; and
6. Supports the changes to the Guidelines for applications to the Environmental Sustainability Community grants to enable landholders to also apply for biodiversity improvements works on private property.

Key Points / Issues

- At Council meeting (2020/OM9), the Urban Forest Action Plan (UFAP) was adopted. The UFAP is a 20-year strategic plan aimed at transforming the urban forest into a valued, thriving asset. Key goals included a target to increase tree canopy cover across the municipality to 20% and achieving a greener, cooler urban environment. The UFAP was supported with a commitment to plant 80,000 new trees over four years, with a target of 20,000 trees per year.
- **Achievements to Date**
 - Successfully planted 20,000 trees in both 2022 and 2023.

12.4 Urban Forest Action Plan Update**Executive Summary**

- As of June 2024, 65% of the current year's planting target (20,000 trees) has been achieved is on target to achieve 20,000 trees planted in September 2024;
- The program has included planting on nature strips, reserves, parks, and open spaces as part of Frankston's Operational and Capital Works programs

- **Canopy Cover Mapping and Analysis**

- The Department of Energy, Environment and Climate Action (DEECA) undertook a study to measure tree canopy cover 'cooling and greening Melbourne map' across years 2014 and 2018. This data was used to inform the Urban Forest Action plan. This data showed an average canopy cover of 17% across Frankston City, however the canopy was not evenly distributed between suburbs ranging from 7% in Carrum Downs to 28% in Langwarrin South. No further tree canopy mapping has been undertaken by DECCA. The mapping itself was limited as it did not cover the entire municipality focusing on urban areas.
- A recent spatial data analysis study using advanced AI-driven data, aerial photos, and LiDAR revealed a higher baseline canopy cover. This technology provided more accurate and detailed insights into tree distribution. Trees with a height of 3m or greater are included within the canopy mapping measure. Studies using different methodologies cannot be compared. It is the intention that this mapping methodology be continued to provide a consistent measure in future years.
- The recent study showed that from the adoption of the Urban Forest Action Plan in 2020 to 2022, canopy cover increased from 25.73% to 27.13% (1.4% increase), primarily due to the growth of existing trees on private land.

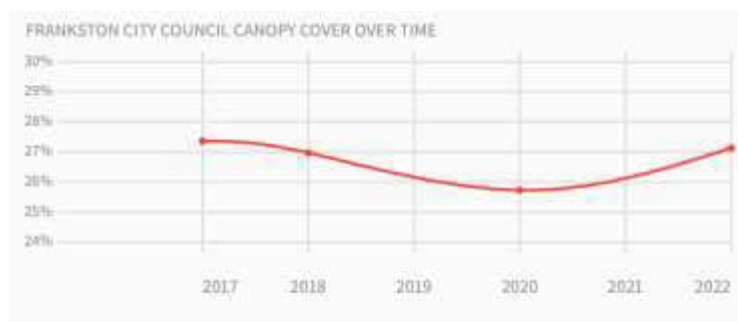


Figure 1 Canopy Cover over time

- Public land, constituting 33.4% of the municipality, maintained stable canopy cover across the area at approximately 26.7%. Canopy cover reduction from trees that were removed was ultimately offset by the growth of existing and newly planted trees. It is anticipated that as the future years canopy mapping will reflect the efforts of the past 20,000 tree planting efforts as trees achieve a height of 3 meters.
- Private land, making up about 50.9% of the total land area, contributed 54% of the total canopy cover.

12.4 Urban Forest Action Plan Update

Executive Summary

- Canopy cover remains uneven across the city. Areas like Langwarrin South and Frankston South have high canopy cover, while others like Seaford have seen declines. Please refer to the Canopy Cover Analysis report in Attachment A for more detail, including per suburb breakdowns.



Figure 2: This chart compares the canopy change between years 2018-2022 areas ranked high to low

- Environmental factors such as climate can have a strong influence on canopy cover. A drier than average climate and a significant storm in 2019 event led to a slight decline in canopy cover from 2018 coverage however by 2022 the canopy cover had recovered from this loss.
- As presented to Council in the Hot topic report of the Council meeting on June 24, 2024, the focus for the fourth year (2025 planting season) will shift to encouraging planting on private land to allow Council resources to focus on the maintain the 60,000 trees planted over the past three years. This includes:
 - Replacing vandalised and non-surviving where appropriate and verify survival rates of newly planted trees;
 - Conducting maintenance and formative pruning;
 - species-specific performance checks;
 - Minor planting program.
- **Community Planting Initiative:**

Officers will continue to work towards increasing the Urban Forest and local tree canopy cover, by encouraging tree planting on private land. This will include activities such as:

 - Promoting private land incentives such as plant giveaways (including Mayor's picnic) and vouchers,
 - Redirecting the Environmental Community grants to Private land holders to undertake environmental improvement works.

12.4 Urban Forest Action Plan Update**Executive Summary**

- Providing a series of tree education programs and workshops on the benefits of tree planting.
- Boosting the "Request a Street Tree" initiative.
- Updating landscape guidelines for improved tree canopy outcomes
- Increasing social media outreach on tree related incentives.
- Continue to hosting tree planting events such as National Tree Day and School Tree Day.
- Garden for Wildlife program to incorporate a business / industrial focus element.

Financial Impact

There are financial costs, however, these costs can be accommodated within existing budgets.

Consultation**1. External Stakeholders**

No external stakeholders were consulted to provide this report.

Officers consult with DTP as and when required around the planned planting of trees on major roadways.

2. Other Stakeholders

The City Futures, Operations and Capital Works Departments were consulted in order to provide this report. These departments contribute to the implementation of the UFAP.

Analysis (Environmental / Economic / Social Implications)

The UFAP seeks to increase the tree canopy coverage by planting new trees across the municipality focusing efforts within areas of greatest need. This work seeks to mitigate the impact of climate change and provide open spaces across the municipality that benefit from shade for users.

Legal / Policy / Council Plan ImpactCharter of Human Rights and Responsibilities

The Charter of Human Rights and Responsibilities has been considered in the preparation of this report but is not relevant to the content of the report.

Legal

Not applicable

Policy Impacts

The Urban Forest Action Plan is endorsed by Council. This report is guided by the relevant action in the plan.

Gender Impact Assessments

A gender impact assessment is required for the delivery of tree education programs and services and is in progress.

12.4 Urban Forest Action Plan Update**Executive Summary**Officer's Declaration of Interests

Council officers involved in the preparation of this report have no Conflict of Interest in this matter.

Risk Mitigation

Frankston Council's Public trees are managed by Operations which has an established management system for the inspection and treatment of its tree assets

Conclusion

The UFAP has made significant progress in increasing tree canopy cover across Frankston City. To sustain and enhance this growth, particularly on private land, it is essential to transition the focus to maintenance and community engagement by engaging the community to encouraging private landowners to participate in tree planting, offering incentives, and maintaining rigorous data collection and analysis methods. The proposed recommendations aim to support these efforts and ensure the long-term success of the Urban Forest Action Plan

ATTACHMENTS

Attachment A:[↓](#) Frankston City Council 2017-2022 Canopy mapping

Attachment B:[↓](#) Draft Environmental Sustainability Grant Guidelines 2024-2025

12.4 Urban Forest Action Plan Update
Officers' Assessment**Background**

At the Council Meeting on 24 June 2024, it was resolved that Council:

1. *Recognises Council for its initiative and aspirational tree planting target, which is the largest known tree planting program within Victoria;*
2. *Commends Officers for their hard work and dedication in achieving the target to plant 20,000 trees during each year of 2022 and 2023;*
3. *Notes the sixty-five (65) percent completion of the 2024 planting season to date, which commenced in April 2024, comprising planting trees on nature strips, reserves and parks and open space locations throughout the municipality, is on target to achieve 20,000 trees planted in September 2024;*
4. *Notes a number of key issues identified with the current program, including significantly reduced planting locations available on council owned land, increased tree vandalism and ongoing maintenance costs;*
5. *Supports a transition in Year 4 of the program (2025) by acknowledging that 20,000 trees will not be planted in this year, but the program will focus on replacing vandalised trees, verify survival rates and replacing trees that have not survived, conduct maintenance, species specific performance checks, formative pruning of trees planted under the program, undertaking a complete and thorough review of the outcomes of the initiative and focus on encouraging planting on private land (private land incentives) as detailed in the body of the report.*
6. *Notes the planting of appropriate tree species in nature strips is in keeping with the natural and native environment and should not drop gumnuts or reach overhead power lines at maturity.*
7. *Informs the community through social channels, the significance of the tree planting initiative and asks the community to not remove or damage any planted trees across the municipality.*
8. *Notes that a report will be presented to Council July 2024, which will include updated statistics on the Tree Canopy cover across the municipality and the next steps to transition the program to a community led project.*

Issues and Discussion

A number of key issues and learnings have been identified over the last three years of the 20,000 per annual tree planting program. Current key issues identified included:

- Daily negative interactions for staff and contractors on street tree planting from residents not wishing to have a tree.
- Limited availability of planting space on council owned land available throughout the municipality.
- Decreasing community sentiment with required planting densities to achieve target numbers on council owned land and associated concern about future sunlight and survival rates
- Increased vandalism of planted trees and increased complaints from residents who do not want planting;
- Likely conflicts with future planned Capital Works projects given reduction of council land available after Years 1, 2, 3 of initiative and 60,000 trees planted;

12.4 Urban Forest Action Plan Update
Officers' Assessment

- Increased costs as a result of tree planting within parks e.g. increased mowing hours and need to whipper snip carefully around trees, with this effort also applicable to residents who are responsible for maintenance of nature strips, noting that poor nature strip maintenance adversely affects municipal wide city presentation; and
- Inability to adequately monitor and maintain previous plantings/increased maintenance due to resource/time constraints.

It was agreed that Year 4 of the program, 2025 planting season transition from planting to maintenance which will include replacing vandalised trees, verify survival rates and replacing trees that have not survived, conducting maintenance, species specific performance checks, formative pruning of trees planted under the program and undertaking a complete and thorough review of the outcomes of the initiative.

One of the other key transition changes is to encourage and incentivise private land owners to plant trees on private land. As presented in the recent tree canopy mapping private land present a good opportunity to increase the canopy tree over across the municipality. These initiatives include

- Plant Giveaways;
Annual Vouchers provided in Frankston City News to be communicated through social media, Plant giveaways at events such as the Mayors picnic
- Boost 'Request a street tree' link
A link is available on the website to [Request a new street tree - Frankston City Council](#). This process will be better communicate through social media to include cut off dates to allow for better coordination of the delivery of infill trees with residents.
- Environmental Landholder Grants
The Environmental Sustainability Grant provides one-off funding to support community organisations in environmental and sustainability projects and will this financial year for the first time be available to landowners' for environmental works that support the strategic vision for Frankston City's future. Eligibility criteria will apply.
- Tree Education programs / Workshops
A series of four education workshops will be available to residents to learn about various aspects of tree care and conservation. These workshops will cover topics such as the importance of native vegetation, and best practices for tree selection, planting and maintenance. Participants will gain hands-on experience and practical knowledge to help them contribute to the preservation and enhancement of green spaces in their own home.
- Landscape Guidelines update
A review and update of the Landscape Plan preparation Guidelines is underway to strengthen the delivery of trees in new developments
- Social media posts – Indigenous tree profiles
A social media campaign will be launched to deliver profiles of indigenous trees, educating the community about the unique characteristics and ecological benefits of native flora. Each post will feature detailed information and share stories of a specific tree species, including its habitat, growth habits, cultural significance, and role in supporting local wildlife.

12.4 Urban Forest Action Plan Update
Officers' Assessment

- National Tree day
Continue to deliver the National Tree Day community planting
- School Tree day
Continue to deliver the School Tree Day with the selection of two ambassador school who receives 300 plants and assisted planting on the day as well as an environmental educator. All preschools, primary and secondary schools receiving donated plants contributing over 2500 indigenous plants to the community.
- Gardens for Wildlife – business focus
The "Gardens for Wildlife" initiative will extend its efforts to business and industrial areas, with a special focus on incorporating trees into these landscapes. This program aims to transform commercial zones by encouraging the planting native trees that provide habitat for local wildlife and enhance the aesthetic appeal of these areas. Businesses will be encouraged to participate by creating green spaces that not only support biodiversity but also offer employees and customers a healthier, more pleasant environment.

Options Available including Financial Implications

There are no financial implications associated with the report.

Frankston City Council

Frankston City Council Tree Ledger Insights Report

Tree Ledger Report
2017 - 2022

18 June 2024

About This Report

A Tree Ledger has been constructed over the extent of Frankston City Council, using the council's inventory of aerial photography and LiDAR data from 2017 to 2022. Each tree or cluster of trees has been assigned a unique Tree ID, which links each corresponding observation temporally across the study period, allowing the monitoring of growth and continued presence.

What counts as a tree?


For the purposes of this project, a 'tree' is a woody plant with a height of at least three metres. In some cases, this may include:

- Bushes and shrubs of significant height (over three metres)
- Hedges, which may be captured as one entity where individual plants are not discernible in the aerial image
- Climbing plants of significant height (over three metres), including those growing on structures

Natural Contribution Factors


Growth and **Decrease** represent incremental, natural change to canopy often driven by climate - from factors such as tree growth, senescing, limb loss, pruning, disease, or storm damage.

 **Growth** is gradual canopy increase attributable to an existing tree.

 **Decrease** is gradual canopy decline attributable to an existing tree.

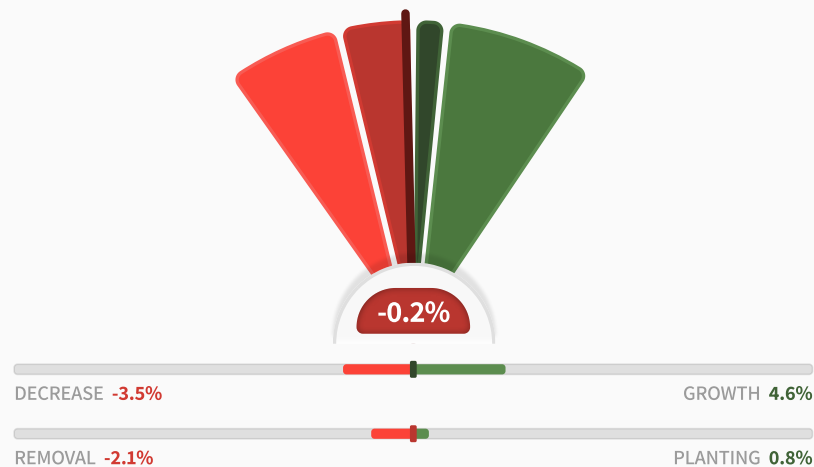
Human Contribution Factors

Plantings and **Removals** represent sudden events affecting a tree. This typically involves human intervention — such as planting or removing a tree — but may also include other cases, such as a tree falling.

 **Plantings** are trees that have not been detected before.

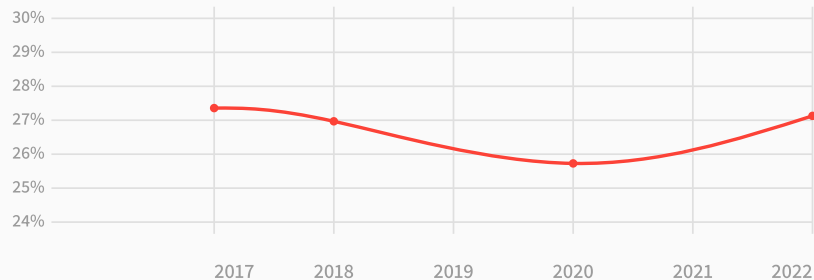
 **Removals** are trees that have disappeared completely.

Frankston City Council



Canopy **declined** from **27.36%** in 2017 to **27.13%** in 2022.

FRANKSTON CITY COUNCIL CANOPY COVER OVER TIME



CANOPY COVER CHANGES OVER TIME

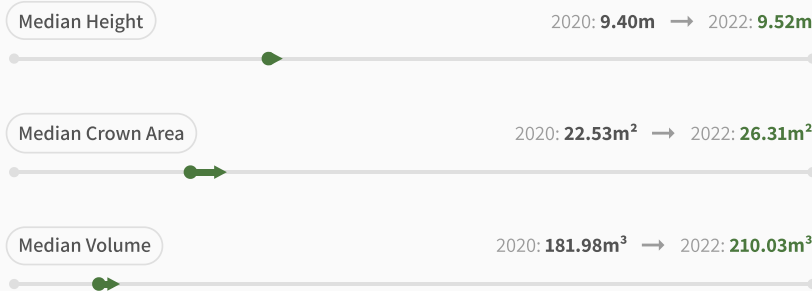


These bars show the change factors and net canopy change after each time period.

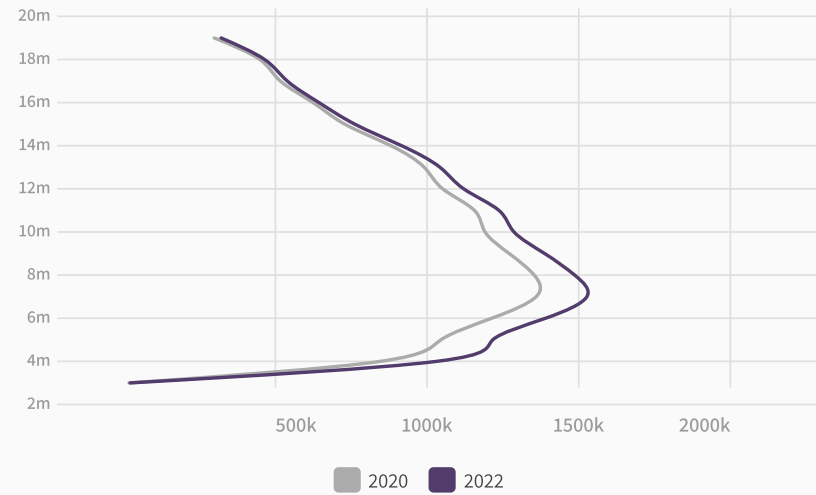
YEAR	DECREASE	REMOVAL	PLANTING	GROWTH	OVERALL	COVERAGE
2017-2018	2.8%	0.7%	0.3%	2.8%	-0.4%	27.0%
2018-2020	4.0%	0.4%	0.2%	2.9%	-1.2%	25.7%
2020-2022	2.6%	1.1%	0.2%	4.9%	1.4%	27.1%

Tree Characteristics

Sampling is performed among individual tree to evaluate changes in height and crown area.

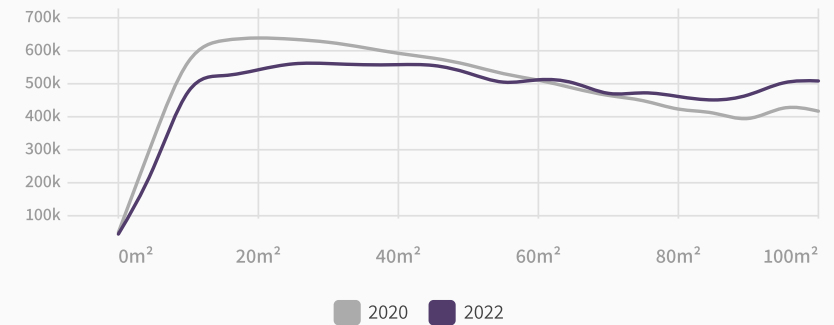


TREE HEIGHT DISTRIBUTION



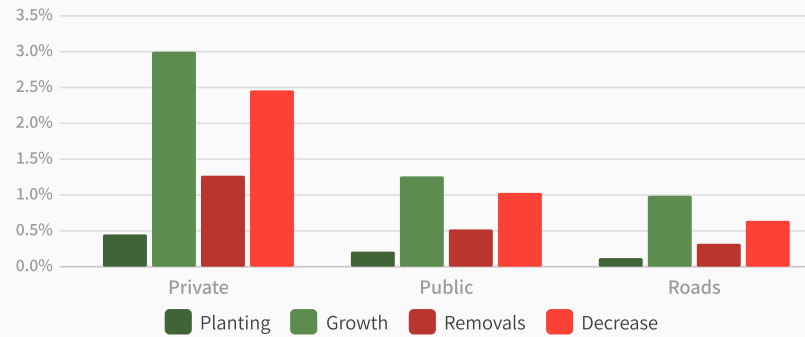
These graphs show the total canopy contribution of trees of a given height and trees of a given crown area respectively.

TREE CROWN AREA DISTRIBUTION



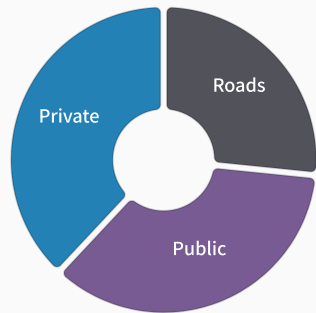
Land Use Trends

MAJOR CHANGE FACTORS



This graph highlights major canopy change factors on certain land use types.

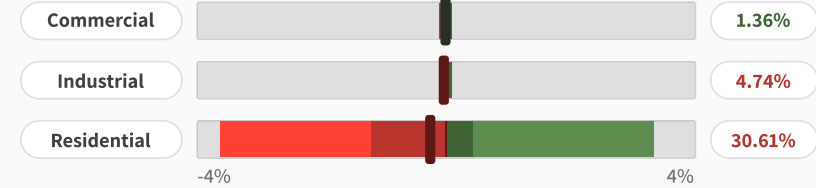
LANDUSE CANOPY CONTRIBUTION



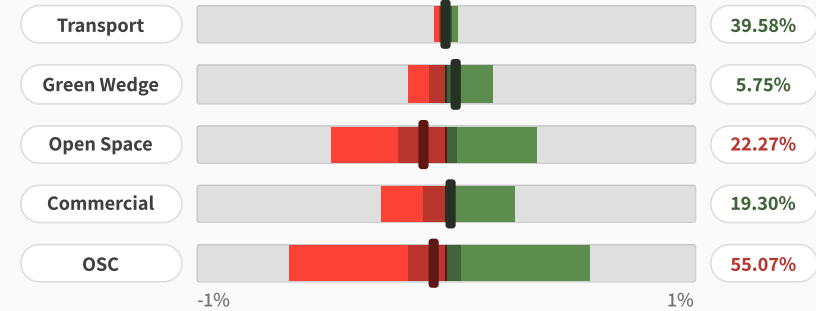
NAME	LAND	CANOPY
Private	50.9%	28.7%
Public	33.4%	26.7%
Roads	15.7%	20.0%

This chart shows the distribution of canopy across different land use types.

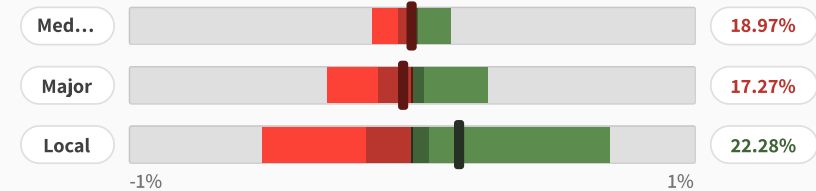
CANOPY CHANGE AS % OF ALL PRIVATE



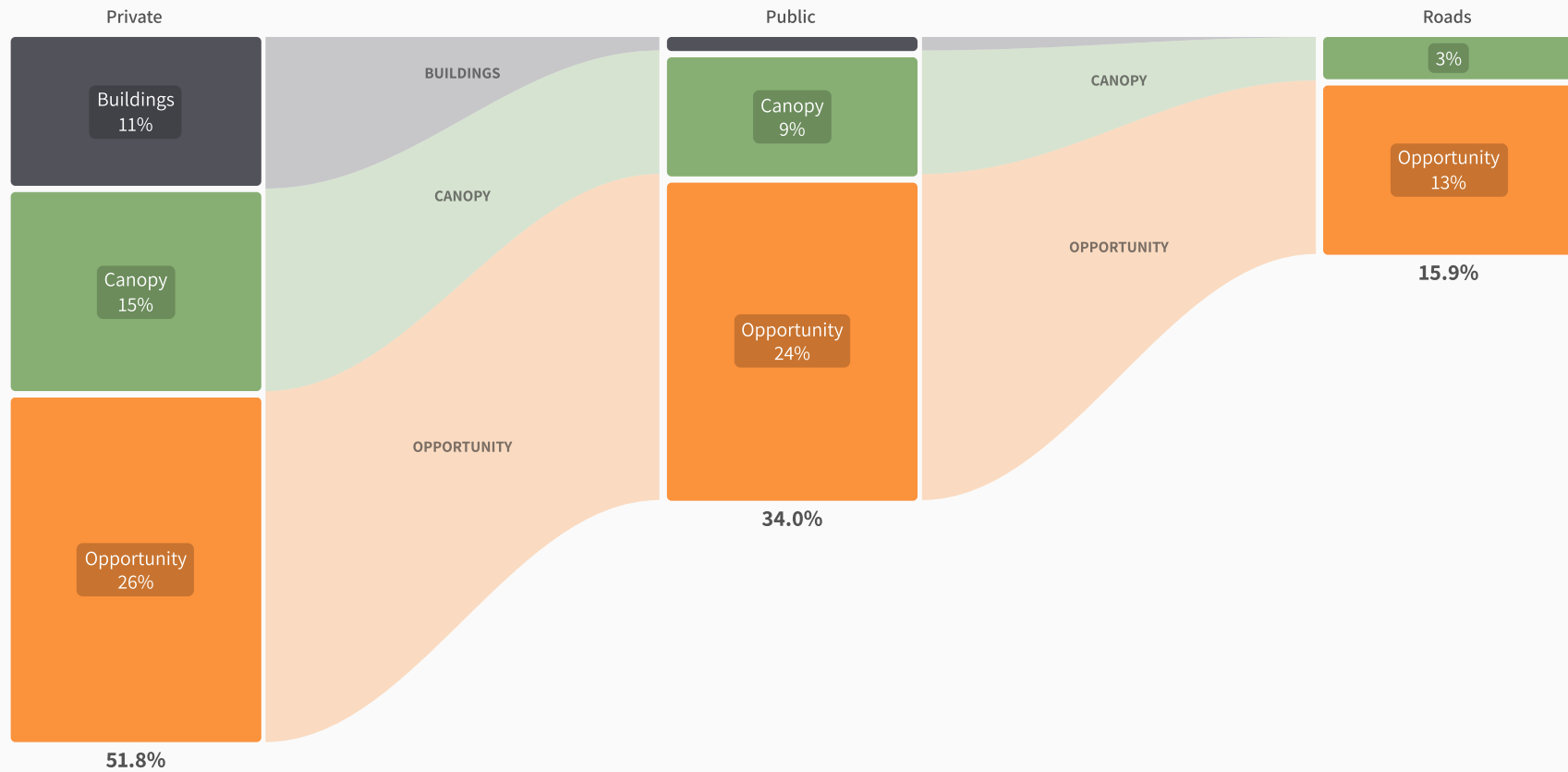
CANOPY CHANGE AS % OF ALL PUBLIC



CANOPY CHANGE AS % OF ALL ROADS



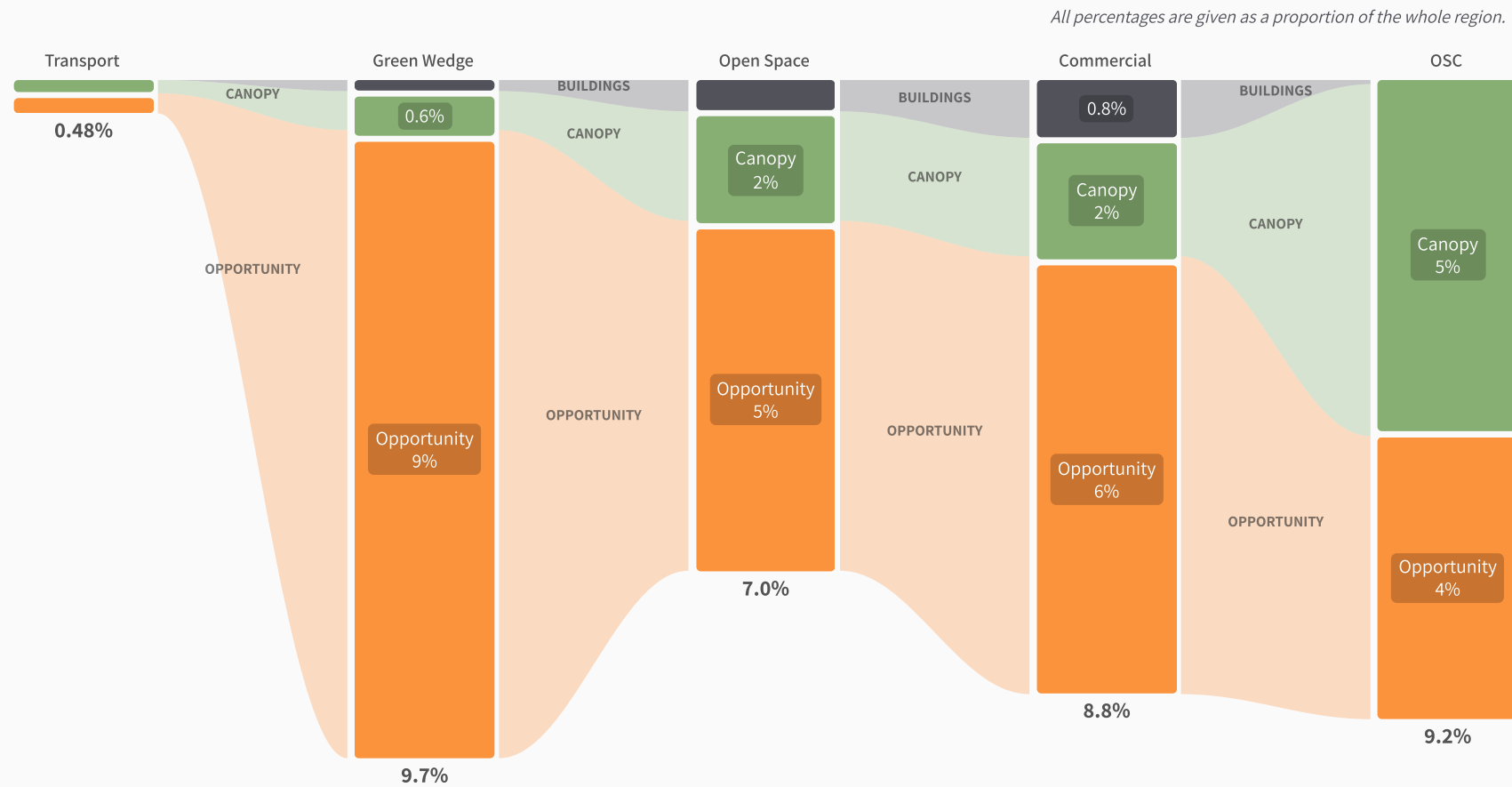
All percentages are given as a proportion of the whole region.



Primary Land Use Distribution

This chart shows how land in each of the primary land use categories is currently used. The size of the box represents the size of the coverage area. Size is given as a percentage of all land uses combined.

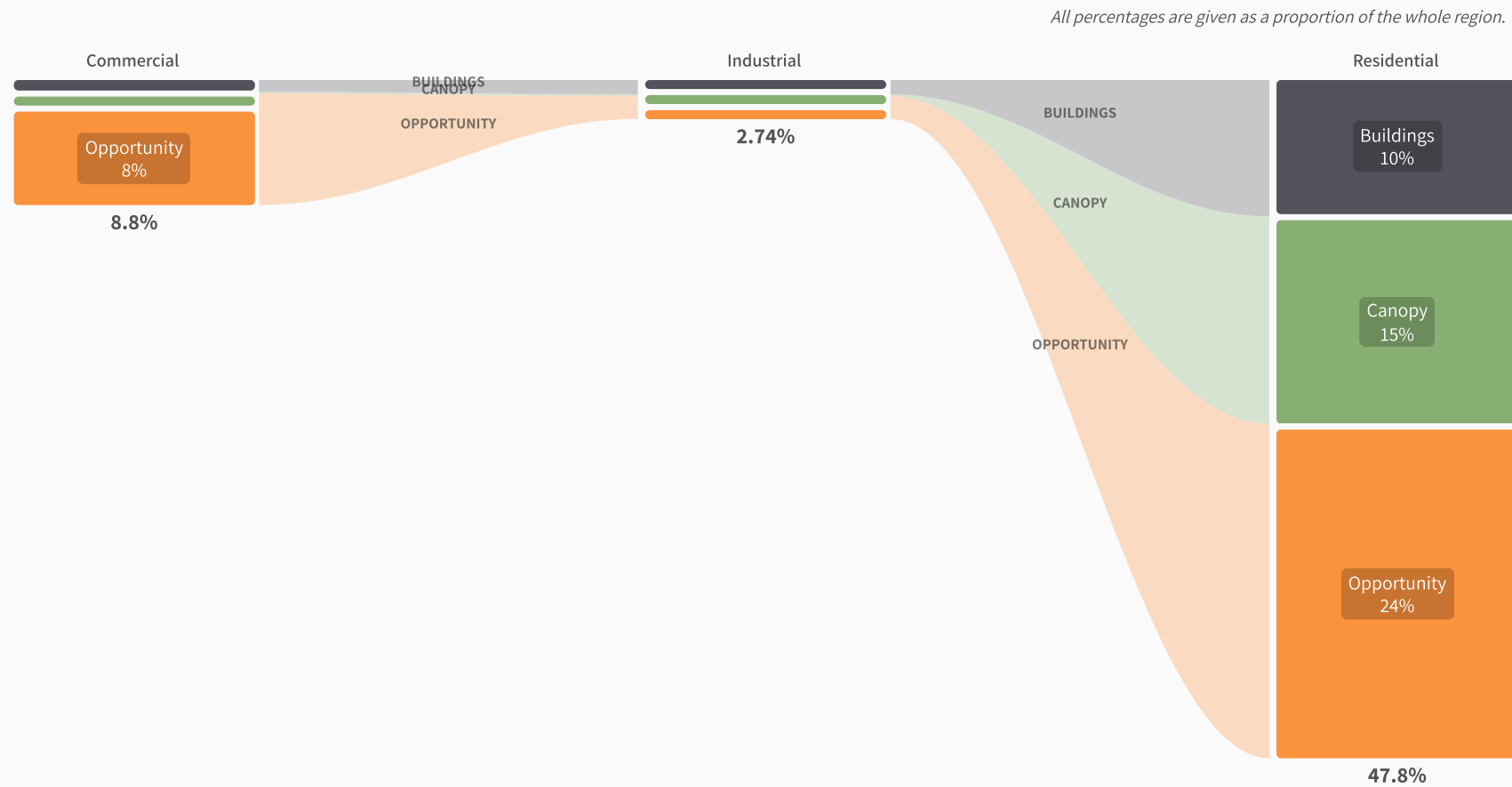
- Buildings** includes area covered by building footprints but not canopy.
- Canopy** includes all canopy cover.
- Opportunity** is all land with neither buildings nor canopy.



Public Land Use Distribution

This chart shows how land in each of the road land use categories is currently used. The size of the box represents the size of the coverage area. Size is given as a percentage of all land uses combined.

- Buildings** includes area covered by building footprints but not canopy.
- Canopy** includes all canopy cover.
- Opportunity** is all land with neither buildings nor canopy.

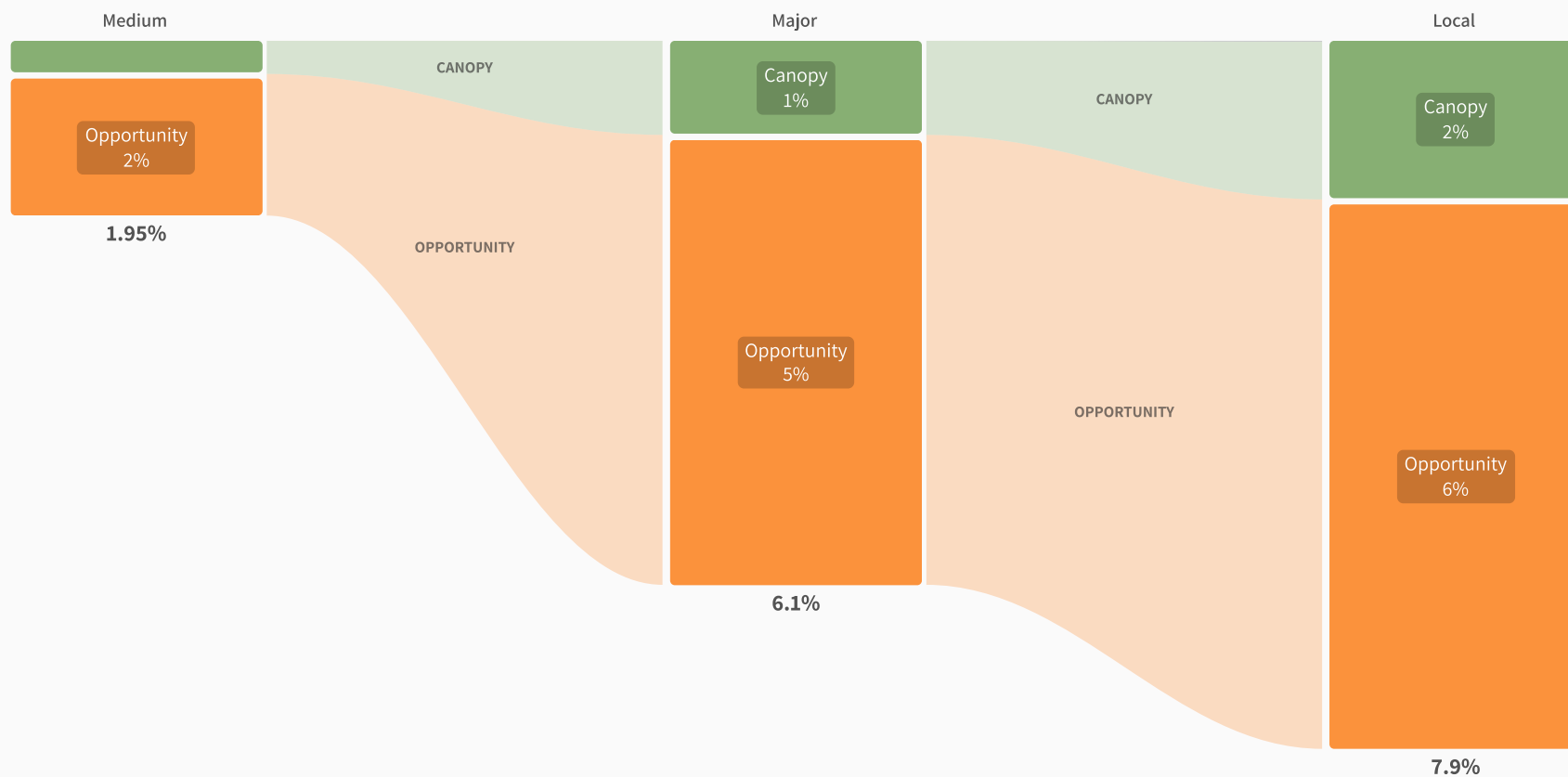


Private Land Use Distribution

This chart shows how land in each of the road land use categories is currently used. The size of the box represents the size of the coverage area. Size is given as a percentage of all land uses combined.

- Buildings** includes area covered by building footprints but not canopy.
- Canopy** includes all canopy cover.
- Opportunity** is all land with neither buildings nor canopy.

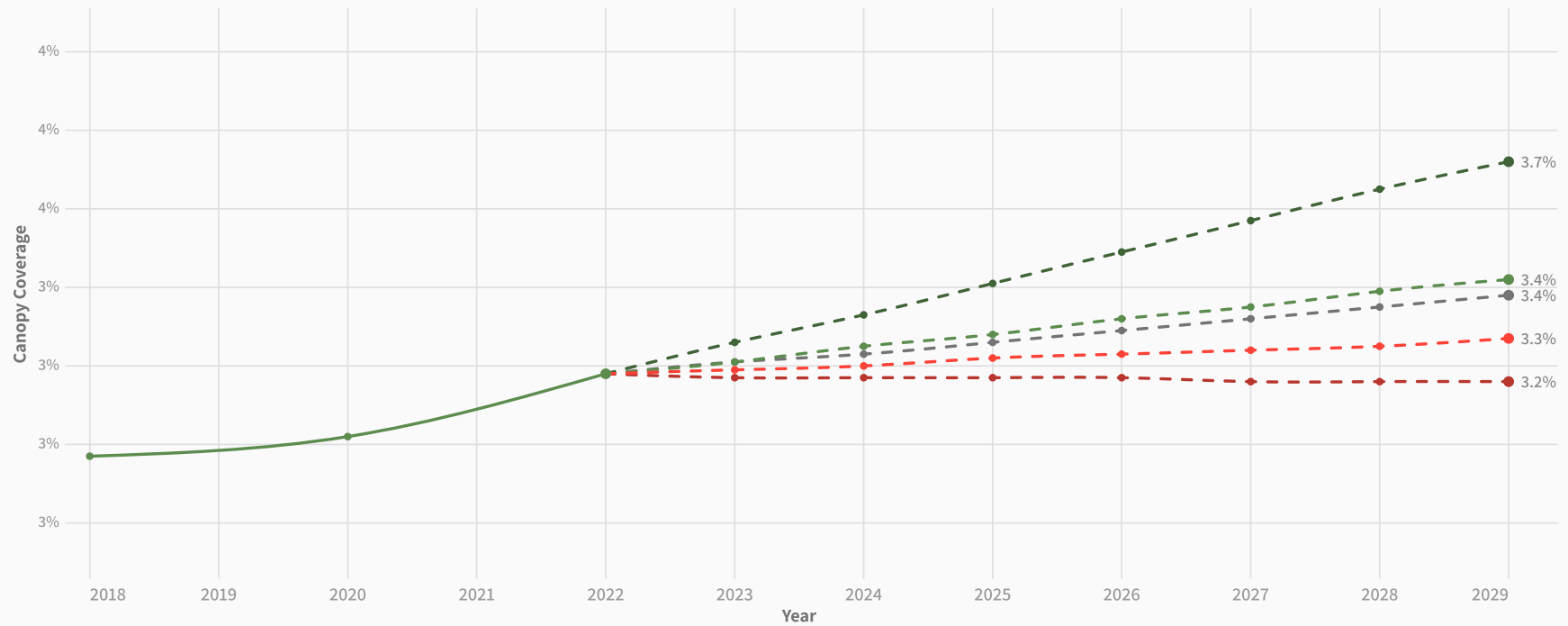
All percentages are given as a proportion of the whole region.



Roads Land Use Distribution

This chart shows how land in each of the road land use categories is currently used. The size of the box represents the size of the coverage area. Size is given as a percentage of all land uses combined.

- Buildings** includes area covered by building footprints but not canopy.
- Canopy** includes all canopy cover.
- Opportunity** is all land with neither buildings nor canopy.



Forecasts

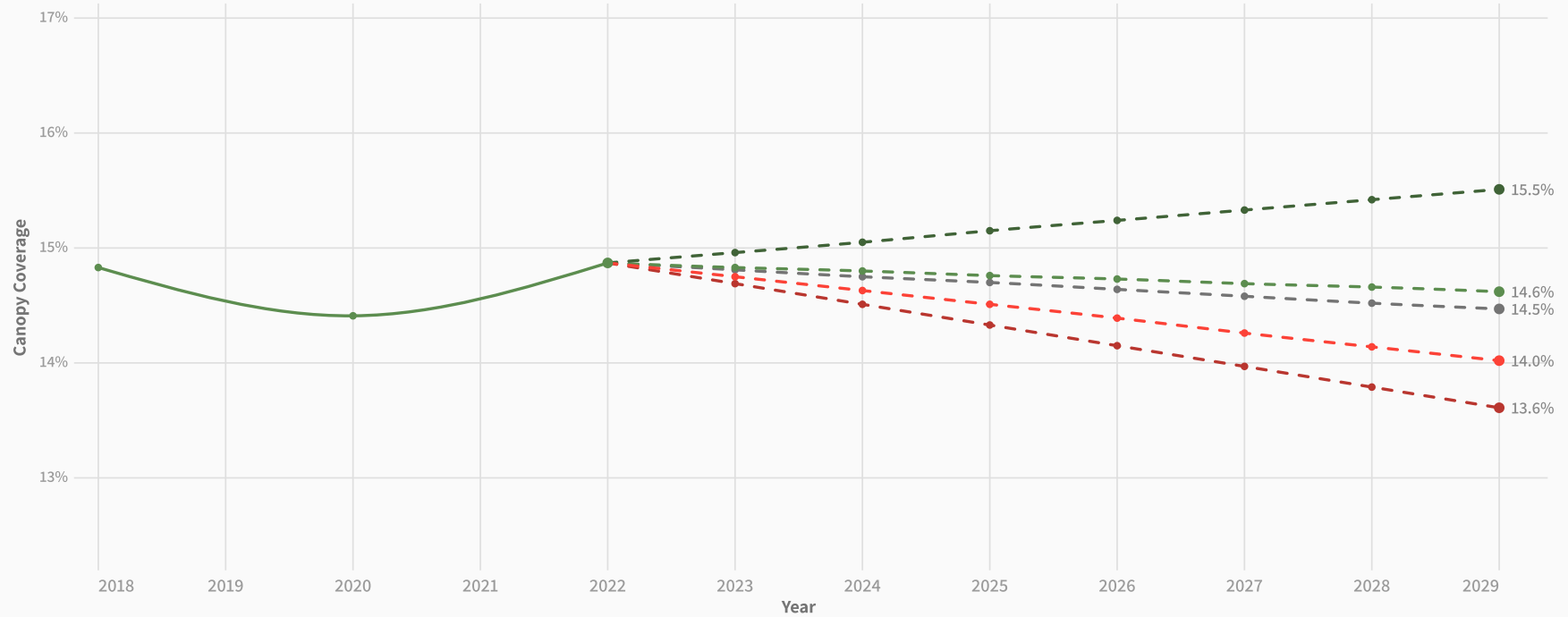
Baseline Yearly trends are projected forward to 2030 for vegetation in the Roads landuse category. /n All trends continue as-is.

+25% Planting Planting increases 25% from baselines.

+25% Growth Existing foliage increases 25% from baselines.

+25% Removal Removals increases 25% from baselines.

+25% Decrease Existing canopy decreases 25% from baselines.



Forecasts

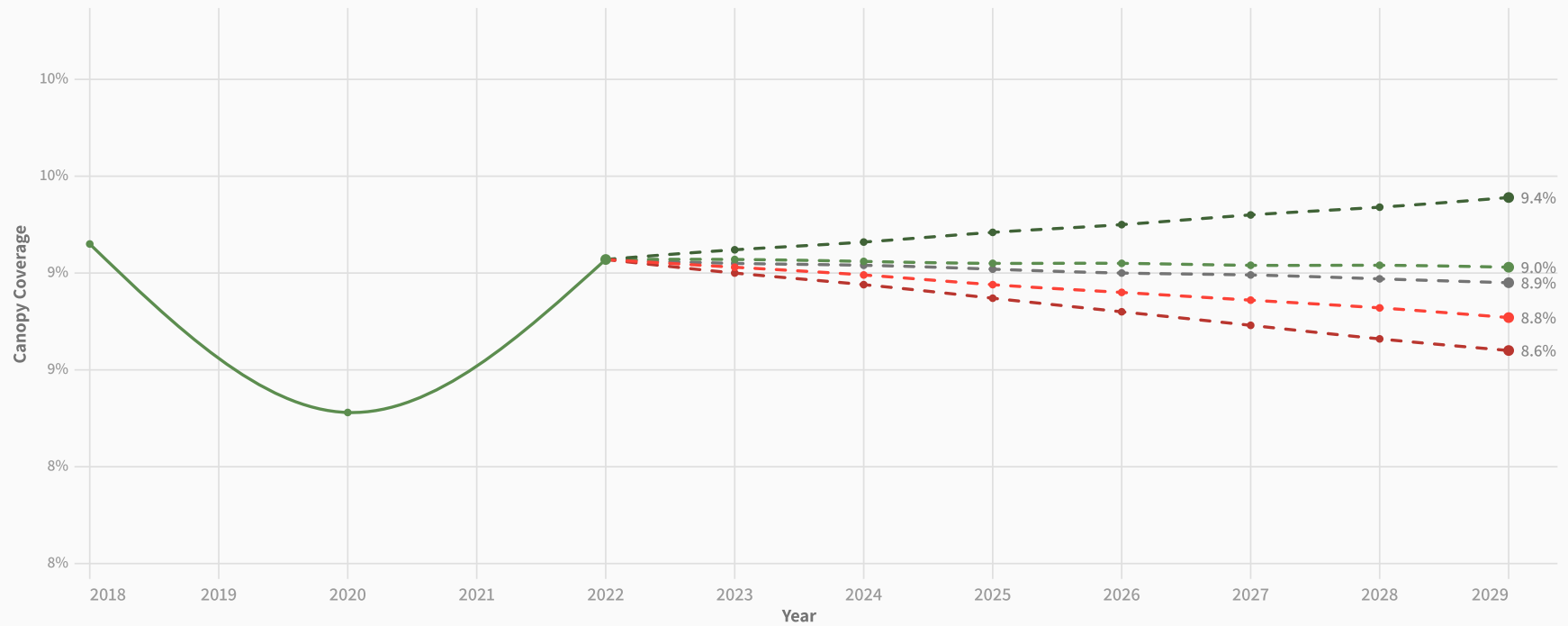
Baseline Yearly trends are projected forward to 2030 for vegetation in the Private landuse category. /n All trends continue as-is.

+25% Planting Planting increases 25% from baselines.

+25% Growth Existing foliage increases 25% from baselines.

+25% Removal Removals increases 25% from baselines.

+25% Decrease Existing canopy decreases 25% from baselines.



Forecasts

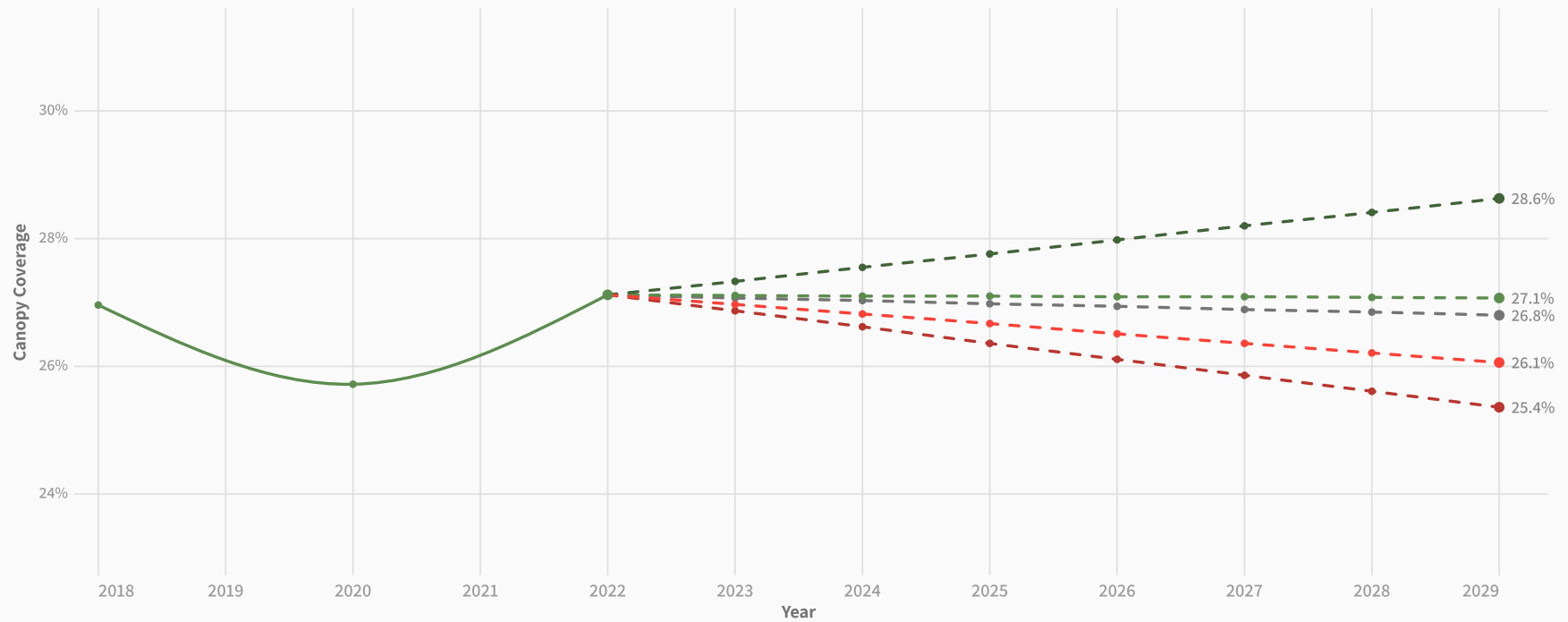
Baseline Yearly trends are projected forward to 2030 for vegetation in the Public landuse category. /n All trends continue as-is.

+25% Planting Planting increases 25% from baselines.

+25% Growth Existing foliage increases 25% from baselines.

+25% Removal Removals increases 25% from baselines.

+25% Decrease Existing canopy decreases 25% from baselines.



Forecasts

Baseline Yearly trends are projected forward to 2030 for vegetation on all land. /n All trends continue as-is.

+25% Planting Planting increases 25% from baselines.

+25% Growth Existing foliage increases 25% from baselines.

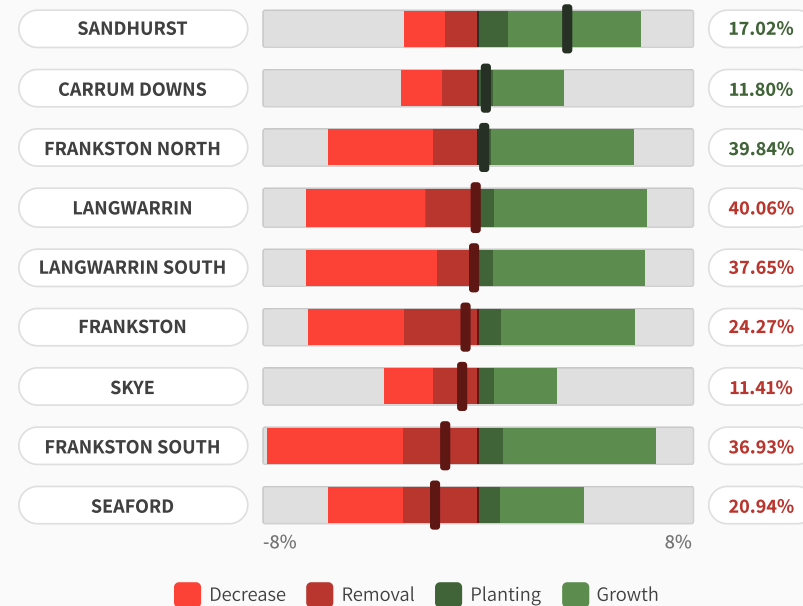
+25% Removal Removals increases 25% from baselines.

+25% Decrease Existing canopy decreases 25% from baselines.

Areas Overview

AREA	DECREASE	REMOVAL	PLANTING	GROWTH	OVERALL	COVERAGE
SANDHURST	1.5%	1.2%	1.1%	5.0%	3.3%	17.0%
CARRUM DOWNS	1.6%	1.3%	0.6%	2.6%	0.3%	11.8%
FRANKSTON NORTH	3.9%	1.7%	0.5%	5.3%	0.3%	39.8%
LANGWARRIN	4.5%	1.9%	0.7%	5.7%	-0.1%	40.1%
LANGWARRIN SOUTH	4.9%	1.5%	0.6%	5.7%	-0.1%	37.6%
FRANKSTON	3.6%	2.7%	0.9%	5.0%	-0.4%	24.3%
SKYE	1.9%	1.6%	0.6%	2.3%	-0.5%	11.4%
FRANKSTON SOUTH	5.1%	2.8%	1.0%	5.7%	-1.2%	36.9%
SEAFORD	2.8%	2.8%	0.8%	3.1%	-1.6%	20.9%

CANOPY CHANGES BY AREA



This chart compares the canopy change between areas, ranked from high to low.

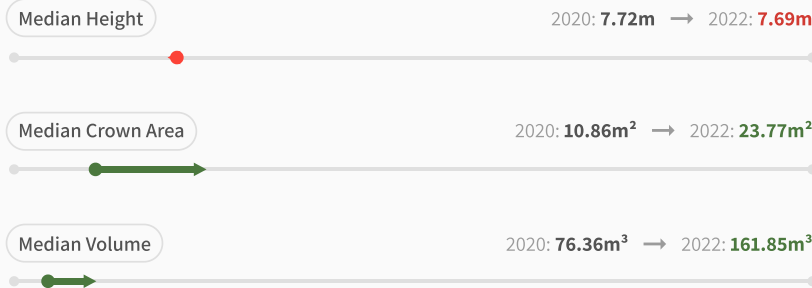
CARRUM DOWNS



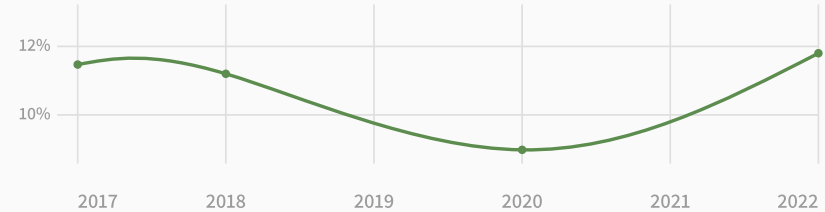
0.3% net canopy change since 2017.



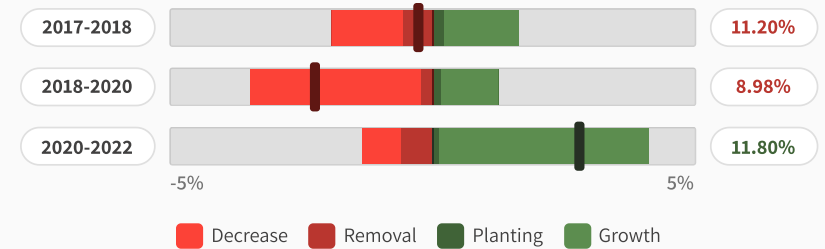
CARRUM DOWNS TREE CHARACTERISTICS



CARRUM DOWNS CANOPY COVER OVER TIME

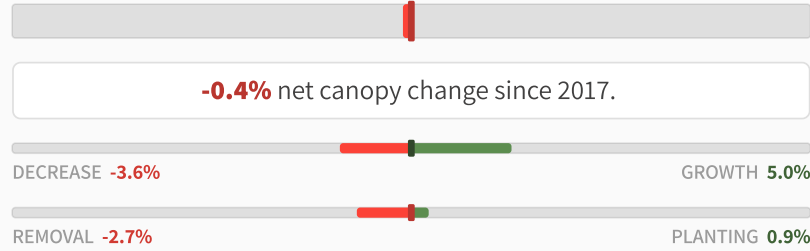


CARRUM DOWNS CANOPY CHANGE OVER TIME

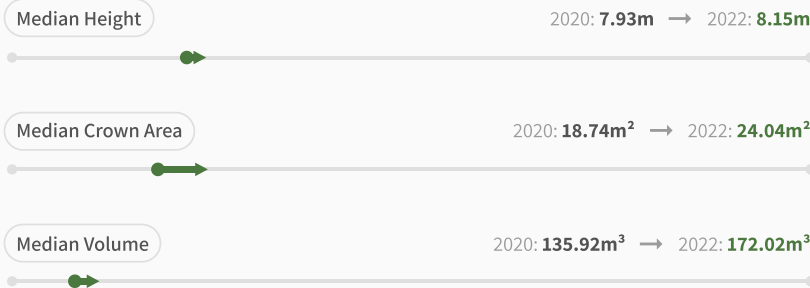


This chart shows the net canopy change for each time period in the area.

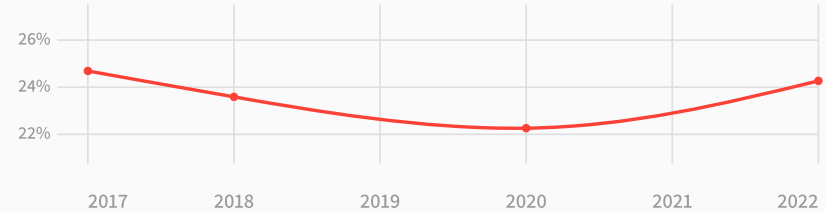
FRANKSTON



FRANKSTON TREE CHARACTERISTICS



FRANKSTON CANOPY COVER OVER TIME



FRANKSTON CANOPY CHANGE OVER TIME

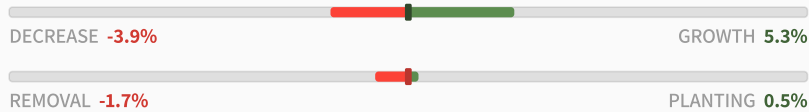


This chart shows the net canopy change for each time period in the area.

FRANKSTON NORTH



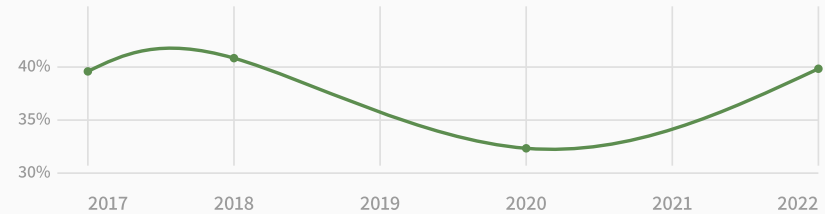
0.3% net canopy change since 2017.



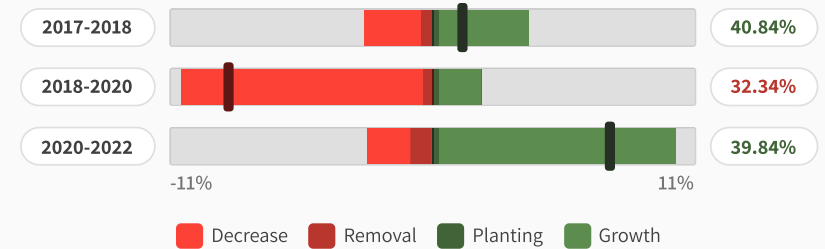
FRANKSTON NORTH TREE CHARACTERISTICS



FRANKSTON NORTH CANOPY COVER OVER TIME



FRANKSTON NORTH CANOPY CHANGE OVER TIME



This chart shows the net canopy change for each time period in the area.

FRANKSTON SOUTH

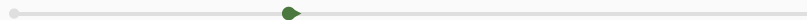


-1.2% net canopy change since 2017.

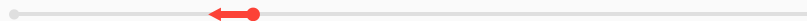


FRANKSTON SOUTH TREE CHARACTERISTICS

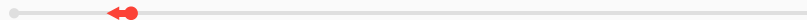
Median Height 2020: **9.77m** → 2022: **9.87m**



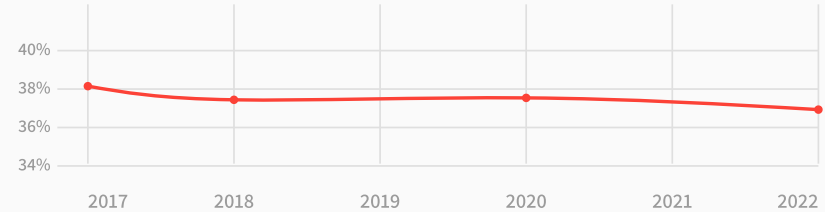
Median Crown Area 2020: **30.43m²** → 2022: **25.80m²**



Median Volume 2020: **250.64m³** → 2022: **213.67m³**



FRANKSTON SOUTH CANOPY COVER OVER TIME

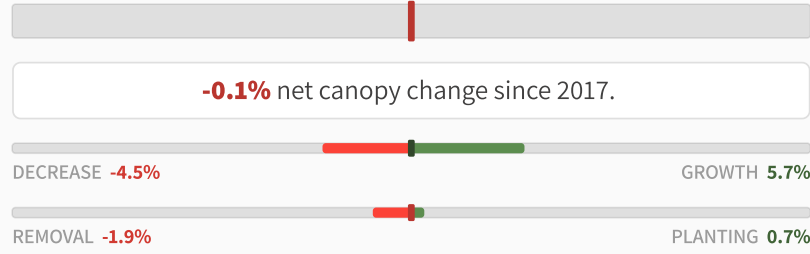


FRANKSTON SOUTH CANOPY CHANGE OVER TIME

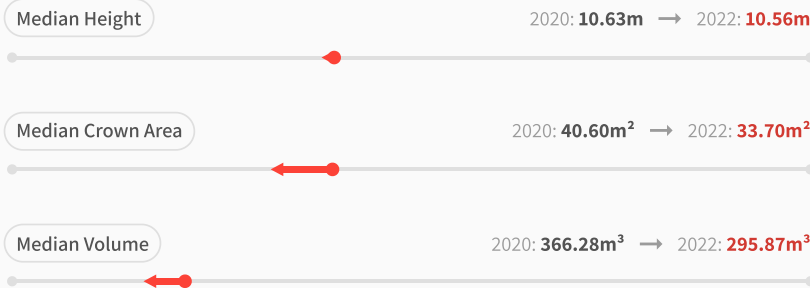


This chart shows the net canopy change for each time period in the area.

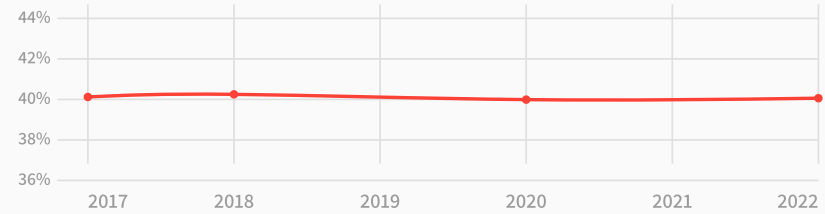
LANGWARRIN



LANGWARRIN TREE CHARACTERISTICS



LANGWARRIN CANOPY COVER OVER TIME

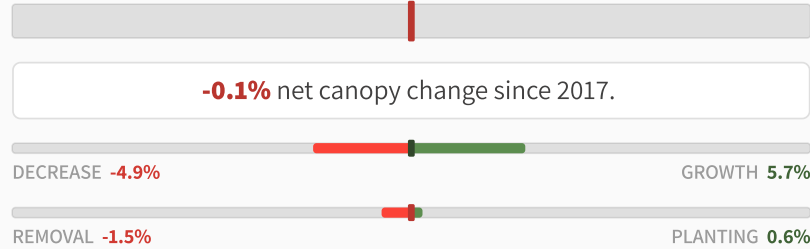


LANGWARRIN CANOPY CHANGE OVER TIME

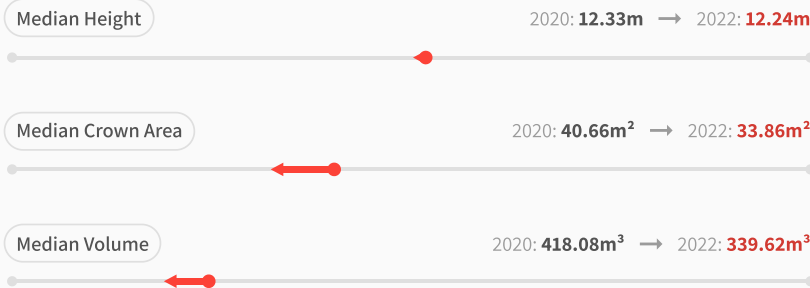


This chart shows the net canopy change for each time period in the area.

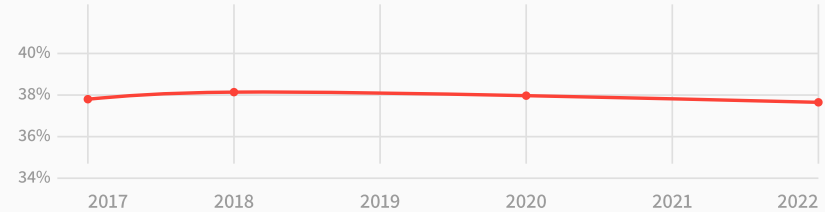
LANGWARRIN SOUTH



LANGWARRIN SOUTH TREE CHARACTERISTICS



LANGWARRIN SOUTH CANOPY COVER OVER TIME



LANGWARRIN SOUTH CANOPY CHANGE OVER TIME

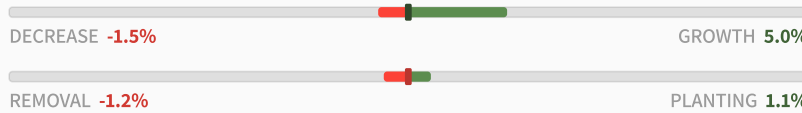


This chart shows the net canopy change for each time period in the area.

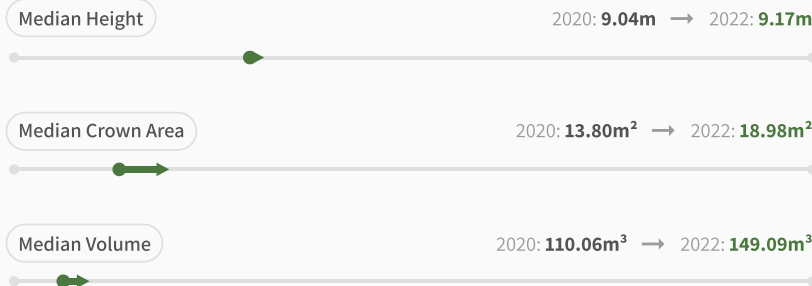
SANDHURST



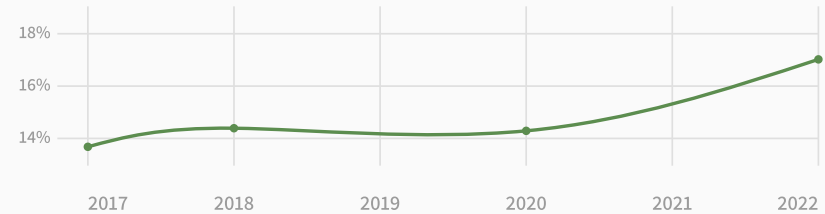
3.3% net canopy change since 2017.



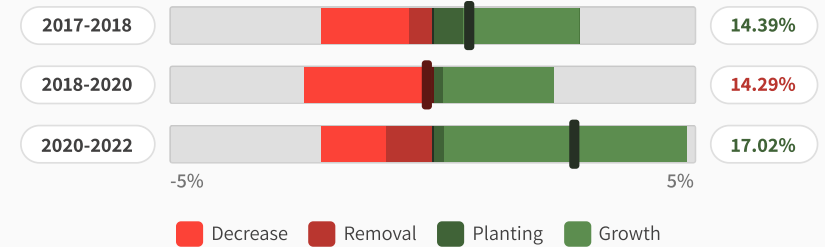
SANDHURST TREE CHARACTERISTICS



SANDHURST CANOPY COVER OVER TIME



SANDHURST CANOPY CHANGE OVER TIME



This chart shows the net canopy change for each time period in the area.

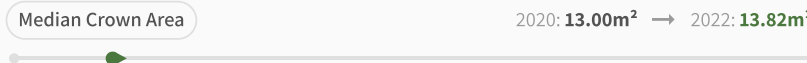
SEAFORD



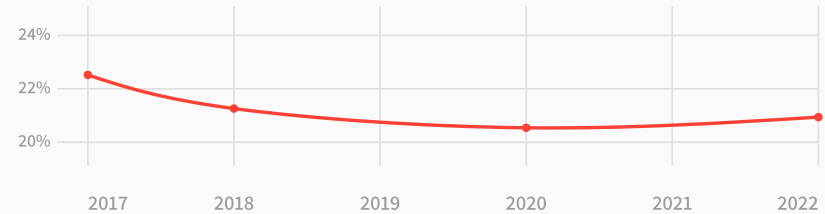
-1.6% net canopy change since 2017.



SEAFORD TREE CHARACTERISTICS



SEAFORD CANOPY COVER OVER TIME



SEAFORD CANOPY CHANGE OVER TIME

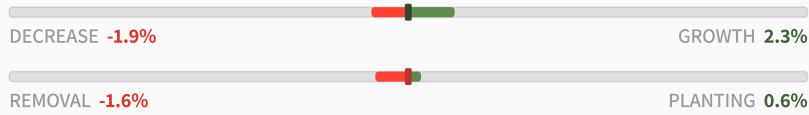


This chart shows the net canopy change for each time period in the area.

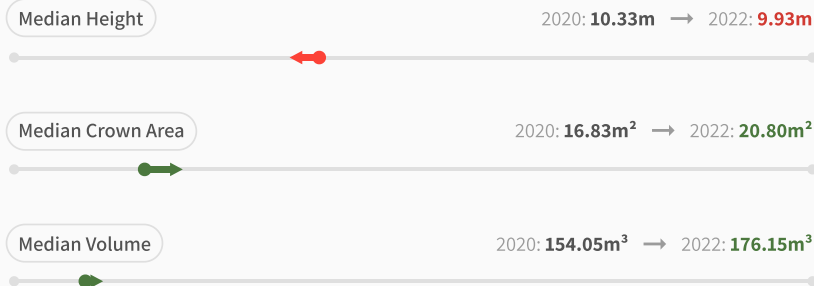
SKYE



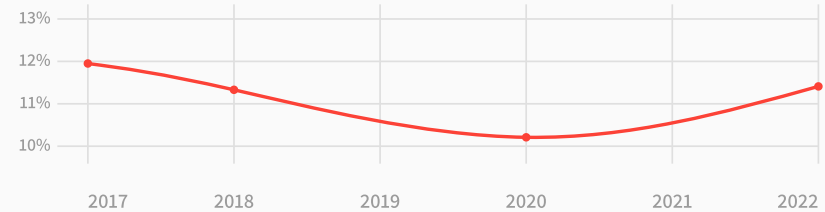
-0.5% net canopy change since 2017.



SKYE TREE CHARACTERISTICS



SKYE CANOPY COVER OVER TIME



SKYE CANOPY CHANGE OVER TIME



This chart shows the net canopy change for each time period in the area.



Community Grants Program

Environmental Sustainability Grant 2024-2025

Acknowledgement of Country

Frankston City Council acknowledges and pays respect to the Bunurong People, the Traditional Custodians of these lands and waters.

Introduction

The Environmental Sustainability Grant provides one-off funding to support community organisations in environmental and sustainability projects and landowners' environmental works that support the strategic vision for Frankston City's future.

Categories

This grant is divided into two categories:

Category	Who can apply
Community Group Projects	Community organisations
Landowner Works	Frankston City Landowners

Funding Objectives

The purpose of the Environmental Sustainability Grants is to support the growth and implementation of initiatives that improve our natural surroundings and foster sustainable practices across Frankston City.

The key objectives of this grant are to collaborate with local community organisations and landowners to:

- Support the [Greening our Future 2014-2024 Strategy](#) and [Climate Change Strategy 2023-2030](#).
- Enhance wildlife corridors to improve biodiversity and contributing to ecosystem restoration.
- Support sustainable land management practices, with a focus on protecting and enhancing native vegetation.

Priorities:

- Community group environmental projects that have a community education and engagement component.
- Revegetation works on private land that contribute to mapped biodiversity corridors connecting native vegetation across the landscape.

Funding Details

Funding Allocation	For Community Group Projects \$1,000 per recipient For Landowners Works Funding will be paid in two stages; 1. 50% on signed agreement; and 2. 50% upon completion of the works and reporting requirements
Timing	Applications are open between 9 September and 21 October 2024
Funding Announcement	Mid-November 2024

Eligibility Criteria

For an application to be eligible, the applicant or proposal must be:

For Community Organisation Projects

- A **not-for-profit** community group or organisation
- Either be:
 - **Incorporated** under the Associations Incorporation Reform Act 2012 or commenced the process of incorporation (evidence will be required); or
 - **Endorsed as a Deductible Gift Recipient (DGR)** as covered by Item 1 of the table in section 30.15 of the Income Tax Assessment 1997; or
 - **Auspiced** (sponsored or supported) by another incorporated or DGR covered Item 1 organisation that will accept legal and financial responsibility for the activity (evidence will be required).
- **Located**
 - Within the local Government area of Frankston City; or
 - If located outside of Frankston City, servicing a significant number (over 1000) of Frankston City residents;
- **Have complied with all terms and conditions** including the submission of satisfactory acquittal reports for all previous Council grants.

For Landowners Works

- **Located** within the local Government area of Frankston City.
- Rural landowners with a **minimum of 2/3 Acre 2697.9sqm**
- Zoned Low density, Rural conservation or green wedge or located within a recognised Biodiversity corridor or Environmental Significance Overlay.
- Commit to maintaining the vegetation for at least 5 years.



What can be funded

Examples for Community Organisation Projects
Workshops that encourage waste diversion, composting, worm farming, water recycling, water efficient garden beds or bush food gardens.
Small events that connect people and increase their knowledge of the climate emergency and provide skills for effective advocacy and action.
Open day community events such as tree planting days or bush regeneration activities.
Workshops that provide information to the community around making their homes more energy efficient or to transition to 100% renewable electricity.
Community programs that encourage skills to expand sustainable behaviour such as how to access the various rebates available, bicycle maintenance workshops or clothing exchange activities.
Examples for Landowner Works
Revegetation works which: <ul style="list-style-type: none"> • Complement remnant vegetation on private properties • Link or strengthen significant habitat areas or corridors • Are required in a land management plan • Aim to increase canopy cover
Works to help control and or manage minor erosion.
Environmental weed control in good quality native vegetation, in association with other vegetation protection measures such as revegetation.

What can't be funded

Community Organisation Projects grant category are not for:

- Individuals, commercial or profit making organisations, political party or hosting a political party.
- Programs, projects or events already funded by Council.
- Prizes, awards or fundraising events.
- Funding that would otherwise be covered by insurance.
- Retrospective funding for activities already completed or purchased.
- Activities that are owned or managed by Council.
- Activities that are the funding responsibility of other levels of government such as school curriculum-based activities.
- Activities that are the responsibility of a group under their incorporation or lease/license agreement (including recurrent expenses, capital works).
- Funding for alcohol licenses, tobacco and gambling related activities.



- Building projects, capital works, large capital expenses and facility maintenance including purchase of lease of real estate or purchase of major equipment or vehicles.
- Activities that contravene State and Commonwealth legislation, Local Laws or Frankston Planning Scheme.
- Organisations currently involved in a tendering or procurement process with the Council.
- Staff, Councillor or contractor to Council (any exemptions in unique circumstances would require approval from the Director Communities, and necessitate all Disclosure of Interest requirements are met).

Landowners Works grant category are not for:

- Waterway revegetation projects: Assistance is available through Melbourne Water's Liveable Communities, Liveable Waterways Program.
- Works that have already been funded by Council.
- Funding that would otherwise be covered by insurance.
- Retrospective funding for works already completed or purchased.
- Works that require additional building permits and/or planning permits.
- Works that contravene State and Commonwealth legislation, Local Laws or Frankston Planning Scheme.
- Activities that are required as a condition of a local law or planning condition.
- Staff, Councillor or contractor to Council (any exemptions in unique circumstances would require approval from the Director Communities, and necessitate all Disclosure of Interest requirements are met).

Assessment Process

Eligible grant applications will be assessed in accordance with the criteria and weighting as outlined in each Council grant's application guidelines and assessed by the responsible person(s) outlined in the Community Grants Policy.

Canvassing or lobbying of councillors, employees of Frankston City Council or assessment panel members in relation to any grant, subsidy and sponsorship applications is prohibited.



Assessment Criteria

Applications will be assessed based on the responses to questions in the criteria below:

For Community Organisation Projects Criteria	
<p>Council’s Environment Strategies Alignment Demonstrates how the project contributes to at least one or more positive environmental outcomes in Frankston City from either the Greening our Future Strategy 2014-2024 or Climate Change Strategy 2023-2030</p>	35%
<p>Community Education and Engagement Showcases how the project will educate and engage with the community, provide significant benefits to Frankston City residents, and is accessible to everyone without discrimination.</p>	35%
<p>Project Management Demonstrates the community group has the resources and experience to manage the project, provides a value-for-money budget, prioritise spending within Frankston City, considers risk management and can deliver measurable outcomes and evaluations at the project’s conclusion.</p>	20%
<p>Funding availability Project addresses a need that would otherwise go unfunded</p>	10%
For Landowner Works Criteria	
<p>Environmental Impact Project has potential to significantly improve wildlife corridors and biodiversity.</p>	35%
<p>Feasibility Outlines a clear, realistic plan and timeline for project implementation.</p>	35%
<p>Sustainability Demonstrates long-term maintenance plan for the project.</p>	30%



Essential Attachments

For Community Group Projects:

- **Either a:**
 - **Certificate of Incorporation, OR**
 - **Evidence of legislative provisions for charitable purposes** (DGR endorsement)
- **Public Liability Insurance** (Current Certificate of Currency)
- **Annual General Meeting Minutes or Annual Report** (Most recent)
- **Annual Financial Statement** (Most recent that includes Income/Expenditure, balance sheet and cash flow)
- **Costs for works / material:** Provide a breakdown and evidence of cost
- Auspiced applicants must also attach a letter of agreement with their auspice organisation and the listed documents above from the auspice organisation

For Landowners Works

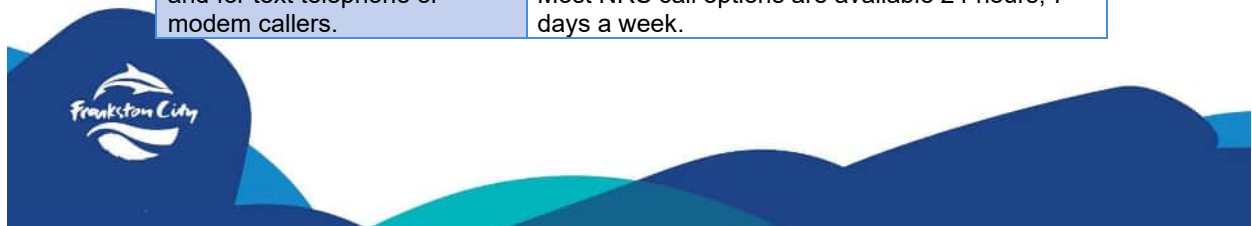
- **Site plan:** Provide a map or diagram of the property showing the location of the proposed activities
- **Photographs:** Submit before photographs of the project area
- **Costs for works / material:** Provide a breakdown and evidence of cost

How to make application

To apply, visit Frankston City Council SmartyGrants website on <https://frankston.smartygrants.com.au> and create an account if you don't already have one.

Support Available

Assistance with	Contact
General enquiries and advice regarding Environmental Sustainability Grant	Community Grants & Networks Unit (03) 9783 1035 CommunityGrants@frankston.vic.gov.au
Technical issues with SmartyGrants website	SmartyGrants 03) 9320 6888 service@smartygrants.com.au
Multilingual support In you need the assistance of an interpreter	Call 131 450 and state 'Frankston City Council as the organisation and quote our number 1300 322 322
Communication Access Support service for people with a hearing, speech or communication impairment and for text telephone or modem callers.	National Relay Service To find the NRS call option that best suits you visit: www.communications.gov.au/accesshub/nrs Most NRS call options are available 24 hours, 7 days a week.



Executive Summary**12.5 Adoption of Coastal and Marine Management Plan 2024 - 2034**

Enquiries: (Tammy Beauchamp: Communities)

Council Plan

- | | |
|----------|--|
| Level 1: | 3. Sustainable Environment |
| Level 2: | 3.1 Protect and enhance the natural and coastal environments |

Purpose

To inform Council of the stakeholder engagement that has occurred and recommend that Council adopt the Coastal and Marine Management Plan 2024-2034.

Recommendation (Director Communities)

That Council:

1. Notes the changes made to draft Coastal and Marine Management Plan following public exhibition, including;
 - a. an Aboriginal cultural heritage narrative added to Chapter 2.1;
 - b. an updated climate change information in Chapter 2.4 based on the latest projections from the Port Phillip Bay Coastal Hazard Assessment; and
 - c. amended wording of several actions based on internal and external stakeholder feedback.
2. Adopts the Coastal and Marine Management Plan 2024-2034; and
3. Refers the adopted Coastal and Marine Management Plan to the Department of Energy, Environment and Climate Action seeking a ministerial approval under the *Marine and Coastal Act 2018*.

Key Points / Issues

- At Council's Ordinary Meeting on 11 December 2023, it was resolved that Council:
 1. *Endorses the draft Coastal and Marine Management Plan for community consultation over a four week period between 1 February 2024 and 29 February 2024;*
 2. *Notes that following community consultation, the draft Coastal and Marine Management Plan will be submitted to the Department of Energy, Environment and Climate Action (DEECA) for their final review;*
 3. *Notes that the development of the draft Coastal and Marine Management Plan commenced with extensive community, agency and internal stakeholder consultation between February and September 2022, with this information and feedback incorporated into the draft Plan; and*
 4. *Seeks a report back to Council no later than June 2024 to consider for adoption the Coastal and marine Management Plan, taking into account any submissions received through community consultation.*
- This report delivers the Coastal and Marine Management Plan (the Plan) (Attachment B) for adoption with the view to refer the Plan to DEECA seeking a ministerial approval. The process of securing a ministerial approval may require further changes to be made to the Plan, however, the scale of these changes

12.5 Adoption of Coastal and Marine Management Plan 2024 - 2034**Executive Summary**

and the timeline are uncertain as there are no statutory timeframes for the review of the final Plan by DEECA.

- The adoption of a new *Marine and Coastal Act 2018*, Marine and Coastal Policy (2020), and Marine and Coastal Strategy (2022) triggered the need for the development of a new Coastal and Marine Management Plan.
- The consultation period on the draft Plan started on 30 January 2024 and closed on 10 March 2024. The consultation period exceeded the legislative requirement of 28 days. Two public notices were advertised in the Government Gazette and Herald Sun as required under s.60 of the *Marine and Coastal Act 2018*.
 - All comments received from DEECA and other state agencies to date have been addressed within the final Plan.
 - Six recommendations identified by the Bunurong Land Council Aboriginal Corporation (BLCAC) Cultural Values Assessment were incorporated into the Plan as actions.
 - 47 online and 30 email submissions were received for the draft Plan.
 - Officers consulted approximately 25 community members in person at the Waterfront Festival (10 – 11 February 2024).
- Submissions received from the community, agency and internal stakeholders informed changes to the prioritisation, allocation and refinement of several actions. The community engagement report can be found on Engage Frankston (Attachment A). The officer's assessment further details the stakeholder engagement along with what changes were incorporated into the Plan in response.
- Seventy-nine (79) actions were identified to protect key values and address issues and opportunities including 33 coast-wide and 46 precinct-specific actions (spread across 6 coastal precincts). The actions deliver on five aspirations and objectives:
 - Aspiration 1: Culture and connections
 - Acknowledge the rights, knowledge and aspirations of Traditional Custodians. Respect and foster their connection to the Land and Sea Country.
 - Aspiration 2: Environmental stewardship
 - Foster environmental stewardship by protecting and enhancing our marine and coastal environment.
 - Aspiration 3: Climate change impacts and safety
 - Adapt to the impacts of climate change. Understand and plan for hazards to strengthen long-term resilience.
 - Aspiration 4: Access, amenity and recreation
 - Improve connectivity, amenity, and accessibility to foster community stewardship of our marine and coastal areas.
 - Aspiration 5: Planning and development

12.5 Adoption of Coastal and Marine Management Plan 2024 - 2034**Executive Summary**

- Respect natural coastal processes in planning and development to promote sustainable use of our marine and coastal areas.

Financial Impact

Implementation of the actions within the Plan once adopted will have financial costs.

Annual Implementation Plans will be developed for the strategic delivery of the Plan. There are some low-cost initiatives that may be implemented within a short time frame within existing budgets. Some actions are longer term and may involve advocacy to the State and Federal Governments. New works and programs will only proceed once funding has been allocated and/or obtained by Council from other sources e.g. grants. These budget allocations will be subject to Council's consideration of new operational and capital expenditure through the annual budget process, grant and other opportunities.

Consultation**1. External Stakeholders**

In-person consultation at the Waterfront Festival and an online submission portal were used to seek views from broad segments of the community during the public exhibition period. An engagement summary for all four engagement stages informing the Plan development can be found in Appendix 4 of the Plan (Attachment A) and the Stage 4 community engagement report can be found on Engage Frankston (Attachment B).

The draft Plan was sent out to state agencies with follow-up meetings informing the Plan finalisation where necessary. The state agencies consulted were DEECA, Parks Victoria, Melbourne Water, Victorian Fisheries Authority and Safe transport Victoria and South East Water.

A Cultural Values Assessment was developed by the Bunurong Land Council Aboriginal Corporation and supported by a site visit with an implementation planning workshop.

2. Other Stakeholders

Internal consultation occurred throughout the development of the Plan via broader staff workshop and individual team meetings to finalise wording and action allocation.

Departments consulted to inform the development of the Plan were:

- Environmental Policy and Planning
- Asset Planning
- Strategic Planning
- Engineering Services
- City Works
- Natural Reserves
- Environmental Health
- Urban Design
- Emergency Management
- Tourism and Campaign Marketing
- Buildings and Facilities
- Events
- Property
- Climate and Sustainability
- Waste Circularity

12.5 Adoption of Coastal and Marine Management Plan 2024 - 2034**Executive Summary****Analysis (Environmental / Economic / Social Implications)**

- The following environmental implications are projected to be facilitated by the delivery of the Plan:
 - Improved land management of the coastal Crown land reserve will be achieved through collaboration with the BLCAC, clearer division of roles and responsibilities between agencies and Council as well as within Council.
 - Environmental values of the coastal precincts will be protected and enhanced by focusing on respecting natural coastal processes, and recognising the importance of marine life, intact dune systems, coastal native vegetation, and waterways.
 - Climate change adaptation and an effective, long-term management of coastal hazards will be achieved through the identification of site-specific coastal hazards, vulnerability and formulation of adaptation pathways.
 - Alignment with the State Government legislation and whole-of-bay partnerships will ensure that our strategic planning decisions are consistent and implemented across the region.
- The following economic and social implications are projected to be facilitated by the delivery of the CMMP:
 - Actions under the Culture and connections aspiration seek to value and protect the heritage and the strong connections of our community to the coast and the Bay.
 - Actions under the Access, amenity and recreation aspiration seek to improve connectivity and accessibility, accommodate more diverse recreational activities and facilitate higher visitation responding to the changes in visitation patterns along the foreshore.
 - Failing to take actions toward reducing and adapting to the impacts of future sea level rise and storm surge events is projected to cause significant damages to built and natural assets to both Council and private land holders by as early as 2040 (Kompas et al., 2023, p.33).

Legal / Policy / Council Plan Impact**Charter of Human Rights and Responsibilities**

All matters relevant to the Charter of Human Rights and Responsibilities have been considered in the preparation of this report and are consistent with the standards set by the Charter.

The Charter of Human Rights and Responsibilities has been considered in the preparation of this report but is not relevant to the content of the report.

Legal

Under the *Marine and Coastal Act 2018* section 76(1)(e), Council, as the Committee of Management must take all reasonable steps to implement a coastal and marine management plan.

Under the *Local Government Act 2020* section 9(2)(c), councils are required to promote the 'economic, social and environmental sustainability of the municipal district, including

12.5 Adoption of Coastal and Marine Management Plan 2024 - 2034**Executive Summary**

mitigation and planning for climate change risks. Council is performing this function in accordance with the Act by implementing the coastal hazard adaptation actions in the Plan.

Policy Impacts

Council's Environmental Sustainability Policy, Greening Our Future Environment Strategy (2014-2024), Climate Change Strategy (2023), Health and Wellbeing Plan (2021-2025), Biodiversity Action Plan (2021), Waste Circularity Plan (2023) are relevant to this report.

Protection and enhancement of the natural and coastal environments is a four-year initiative in the Council Plan (2021-2025). Adaptation and resilience building of the coastal environments is a priority in the Climate Change Strategy (2023).

Gender Impact Assessments

A gender impact assessment has been completed and the recommendations have been implemented. Additional gender impact assessments will be required for the delivery of several actions in line with the *Gender Equality Act 2020*.

Recommendation 1: Incorporate a specific commitment to gender equity and gender impact assessment within the body of the Plan, including the commitment to undertake GIAs for relevant actions.

- The inclusion of an explicit intersectional gender lens in the Plan acknowledges gendered differences in how people access and experience the coastal environment and benefit from the health, wellbeing, social inclusion and participation values it generates.
- The inclusion of an explicit gender lens in considering or responding to the access and amenity, recreation, cultural and safety dimensions of the Plan minimises risks of gender impacts being inconsistently or only partially considered in the Plan's implementation.
- In response to the Gender Impact Assessment, a section on accessibility and gender equality was added under Aspiration 4: Accessibility and gender equality. One coast-wide action and six precinct-specific actions are also included that will have a direct impact on improving accessibility and gender equality in coastal management.

Recommendation 2: Strengthening diverse community engagement in the consultation, delivery, review and evaluation of actions within the Plan.

- Incorporating community engagement plans to achieve this aim has been a core inclusion in action review and will continue to inform delivery planning of the Plan.

Recommendation 3: Strengthen the explicit relationship between the social dimension of precinct use identified by community (access and amenity, recreation, cultural considerations and safety) and actions and objectives contained within the Frankston City Health and Wellbeing Plan 2021-2025.

- Direct points of alignment between the Plan and the Health and Wellbeing Plan are detailed in Appendix 2 of the Plan. Alignment of the Plan with the Health and Wellbeing Plan will ensure an intersectional and efficient consideration of these health and wellbeing issues through integrated action.

Officer's Declaration of Interests

12.5 Adoption of Coastal and Marine Management Plan 2024 - 2034**Executive Summary**

Council officers involved in the preparation of this report have no Conflict of Interest in this matter.

Risk Mitigation

The Plan has been identified as high interest and impact. As such, the document is seen as being a key risk-mitigation strategy for Council.

The Plan is essential to ensure that appropriate management, use and development of the coastal Crown land is achieved and Council's responsibility to manage, improve, maintain, and control the land for the purposes for which it is reserved, in line with legislative requirements, approved policies and guidelines, is fulfilled.

The Plan is instrumental in ensuring an effective climate change adaptation of marine and coastal areas is achieved.

Conclusion

Extensive staff, agency and community consultation ensured a comprehensive review of the draft Plan. The feedback received resulted in refinement and re-prioritisation of several actions approved by relevant lead departments. The final Plan:

- aligns with State Government legislation;
- aligns with key strategic Council documents, ensuring continuity in service delivery;
- reflects the broader vision and ambitions of Frankston City's community;
- sets out clear strategic and operational context for the management of the marine and coastal Crown land reserve; and
- addresses the long-term climate change adaptation requirements to protect key marine and coastal values.

Adoption of the Plan will provide direction for the future local management of an area of marine and coastal Crown land where Frankston City Council is an appointed Committee of Management. Its actions will work toward the ten-year vision for our coastal and marine areas to be protected, resilient and connected, and their bio-cultural diversity to be valued and conserved.

ATTACHMENTS

Attachment A: [↓](#) Stage 4 community engagement report

Attachment B: [↓](#) FCC Coastal and Marine Management Plan

12.5 Adoption of Coastal and Marine Management Plan 2024 - 2034**Officers' Assessment****Background**

- The Victorian Government approved a new *Marine and Coastal Act 2018*, *Marine and Coastal Policy (2020)*, and *Marine and Coastal Strategy (2022)*.
- To align its marine and coastal management with this new legislation, Council, as the Committee of Management of the coastal Crown land reserve, prepared a Coastal and Marine Management Plan (the Plan) under the *Marine and Coastal Act 2018*.
- A Councillor Briefing on 28 November 2022 provided an update on the consultation outcomes and the associated Values, Issues, and Opportunities report.
- Council released the draft Plan for public consultation following its Ordinary Meeting on 11 December 2024.

Issues and Discussion**1. Engagement**

The initial development of the CMMP was supported by a consultant, whose involvement included:

- Development of a consultation and engagement plan
- Community and stakeholder engagement identifying Frankston City specific marine and coastal values, issues and opportunities (Table 1 gives an overview of all engagement activities to date)
- Development of a Values, Issues and Opportunities Report
- Development of the draft Precinct and Implementation Plans

Four stages of engagement informed the development and finalisation of the Plan. An overview of all engagement activities is provided in the in Appendix 4 of the Plan (Attachment A) and the Stage 4 community engagement report can be found on Engage Frankston (Attachment B).

Consultation on the draft Coastal and Marine Management Plan (CMMP) started on 30th January 2024 and closed on 10th March 2024. Both internal and external consultation focused primarily on the action refinement. All comments received were reviewed and, where appropriate, incorporated into the final Strategy.

There were a total of 77 submissions for the draft Plan from 73 submitters, including 47 online and 30 email submissions.

19 submitters stated they were in general supportive of the draft Plan and 5 submitters were unsure.

The feedback from the remaining 49 submitters focused on specific areas of the Plan that needed to be further addressed.

Table 1 provides a summary of community feedback and an officer response.

Table 2 provides a summary of issues raised in more than five submissions including an officer response. Issues raised by multiple submissions listed in order of submissions that raised the specific matter.

12.5 Adoption of Coastal and Marine Management Plan 2024 - 2034

Officers' Assessment

Table 1 – public exhibition feedback summary

ID	Community Feedback	Officer Response
General content, implementation and structure		
1	<p>Consultation process and collaboration with community Appreciation for the consultation process, with suggestions for more collaboration between residents, coastal rangers, and volunteer groups.</p> <p>Some felt that community consultation is vague and lacks genuine engagement, with concerns that it may not lead to meaningful action.</p>	<p>The CMMP went through four stages of engagement over two years of its development with efforts ranging from in-person events, workshops, online workshops, online surveys, agency and Foreshore Advisory Committee workshops, one-on-one meetings and phone calls. The opportunity to contribute was communicated through Engage Frankston, emails, newspaper articles, EnviroNews, Frankston City News, social media, digital wayfinding boards, Government Gazette public notice, postcards and posters along the foreshore and letterbox drops.</p> <p>Total of 4016 people visited the Engage Frankston page and submitted 448 online contributions with further 48 direct email submissions between 2022 and 2024.</p> <p>Stage 4 engagement period extended beyond the legislatively required 28 days to 41 days.</p>
2	<p>Values, Issues and Opportunities The structure and alignment of the CMMP is not clear. It provides a standalone analysis of values, issues and opportunities rather than provide actions to achieve state Policy.</p>	<p>The State Government's Coastal and Marine Management Plan Guidelines require Committees of Management to identify values, issues and opportunities as part of the consultation process. The state Policy's Planning and Decision Making Pathway was used in the early stages of consultation to categorise stakeholder input. The State Policy sets out policies for planning and managing the marine and coastal environment that any use, works and development need to adhere to. The Policy also provides guidance to decision makers in achieving the Act's objectives. The CMMP actions adhere to the Policy and deliver on the Act's objectives as demonstrated in Appendix 1 Table 6.</p>
3	<p>Resource management Funding commitments for actions are unclear.</p>	<p>Each action has an associated cost estimate. Actions indicated to be funded through an existing budget allocation are either a part of a project with an approved budget, a business-as-usual service provision or will require officer time absorbed in an existing position. As a 10-year Plan, costs for actions scheduled for a later delivery are likely to change, which is why the implementation plan along with cost allocation will be adjusted accordingly during the annual reporting and budget planning cycles and/or during the 5-year review. Further details on external funding streams that are regularly assessed for opportunities are provided in Chapter 6.</p>
4	<p>Monitoring, Evaluation, Reporting, and Implementation Prioritisation of actions seems subjective, and evaluation needs to be measurable.</p>	<p>Actions are prioritized through delivery timeframes to</p> <ul style="list-style-type: none"> - ensure they can capitalise on potential new funding opportunities as they arise, - be responsive to shifts in community, Council, State Government and other

12.5 Adoption of Coastal and Marine Management Plan 2024 - 2034

Officers' Assessment

		<p>agency priorities.</p> <ul style="list-style-type: none"> - Ensure continuity with actions overlapping from other plans and projects. <p>Monitoring, Reporting and Evaluation approach is detailed in Chapter six in line with the State Government's Monitoring, Evaluation, Reporting and Improvement (MERI) framework. The MERI framework in our Plan will leverage existing measures and Key Performance Indicators (KPIs) that have established baseline measurements where available. For areas without established baselines, we will aim to enhance current indicators to align with best practices and new data availability. Additionally, some actions will require the collection of new data to identify poorly understood historic trends, which will help establish new baselines. These new baselines will then inform ongoing monitoring and reporting.</p>
5	<p>Integrated management An integrated catchment, coastal and marine management approach recognises that upstream and inland processes influence downstream coastal areas and the bay. Conversely, the bay strongly affects the land and intertidal areas and is projected to increase in hazard levels due to climate change.</p> <p>The CMMP should include activities interventions to monitor and plan for ground water impacts on account of sea level rise.</p>	<p>The principles set out in the Plan work toward achieving an integrated catchment, coastal and marine management within the perimeter set out by the state Policy. This Plan focuses primarily on the management and use of the coastal Crown land and has a significant overlap with other strategic documents and projects that may have an influence on the coastal and marine environment. The ongoing position of a Coastal Policy and Planning Officer also ensures that future land uses and projects that fall outside of the direct remit of this Plan but that may have an impact on the coastal and marine environment are assessed against the policies and principles set out in the state Policy.</p>
6	<p>Precinct profiles Thematic values and challenges identified in the CMMP do not readily translate to specific precincts. Precinct-related key values and challenges would be more meaningfully and more conveniently located along with the precinct map, precinct information, vision statement, precinct priorities, and tabled aspirations and activities, all in the one place.</p>	<p>Community Values, Issues and Opportunities (VIO) input has been summarised in the Plan A separate VIO Report has been published concluding Stage 3 of consultation that features further detail and disaggregated data. Key precinct values, issues and opportunities formed the precinct specific vision and community priorities listed under each precinct. The visions and community priorities were workshopped by the Foreshore Advisory Committee based on the community-wide VIO results and their further analysis.</p>
Action related		
7	<p>Focus and wording of actions The CMMP contains positive values and intentions</p> <p>It lacks concrete actions, offering only options being considered.</p>	<p>The Plan contains both strategic-level and site-specific actions. Many aspects of the Plan are informed by the projected impacts of coastal hazards and climate change on our coastal assets and services. Adaptation pathway approach consistent with the state Policy seeks to explore options that consider short, medium and long term needs to plan more effectively</p>
8	<p>Coastal dependency of uses and facilities The Plan helps support diverse</p>	<p>The CMMP addresses and prioritises management actions to balance competing uses of the City's Crown land reserves. Action 3.3 aims to undertake a</p>

12.5 Adoption of Coastal and Marine Management Plan 2024 - 2034

Officers' Assessment

	<p>community uses of our foreshore areas.</p> <p>There are multiple non-coastally dependent uses along the coast. These functions reduce spaces for legitimate long term coast dependent users. With the impacts of climate change, these buildings, often sited right on the sand line, will become increasingly costly to maintain and protect.</p>	<p>comprehensive condition audit on coastal infrastructure and assets, utilise the findings of regional and local coastal hazard assessments to plan capital and maintenance works programs and assist in long-term adaptation planning. The output Coastal Asset Management Plan and a Coastal Hazard Adaptation and Resilience Plan will consider all appropriate adaptation actions on a site- and asset-specific basis.</p>
9	<p>Frankston Metropolitan Activity Centre Structure Plan</p> <p>The Structure Plan proposal does not seem to sit well with the CMMP, given the immediate proximity of the sensitive coastal area to the proposed high-rise development.</p>	<p>The Structure Plan falls outside of the direct remit of this Plan but developments that may have an impact on the coastal and marine environment are assessed against the policies and principles set out in the state Policy both within Council and by other state agencies.</p>
10	<p>Vegetation cover, weed management and planting</p> <p>Support for underlying vision and initiatives to minimize dune erosion and enhance native vegetation, with calls for ongoing resident involvement in dune care and increase in tree planting.</p> <p>Dense vegetation cover in the dunes is obstructing residents' ability to monitor suspicious activities.</p>	<p>No substantial change to draft needed, will be addressed through delivery of actions under the Environmental Stewardship aspiration and objective.</p> <p>The dunes provide a habitat as well as a natural coastal hazard protection function. This Plan, in line with the state Policy, seeks to respect natural coastal processes, protect and enhance the health of the dune and its primary ecosystem functions.</p>
11	<p>Water quality</p> <p>Efforts to clean waterways are seen as essential for the health of local ecosystems and community enjoyment.</p> <p>There's a perceived lack of focus on pollution controls in waterways and more action is needed.</p>	<p>Council collaborates on these efforts with Melbourne Water, the lead agency in environmental health flows and water quality monitoring for all waterways in the municipality. Action C2.3, 1.2.2, 1.2.4, and 2.2.1 address this issue within the spatial and legislative remit of the CMMP. Integrated Water Action Plan (2016 - 2026) is relevant for ensuring an integrated approach beyond this remit.</p>
12	<p>Action 3.2.2 Dune protection and unauthorised private access tracks</p> <p>Support for dune rehabilitation and more robust protection measures to preserve these vital ecosystems. Private access should be seen to be a privilege not a right, where new properties/access tracks should be disallowed.</p> <p>Some residents express pride in their role as caretakers of the foreshore, participating in weed control and native plant care.</p> <p>Issues with illegal encroachments and vegetation vandalism by some landowners are highlighted, calling</p>	<p>The wording of the actions has been refined to outline delivery steps and objectives more transparently.</p> <p>The review of informal access tracks through the coastal Crown land reserve in action 3.2.2 is not new to the 2024 Plan. Action 6.1.17 in the Coastal Management Plan (2016) sought to "Work with residents to reduce encroachment of private access tracks by prohibiting new tracks and negotiating for shared entries between private residences." In action 3.2.2, Council seeks similar outcomes through a science-based and collaborative approach that will:</p> <ul style="list-style-type: none"> • Be based on local coastal hazard study that will identify high erosion risk areas. • Be a staged approach reflecting the level of risk to public and private properties identified in the coastal hazard study.

12.5 Adoption of Coastal and Marine Management Plan 2024 - 2034

Officers' Assessment

	<p>for stricter enforcement.</p> <p>Some respondents emphasize the importance of maintaining beach access for the value and enjoyment of their properties. Concerns about residents being required to walk hundreds of meters to the authorised entry points would hinder accessibility for elderly residents. Properties are advertised as having a private beach access, restricting this access could affect property values.</p>	<ul style="list-style-type: none"> • Start conversations and collaborate with landholders to identify and reduce informal access tracks, where their continued use might increase the hazard to the public and private land. <p>The outputs of the coastal hazard study will be shared with the public. Since not all properties will be impacted the same, Council will work with landowners of coastal properties to:</p> <ul style="list-style-type: none"> • build an understanding of the extent and timing of the projected coastal hazard impacts, and • identify the most effective adaptation pathways for high-risk areas. <p>The Council has no control over how property agents advertise private properties or set their prices. According to the Report on Economic Impacts of Sea Level Rise (Kompas et al., 2023) and the Port Phillip Bay Coastal Hazard Assessment (DEECA, 2024), climate change is expected to increase the risk of coastal inundation and affect the insurability of coastal properties around the Bay. To minimize these projected hazards, one of the most effective long-term, nature-based adaptation actions the Council can undertake is enhancing the resilience and protection of existing dunes.</p>
13	<p>Cultural Heritage</p> <p>The plan's acknowledgment of Traditional Owners' rights and values, and their integration into coastal planning was praised.</p> <p>Cultural heritage places should be identified, mapped, and protected as part of the coastal management plan.</p> <p>Further detail should be included into the Settlement heritage section and the heritage value of timber bridges across Kananook Creek should be more emphasized.</p>	<p>The Bunurong Land Council Aboriginal Corporation provided a narrative to enhance our understanding of Aboriginal cultural values along the coast. All recommendations of the BLCAC have been accepted as actions in the Plan. Precise location of Aboriginal Cultural heritage sites is sensitive and their identification and management are guided by the BLCAC.</p> <p>Action 3.4.1 to investigate maintenance and design requirements of the timber bridges focuses on the connectivity aspect between the eastern bank of Kananook creek and the foreshore. Their heritage value will form a separate element of the action delivery.</p>
14	<p>Access and transport</p> <p>Safe pedestrian connectivity is essential, and public transport solutions should be prioritized over private vehicle access to reduce parking issues and enhance accessibility.</p> <p>Pedestrian access should be supported but bike access should be restricted to existing shared user paths.</p> <p>Further opportunities for parking should be explored along the foreshore.</p>	<p>Actions in the Plan around access and connectivity balance various uses and requirements while facilitating improved accessibility and pathway continuity. Recreation, Activity, and Access Node designation will help guide future upgrades of existing high-visitation areas while protecting sensitive coastal vegetation.</p>
15	<p>Sea Level Rise and climate change</p>	<p>Chapter 2.4 was updated to include the latest</p>

12.5 Adoption of Coastal and Marine Management Plan 2024 - 2034

Officers' Assessment

	<p>Respondents appreciate the inclusion of real and practical action plans to aid community understanding, preparedness, and resilience to climate change and coastal hazards.</p> <p>Emphasis on the need for increased planting and maintenance of vegetation is seen as a positive step towards enhancing coastal resilience.</p> <p>The CMMP should adopt more recent sea level rise predictions and climatic impacts, incorporating these into planning and management.</p>	<p>climate change projections for sea level rise and coastal inundation as published by the CSIRO to inform the Port Phillip Bay Coastal Hazard Assessment 2024.</p>
16	<p>Marine Habitats The plan needs a heavier focus on reintroducing sea grass into areas where it used to grow abundantly.</p>	<p>While Council is supportive of actions improving marine habitats and will investigate opportunities for their protection and restoration under Action C2.5, management of marine Crown land and marine habitats are in the remit of DEECA, as the landowner/manager, and the Victorian Fisheries Authority.</p>

Table 2 - Issues raised by multiple submissions listed in order of submissions that raised the specific matter

ID	Summary of issue	Officer Response
1	<p>Action 3.2.2 looking to minimise dune erosion by (among other strategies) working with landholders to reduce informal access tracks on Crown land.</p> <p>- Out of the 21 total submissions, 11 were opposed to the action stating concerns about residents being required to walk hundreds of meters to the authorised entry points would hinder accessibility for elderly residents, inconvenience of losing a private beach access, potential effect on property values, passive surveillance of the beach from adjoining properties.</p> <p>- 10 were concerned, however, expressed their interest in working with Council to address their concerns, improve dune health and stability and protect native vegetation.</p>	<p>The detailed background on the history of this action is provided in Table 1 item 12.</p> <p>The wording of the action was amended to provide further quality on the aim and approach to the action delivery. This was achieved by emphasizing that a local coastal hazard assessment will be undertaken first to identify erosion hotspots.</p> <p>Its output will be shared with the affected residents, seeking collaboration in identifying areas of the dune that would benefit from access track consolidation.</p>
2	<p>Vegetation and dune protection</p> <p>- total of 17 submissions expressed the need for more effective nature</p>	<p>Minor changes in wording of relevant vegetation-management actions were made to clarify delivery objectives and timing.</p>

12.5 Adoption of Coastal and Marine Management Plan 2024 - 2034

Officers' Assessment

	<p>reserves management with stronger vegetation and dune protection</p> <ul style="list-style-type: none"> - 8 out of the 17 asked specifically for larger restriction of unauthorised public and private access through dunes 	<p>The Plan has a total of 32 actions that directly or indirectly contribute to vegetation management and dune protection.</p> <p>Action C2.4, particularly, seeks to continue to improve management and monitoring of the ecological function of the reserve with all of its sub-tasks seeking to review and improve our coastal reserve management based on best practice and data.</p>
3	<p>Kananook Creek management</p> <ul style="list-style-type: none"> - total of 10 submissions asked for improved management of Kananook Creek - 6 out of the 10 submissions asked for stronger water quality and pollution controls - 2 out of the 10 submissions sought dredging further north from the mouth of the creek. 	<p>The Governor in Council under section 4(5) of the Marine and Coastal Act 2018 declared that the areas of marine and coastal Crown land upstream of and including the Wells Street crossing of Kananook Creek, Frankston not to be marine and coastal Crown land for the purposes of that Act. While addressing the water quality and management issues of Kananook creek is, therefore, outside of the remit of this Plan, the Creek's significant value is well recognised throughout the body of the Plan.</p> <p>7 actions in the Plan address various issues of water quality, sediment management, connectivity and amenity of Kananook Creek as far as practicable within the context of marine and coastal management principles outlined in the state Policy.</p>
4	<p>Litter management</p> <ul style="list-style-type: none"> - 7 submissions wanted stronger litter management 	<p>Action C2.14 linked directly to the delivery of Action 1.20 of the Waste Circularity Plan seeks to review Council's litter prevention approach through the delivery of a Litter Action Plan.</p> <p>Action C2.13 adds to the Council-wide litter management efforts through beach cleaning, while our ongoing volunteer-support complements mechanical cleaning and public waste management efforts.</p>
5	<p>FMAC Structure Plan</p> <ul style="list-style-type: none"> - 7 submissions expressed an opposition to the FMAC Structure Plan, noting their concern about overdevelopment close to the Kananook Creek and the foreshore. 	<p>The Structure Plan falls outside of the direct remit of this Plan but developments that may have an impact on the coastal and marine environment are assessed against the policies and principles set out in the state Policy both within Council and by other state agencies.</p>
6	<p>Car Parking</p> <ul style="list-style-type: none"> - 7 submissions sought more detail in the Plan to address car parking shortage along the foreshore 	<p>The Plan acknowledges ongoing challenges with car parking along the foreshore, particularly in peak visitation periods. As the Plan applies directly to coastal Crown land, the potential for additional car parking within the Plan's boundary is unlikely.</p> <p>Instead, the Plan proposes to investigate land availability for car parking in adjacent areas across the Nepean Hwy. It also seeks to promote active travel linkages and safe passage across the Nepean Hwy to encourage other modes of travel.</p>
7	<p>Improved amenity</p> <ul style="list-style-type: none"> - 6 submissions sought location-specific amenity improvements in 	<p>Several amenity improvements are proposed across all precincts. Many seeks to align with the Nepean Boulevard project and the Public Toilet Action Plan to ensure continuity with other Council initiatives.</p>

12.5 Adoption of Coastal and Marine Management Plan 2024 - 2034

Officers' Assessment

locations such as Olivers Hill, Long Island Reserve, Long Island Tennis Club, Armstrong's Rd and other Seaford access nodes	All proposals on coastal Crown land will be subject to DEECA approval under the Marine and Coastal Act 2018.
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2. Ministerial Approval

Once adopted by Council, this Plan will be referred to DEECA seeking a ministerial approval. The process of securing a ministerial approval may require further changes to be made to the Plan, however, the scale of these changes and the timeline are uncertain as there are no statutory timeframes for the review of the final Plan by DEECA.

All comments received from DEECA and other state agencies on the draft Plan have been incorporated into the final Plan.

Options Available including Financial Implications

Annual Implementation Plans will be developed for the strategic delivery of the Plan. New works and programs will only proceed once funding has been allocated and/or obtained by Council or other sources e.g. grants. These budget allocations will be subject to Council's consideration of new operational and capital expenditure through the annual budget process, grant and other opportunities.

Year 1 Implementation Plan will focus on actions in Table 2. These actions may include multi-year projects and/or efforts. Budgetary requirements in Table 2 focus consider **Year 1 costs only**, not the total costs of the full respective action delivery.

Table 2 –Overview of actions to commence implementation in year 1 of the Plan

ID	Action	Budget (FY 2024/25)
C1.1	Develop an engagement agreement with BLCAC's Tarbuk Biik (Strong Country) Team, creating a pathway for collaboration.	\$1000
C1.2	Create a proactive strategy for the protection of coastal Aboriginal cultural heritage and consult with BLCAC in the development of this document.	\$1000
C1.3	Develop an engagement agreement and strategy with BLCAC's Heritage Team to undertake heritage surveys (Standard Assessment) of registered Aboriginal places, including shell middens, within the six defined precincts of this project.	\$1500
C1.4	Consult with BLCAC about the management of the reserves located within the six precincts of the project, including pest management and planting strategies and the opportunity for the BLCAC Tarbuk Biik (Strong Country) Team to participate in on-the-ground management of the reserves.	\$1000
C2.1	Partner with and support local community groups to strengthen environmental stewardship through improving habitat management and monitoring, clean-up, and education activities.	\$1000
C2.2	Develop, promote and contribute to a marine and coastal	Existing

12.5 Adoption of Coastal and Marine Management Plan 2024 - 2034

Officers' Assessment

	knowledge base with an emphasis on citizen science monitoring program. Work with the community and partner agencies to establish local, ongoing monitoring and reporting of coastal and marine changes.	budget
C2.3	Investigate and implement water quality and drainage improvements. a) Prioritise network upgrades with direct impact on foreshore water quality. b) Upgrade the existing and introduce new assets such as pollutant traps at outfalls and gutter guards along the foreshore and adjacent catchment areas. c) Advocate for improvements in upstream catchments in line with integrated water and catchment management principles.	Existing budget
C2.4	Continue to improve management and monitoring of the ecological function of the reserves. a) Review and update the Flora and Fauna Assessment of the foreshore reserves. b) Base foreshore Reserve Management Plans on best practice, latest knowledge and data to inform weed control, pest animal management, prescribed burning and revegetation. c) Support the implementation of actions in the Biodiversity Action Plan (2021) to protect coastal habitats.	\$20,000 (part delivery a)
C2.6	Control and limit the impacts of night-time lighting on marine and coastal wildlife by: a) Ensuring that the National Light Pollution Guidelines for Wildlife (DCCEEW, 2023) are considered during the planning, design and delivery of coastal projects and activation of the foreshore. b) Considering the outputs and recommendations of the 'Assessing and Reducing Night-time Lighting Impacts on Marine and Coastal Animals in Port Phillip Bay' project (ABM, 2024) in the development of Frankston City's Wildlife-friendly Lighting Guideline.	Officer Time
C2.7	Protect and enhance our dunes. c) Continue to build regional and site-specific understanding of natural coastal processes.	Existing budget
C2.10	Continue to regularly review statutory protection of environmentally significant native vegetation communities of the Coastal Complex and Coast Banksia Woodland to protect and enhance bio links.	Existing budget
C2.11	Review vegetation vandalism guidelines in line with the Urban Forest Action Plan and formalise process for response to vegetation vandalism on coastal Crown land.	Officer time
C2.12	Work with relevant agencies to promote behaviour change that will ensure protection of marine wildlife against disturbance, entanglements, and control illegal fishing activities.	\$1000
C3.2	Work with DEECA on condition assessments of existing coastal protection structures, to evaluate their fitness for purpose in addressing current and future coastal hazards. Consider projected impacts of climate change, natural coastal processes and infrastructure changes on surrounding	DEECA funded project

12.5 Adoption of Coastal and Marine Management Plan 2024 - 2034

Officers' Assessment

	areas and investigate feasibility of alternate adaptation measures (including nature-based solutions) in line with State policy.	
C5.1	Establish a transparent assessment of proposals for organised activities within the foreshore reserves that: a) aligns with coastal dependency principles, existing policies and guidelines, b) includes coastal sensitivity considerations and responds to the natural environment, c) benefits the community, promotes environmental stewardship and opportunities to celebrate the marine and coastal environment.	Officer time
1.1.1	Collaborate with BLCAC to implement their coast-wide recommendations relating to cultural values and heritage places at Olivers Hill.	\$1500
1.2.3	Promote fishing litter education through the use of educational signage, additional bins and community clean up days.	\$1500
1.3.1	Continue to monitor the stability of Oliver's Hill, document points of change that require risk assessment, and where feasible, explore stabilisation measures.	Existing budget
2.2.1	Investigate water quality improvements for the lower reaches of Kananook Creek. c) Continue to advocate to and collaborate with Melbourne Water to control sediment loads and weeds in Kananook Creek.	Officer time
2.2.3	Manage sediment accumulation at the Kananook Creek mouth to facilitate safe boating access and visitor amenity. b) Continue periodic testing of dredge material to identify if there are any emerging contaminants of concern that require specific management.	Existing budget
3.3.1	Undertake engagement with license holders on projected climate change impacts and natural coastal processes that may affect existing bathing boxes. Ensure Council and DEECA's Guidelines for the management of existing bathing boxes and boatsheds on marine and coastal Crown land (2022) and policies are followed.	Existing budget
3.2.3	Deliver community education programs that highlight the importance of maintaining the health of the coastal vegetation communities as climate change adaptation and natural coastal defence mechanisms.	Existing budget
4.2.1	Promote Seaford foreshore reserve to school and university groups to increase community learning and practical environmental stewardship activities.	Officer time
4.2.2	Limit damage to sand dunes, native vegetation and fauna to prevent fragmentation of the sensitive coastal habitats by: a) Undertaking local coastal hazard assessment to identify erosion hot spots. b) Continuing to identify and regenerate degraded areas where natural regeneration processes are hampered by invasive weeds. c) Preventing and controlling vegetation vandalism.	\$12000
4.4.2	Upgrade Seaford Road public toilet facility to improve	Existing

12.5 Adoption of Coastal and Marine Management Plan 2024 - 2034

Officers' Assessment

	access, safety, and encourage passive recreation.	budget
5.3.2	Update and maintain signage on Seaford Pier and near beach access points that the pier is not safe for diving from, and the changing sand bar conditions make water depth unpredictable to discourage diving and encourage safe swimming.	\$800
6.2.1	Increase opportunities for environmental education through alignment with play space upgrades, signage, community programs and activities. Events should be coast-dependent and feature an aspect of coastal, marine or foreshore environmental education.	\$1000
6.4.4	Upgrade Armstrongs Road public toilet facility to improve access, safety, and encourage passive recreation.	Existing budget

The budget allocation for 24/25 for Coastal and Marine Management Plan delivery is \$40,000. The resource requirements associated with the year 1 implementation plan are \$42,300 with some actions such as C2.4 to be staged over year 1 and 2 to accommodate the budget allocation.



Stage 4

Draft Coastal and Marine Management Plan

Engagement Report



Contents



Consultation highlights	3
Key engagement statistics	3
Barriers to engagement	4
Overview	5
Purpose & objectives	6
Community consultation process	6
Council consultation process	7
Consultation materials	8
Community pop-ups.....	8
Online	8
Community feedback	9
Stakeholder feedback	16
Next steps.....	18
Appendix A_Engagement materials.....	19
Appendix B_Online Survey.....	26
Appendix C_Social media posts	27

Executive Summary



Consultation highlights

Stage 4 consultation on the draft Coastal and Marine Management Plan (CMMP) started on 30th January 2024 and closed on 10th March 2024. The consultation period was longer than the legislative requirement of 28 days with two public notices advertised in the Government Gazette and Herald Sun as required under s.60 of the *Marine and Coastal Act 2018*. Both advertisements can be found in Appendix 1.

47 submissions were received through Engage Frankston and 30 submissions were received via email. This contributed to the total of 481 contributions across Stages 1 – 4.

Key engagement statistics

- The main Engage Frankston page received 44 contribution with further 3 contributions being submitted to a youth-tailored survey. Additional 30 email submissions were received via email.
- There has been very high visitation to the page (1747 visitors), largely due to the social media campaign that has been run, which has referred 68% of visitors.
- The Waterfront Festival (10 – 11 February 2024) provided an in-person community consultation with a low participation of approximately 25 visitors across the 2 days.
- 300 postcards were delivered in a letterbox drop to seaward Gould Street and Olivers Hill properties. Additional 428 letters were sent to Gould Street residents and absentee property owners. A letter was also emailed to all bathing box/boatshed licensees.
- 150 postcards were dropped off at beach-side cafes complemented by promotion through digital wayfinding posters and corflute posters at 4 beach entrances.
- 2 public notices in the Government Gazette and Herald Sun were advertised in the first week of the engagement.
- 3 articles published through eNews, Frankston City News and EnviroNews.
- The social media campaign featured Kevin the Seal, Myra and other marine animals at Frankston Pier across 3 posts. Combined, these posts reached over 30,000 people.
- Representatives from over 20 internal teams had input into the draft CMMP.

Introduction



Barriers to engagement

During community consultations, there are often limitations to the engagement overall and/or specific engagement activities. The limitations of this consultation have been identified as:

- The engagement focused on addressing gaps in previous consultation and closing the loop on the two-year engagement campaign. This meant engaging the public on an 89-page draft Plan. The length and complexity of the document, while required to meet the Coastal and Marine Management Plan Guidelines 2023 prepared by the State Government, could have posed a barrier to participation.
- New requirement to create an Engage Frankston Profile and log in to submit a response also presented a barrier for some participants.
- Lack of acknowledgment and/or understanding of the boundaries where the draft Plan applies (that is, coastal Crown land over which Frankston City Council is an appointed Committee of Management) leading to engagement responses relating to separate issues outside of the Plan's remit.

Introduction



Overview

This report provides a summary of Stage 4 of consultation undertaken to finalise the draft Coastal and Marine Management Plan. The engagement stages spread across 2 years, starting in January 2022 and closing with the final stage in March 2024.

The full 89-page draft Plan was available for download and several hard copies were provided to residents upon request. To further encourage feedback, the engage page featured a summary of coast-wide and precinct-specific vision and priorities encouraging participants to focus on prioritisation of specific precincts and addressing gaps in the action plan.

Council's Engagement Principles:

- Purpose – this last stage of the engagement was a legislative requirement under the *Marine and Coastal Act 2018* serving to close the loop on the development of the new CMMP.
- Informed – Each of the engagement stages provided a report and/or a summary of outputs informing the development of the draft Plan. Participants in this final stage were able to build on their previous involvement or review the draft Plan and the supporting engagement information to be able to comment from an informed perspective.
- Representative – The engagement campaign used multiple platforms (social media, printed and e-news articles, newsletters, Government Gazette, posters, postcards, letters, targeted emails, digital wayfinding posters, themed colouring-in pictures, surveys) and networks (youth network, Disability Access and Inclusion Committee, Foreshore Advisory Committee, environmental volunteer groups, coastal-adjacent sport and life-saving clubs) to engage with community. All relevant agencies were also notified and provided input into the draft Plan.
- Supported - Participants were supported to enable meaningful and informed engagement by providing multiple avenues and formats for engagement.
- Influence - Participants were informed of the ways in which the engagement process will help shape the final Plan. The structure of the online survey itself focused on precinct planning and prioritisation, making it easier for the survey responses to influence the final plan.
- Report - Each phase of the engagement was reported on with a summary made accessible on Engage Frankston.

Engagement Details

Purpose & objectives

Stage 4 of the engagement for the Coastal and Marine Management Plan (CMMP) in Frankston, Victoria, aimed to involve the community in providing feedback on the draft plan. The objectives were to ensure that the proposed strategies and actions reflected the community's needs and preferences, and to identify any gaps or areas for improvement. This stage focused on gathering detailed input to refine the plan, ensuring it is comprehensive and aligned with the community's vision for the coastal and marine environments. The feedback collected was used to finalize the CMMP, guiding sustainable management and protection efforts for the coastal areas.

For more detailed information, you can visit the engagement page [here](#).

Community consultation process

What	Who	When	Why	IAP2
Workshop 7	Foreshore Advisory Committee	July 2023	Review of draft CMMP actions and precinct maps	Collaborate
Stage 4 online engagement	Community stakeholders	January – March 2024	Online community engagement on draft CMMP. The consultation period was longer than the legislative requirement of 28 days with a public notice advertised in the Government Gazette and Herald Sun as required under s.60 of the <i>Marine and Coastal Act 2018</i> . 47 submissions were received through Engage Frankston and 30 submissions were received via email.	Consult
Waterfront festival	Community stakeholders	February 2024	In-person community engagement on draft CMMP and current coastal citizen science initiatives.	Inform

Council consultation process

What	Who	When	Why	IAP2
One-on-one meetings	Council staff	November 2023 – May 2024	Action planning, draft review and implementation planning one-on-one meetings with staff.	Collaborate
One-on-one meetings	State agencies	November 2023 – May 2024	Agency feedback was received via email, through phone calls and targeted meetings from Melbourne Water, Department of Energy Environment and Climate Action, Victorian Fisheries Authority, Parks Victoria, Safety Transport Victoria. No response was received from South East Water.	Consult
Implementation Planning Workshop	BLCAC	April 2024	A Cultural Values Assessment was developed by the Bunurong Land Council Aboriginal Corporation supported by a site visit and an implementation planning workshop.	Collaborate

Departments consulted to inform the development of the Plan were:

- Environmental Policy and Planning
- Asset Planning
- Strategic Planning
- Engineering Services
- City Works
- Natural Reserves
- Environmental Health
- Urban Design
- Emergency Management
- Tourism and Campaign Marketing
- Buildings and Facilities
- Events
- Property
- Climate and Sustainability
- Waste Circularity

Consultation outcomes



Consultation materials

- 300 postcards were delivered in a letterbox drop to seaward Gould Street and Olivers Hill properties. Additional 428 letters were sent to Gould Street residents and absentee property owners. A letter was also emailed to all bathing box/boatshed licensees.
- 150 postcards were dropped off at beach-side cafes complemented by promotion through digital wayfinding posters and corflute posters at 4 beach entrances.
- 2 public notices in the Government Gazette and Herald Sun were advertised in the first week of the engagement.
- 3 articles published through eNews, Frankston City News and EnviroNews.

All consultation materials are in Appendix A.

Community pop-ups

The Waterfront Festival (10 – 11 February 2024) provided an in-person community consultation with participation of approximately 25 visitors to the designated Frankston City Council marquee across the 2 days.

Online

Engage Frankston!

The Engage Frankston page provided a short background on the draft Plan and the three previous engagement stages and their outcomes.

It facilitated a review the coastal Vision and Priorities for each of the 6 precincts above, or review the full Draft Plan here. It also featured a short survey that closed at midnight 10 March 2024. (See page here: [Coastal and Marine Management Plan | Engage Frankston!](#))

Engage Frankston platform was used to facilitate a short community survey allowing respondents to share their feedback on the draft Plan from 30 January until 10 March 2024 (see survey questions in Appendix B).

Social Media

The Strategic Communications team ran an influencer campaign with local scuba diver Myra Kelly. <https://www.instagram.com/myrakelly/>

The campaign featured Kevin the Seal, Myra and other marine animals at Frankston Pier across three posts. Combined, these posts reached over 30,000 people. Social media accounted for over 65% of the 2,454 page views (approximately 1,600 views).

All posts can be found in Appendix C.



Community feedback

ID	Community feedback and officer response
ID	Community feedback
no.	<i>Officer Response</i>
General content, implementation and structure	
1	<p>Consultation process and collaboration with community</p> <p>Positive: Appreciation for the consultation process, with suggestions for more collaboration between residents, coastal rangers, and volunteer groups.</p> <p>Negative: Some felt that community consultation is vague and lacks genuine engagement, with concerns that it may not lead to meaningful action.</p> <p><i>The CMMP went through four stages of engagement over two years of its development with efforts ranging from in-person events, workshops, online workshops, online surveys, agency and Foreshore Advisory Committee workshops, one-on-one meetings and phonecalls. The opportunity to contribute was communicated through Engage Frankston, emails, newspaper articles, EnviroNews, Frankston City News, social media, digital wayfinding boards, Government Gazette public notice, postcards and posters along the foreshore and letterbox drops.</i></p> <p><i>Total of 4016 people visited the Engage Frankston page and submitted 448 online contributions with further 48 direct email submissions between 2022 and 2024. Stage 4 engagement period extended beyond the legislatively required 28 days to 41 days.</i></p>
2	<p>Values, Issues and Opportunities</p> <p>Negative: The structure and alignment of the CMMP is not clear. It provides a standalone analysis of values, issues and opportunities rather than provide actions to achieve state Policy.</p> <p><i>The State Government's Coastal and Marine Management Plan Guidelines require Committees of Management to identify values, issues and opportunities as part of the consultation process. The state Policy's Planning and Decision Making Pathway was used in the early stages of consultation to categorise stakeholder input. The State Policy sets out policies for planning and managing the marine and coastal environment that any use, works and development need to adhere to. The Policy also provides guidance to decision makers in achieving the Act's objectives. The CMMP actions adhere to the Policy and deliver on the Act's objectives as demonstrated in Appendix 1 Table 6.</i></p>
3	<p>Resource management</p> <p>Negative: funding commitments for actions are unclear.</p> <p><i>Each action has an associated cost estimate. Actions indicated to be funded through an existing budget allocation are either a part of a project with an approved budget, a business-as-usual service provision or will require officer time absorbed in an existing position. As a 10-year Plan, costs for actions scheduled for a later delivery are likely to change, which is why the implementation plan along with cost allocation will be adjusted accordingly during the annual reporting and budget planning cycles and/or during the 5-year review. Further details on external funding streams that are regularly assessed for opportunities are provided in Chapter 6.</i></p>



4	<p>Monitoring, Evaluation, Reporting, and Implementation Negative: Prioritisation of actions seems subjective, and evaluation needs to be measurable.</p> <p><i>Actions are prioritized through delivery timeframes to</i></p> <ul style="list-style-type: none"> - ensure they can capitalise on potential new funding opportunities as they arise, - be responsive to shifts in community, Council, State Government and other agency priorities. - Ensure continuity with actions overlapping from other plans and projects. <p><i>Monitoring, Reporting and Evaluation approach is detailed in Chapter six in line with the State Government's Monitoring, Evaluation, Reporting and Improvement (MERI) framework. The MERI framework in our Plan will leverage existing measures and Key Performance Indicators (KPIs) that have established baseline measurements where available. For areas without established baselines, we will aim to enhance current indicators to align with best practices and new data availability. Additionally, some actions will require the collection of new data to identify poorly understood historic trends, which will help establish new baselines. These new baselines will then inform ongoing monitoring and reporting.</i></p>
5	<p>Integrated management Positive: An integrated catchment, coastal and marine management approach recognises that upstream and inland processes influence downstream coastal areas and the bay. Conversely, the bay strongly affects the land and intertidal areas and is projected to increase in hazard levels due to climate change.</p> <p>Negative: The CMMP should include activities interventions to monitor and plan for ground water impacts on account of sea level rise.</p> <p><i>The principles set out in the Plan work toward achieving an integrated catchment, coastal and marine management within the perimeter set out by the state Policy. This Plan focuses primarily on the management and use of the coastal Crown land and has a significant overlap with other strategic documents and projects that may have an influence on the coastal and marine environment. The ongoing position of a Coastal Policy and Planning Officer also ensures that future land uses and projects that fall outside of the direct remit of this Plan but that may have an impact on the coastal and marine environment are assessed against the policies and principles set out in the state Policy.</i></p>
6	<p>Precinct profiles Negative: Thematic values and challenges identified in the CMMP do not readily translate to specific precincts. Precinct-related key values and challenges would be more meaningfully and more conveniently located along with the precinct map, precinct information, vision statement, precinct priorities, and tabled aspirations and activities, all in the one place.</p> <p><i>Community Values, Issues and Opportunities (VIO) input has been summarised in the Plan A separate VIO Report has been published concluding Stage 3 of consultation that features further detail and disaggregated data. Key precinct values, issues and opportunities formed the precinct specific vision and community priorities listed under each precinct. The visions and community priorities were workshopped by the</i></p>



	<i>Foreshore Advisory Committee based on the community-wide VIO results and their further analysis.</i>
Action related	
7	<p>Focus and wording of actions</p> <p>Positive: The CMMP contains positive values and intentions</p> <p>Negative: It lacks concrete actions, offering only options being considered.</p> <p><i>The Plan contains both strategic-level and site-specific actions. Many aspects of the Plan are informed by the projected impacts of coastal hazards and climate change on our coastal assets and services. Adaptation pathway approach consistent with the state Policy seeks to explore options that consider short, medium and long term needs to plan more effectively.</i></p>
8	<p>Coastal dependency of uses and facilities</p> <p>Positive: The Plan helps support diverse community uses of our foreshore areas.</p> <p>Negative: There are multiple non-coastally dependent uses along the coast. These functions reduce spaces for legitimate long term coast dependent users. With the impacts of climate change, these buildings, often sited right on the sand line, will become increasingly costly to maintain and protect.</p> <p><i>The CMMP addresses and prioritises management actions to balance competing uses of the City's Crown land reserves. Action 3.3 aims to undertake a comprehensive condition audit on coastal infrastructure and assets, utilise the findings of regional and local coastal hazard assessments to plan capital and maintenance works programs and assist in long-term adaptation planning. The output Coastal Asset Management Plan and a Coastal Hazard Adaptation and Resilience Plan will consider all appropriate adaptation actions on a site- and asset-specific basis.</i></p>
9	<p>Frankston Metropolitan Activity Centre Structure Plan</p> <p>Negative: The Structure Plan proposal does not seem to sit well with the CMMP, given the immediate proximity of the sensitive coastal area to the proposed high-rise development.</p> <p><i>The Structure Plan falls outside of the direct remit of this Plan but developments that may have an impact on the coastal and marine environment are assessed against the policies and principles set out in the state Policy both within Council and by other state agencies.</i></p>
10	<p>Vegetation cover, weed management and planting</p> <p>Positive: Support for underlying vision and initiatives to minimize dune erosion and enhance native vegetation, with calls for ongoing resident involvement in dune care and increase in tree planting.</p> <p>Negative: Dense vegetation cover in the dunes is obstructing residents' ability to monitor suspicious activities.</p> <p><i>No change to draft needed, will be addressed through delivery of actions under the Environmental Stewardship aspiration and objective.</i></p>



	<p><i>The dunes provide a habitat as well as a natural coastal hazard protection function. This Plan, in line with the state Policy, seeks to respect natural coastal processes, protect and enhance the health of the dune and its primary ecosystem functions.</i></p>
11	<p>Water quality Positive: Efforts to clean waterways are seen as essential for the health of local ecosystems and community enjoyment.</p> <p>Negative: There's a perceived lack of focus on pollution controls in waterways and more action is needed.</p> <p><i>Council collaborates on these efforts with Melbourne Water, the lead agency in environmental health flows and water quality monitoring for all waterways in the municipality. Action C2.3, 1.2.2, 1.2.4, and 2.2.1 address this issue within the spatial and legislative remit of the CMMP. Integrated Water Action Plan (2016 - 2026) is relevant for ensuring an integrated approach beyond this remit.</i></p>
12	<p>Actin 3.2.2 Dune protection and unauthorised private access tracks Positive: Support for dune rehabilitation and more robust protection measures to preserve these vital ecosystems. Private access should be seen to be a privilege not a right, where new properties/access tracks should be disallowed.</p> <p>Positive: Some residents express pride in their role as caretakers of the foreshore, participating in weed control and native plant care.</p> <p>Negative: Issues with illegal encroachments and vegetation vandalism by some landowners are highlighted, calling for stricter enforcement.</p> <p>Negative: Some respondents emphasize the importance of maintaining beach access for the value and enjoyment of their properties. Concerns about residents being required to walk hundreds of meters to the authorised entry points would hinder accessibility for elderly residents. Properties are advertised as having a private beach access, restricting this access could affect property values.</p> <p><i>The wording of the actions has been refined to outline delivery steps and objectives more transparently.</i></p> <p><i>The review of informal access tracks through the coastal Crown land reserve in action 3.2.2 is not new to the 2024 Plan. Action 6.1.17 in the Coastal Management Plan (2016) sought to "Work with residents to reduce encroachment of private access tracks by prohibiting new tracks and negotiating for shared entries between private residences." In action 3.2.2, Council seeks similar outcomes through a science-based and collaborative approach that will:</i></p> <ul style="list-style-type: none"> • <i>Be based on local coastal hazard study that will identify high erosion risk areas.</i> • <i>Be a staged approach reflecting the level of risk to public and private properties identified in the coastal hazard study.</i> • <i>Start conversations and collaborate with landholders to identify and reduce informal access tracks, where their continued use might increase the hazard to the public and private land.</i>



	<p><i>The outputs of the coastal hazard study will be shared with the public. Since not all properties will be impacted the same, Council will work with landowners of coastal properties to:</i></p> <ul style="list-style-type: none"> • <i>build an understanding of the extent and timing of the projected coastal hazard impacts, and</i> • <i>identify the most effective adaptation pathways for high-risk areas.</i> <p><i>The Council has no control over how property agents advertise private properties or set their prices. According to the Report on Economic Impacts of Sea Level Rise (Kompas et al., 2023) and the Port Phillip Bay Coastal Hazard Assessment (DEECA, 2024), climate change is expected to increase the risk of coastal inundation and affect the insurability of coastal properties around the Bay. To minimize these projected hazards, one of the most effective long-term, nature-based adaptation actions the Council can undertake is enhancing the resilience and protection of existing dunes.</i></p>
13	<p>Cultural Heritage</p> <p>Positive: The plan's acknowledgment of Traditional Owners' rights and values, and their integration into coastal planning was praised.</p> <p>Negative: Cultural heritage places should be identified, mapped, and protected as part of the coastal management plan.</p> <p>Negative: Further detail should be included into the Settlement heritage section and the heritage value of timber bridges across Kananook Creek should be more emphasized.</p> <p><i>The Bunurong Land Council Aboriginal Corporation provided a narrative to enhance our understanding of Aboriginal cultural values along the coast. All recommendations of the BLCAC have been accepted as actions in the Plan. Precise location of Aboriginal Cultural heritage sites is sensitive and their identification and management are guided by the BLCAC.</i></p> <p><i>Action 3.4.1 to investigate maintenance and design requirements of the timber bridges focuses on the connectivity aspect between the eastern bank of Kananook creek and the foreshore. Their heritage value will form a separate element of the action delivery.</i></p>
14	<p>Access and transport</p> <p>Positive: Safe pedestrian connectivity is essential, and public transport solutions should be prioritized over private vehicle access to reduce parking issues and enhance accessibility.</p> <p>Negative: Pedestrian access should be supported but bike access should be restricted to existing shared user paths.</p> <p>Negative: Further opportunities for parking should be explored along the foreshore.</p> <p><i>Actions in the Plan around access and connectivity balance various uses and requirements while facilitating improved accessibility and pathway continuity.</i></p>



	<i>Recreation, Activity, and Access Node designation will help guide future upgrades of existing high-visitation areas while protecting sensitive coastal vegetation.</i>
15	<p>Sea Level Rise and climate change</p> <p>Positive: Respondents appreciate the inclusion of real and practical action plans to aid community understanding, preparedness, and resilience to climate change and coastal hazards.</p> <p>Positive: Emphasis on the need for increased planting and maintenance of vegetation is seen as a positive step towards enhancing coastal resilience.</p> <p>Negative: The CMMP should adopt more recent sea level rise predictions and climatic impacts, incorporating these into planning and management.</p> <p><i>Chapter 2.4 was updated to include the latest climate change projections for sea level rise and coastal inundation as published by the CSIRO to inform the Port Phillip Bay Coastal Hazard Assessment 2024.</i></p>
16	<p>Marine Habitats</p> <p>Negative: The plan needs a heavier focus on reintroducing sea grass into areas where it used to grow abundantly.</p> <p><i>While Council is supportive of actions improving marine habitats and will investigate opportunities for their protection and restoration under Action C2.5, management of marine Crown land and marine habitats are in the remit of DEECA, as the landowner/manager, and the Victorian Fisheries Authority.</i></p>



Positive insights

The positive feedback centred around the Plan's response to climate change, coastal hazards, and sea level rise actions. Respondents appreciated the thorough consideration given to these issues and the proactive measures proposed. One respondent noted, "The comprehensive approach to addressing sea level rise and coastal hazards is reassuring," highlighting the Plan's foresight in dealing with long-term environmental challenges. Another praised the integration of climate change adaptation strategies, stating, "Incorporating climate resilience into the planning process shows a clear commitment to sustainable development." Additionally, the emphasis on monitoring and evaluating these actions was well-received, with a comment mentioning, "The Plan's emphasis on ongoing monitoring and reporting ensures that we can track progress and make necessary adjustments." Overall, the Plan's attention to these critical areas received positive recognition for its forward-thinking and detail-oriented approach.

Opportunities for improvement

While the feedback on the plan's response to climate change and coastal hazards was generally well received, some respondents felt the Plan could either use stronger actions in this space or put more emphasis on other values, amenity and access. There were calls for clearer resource management and funding commitments, with one respondent stating, "Resource management and funding commitments are unclear." Integrated catchment, coastal, and marine management approaches were recommended to account for upstream and inland processes affecting downstream coastal areas and the bay. A respondent noted, "The CMMP should include activities to monitor and plan for groundwater impacts due to sea level rise." Thematic values and challenges identified in the CMMP were said to not readily translate to specific precincts, prompting suggestions to locate precinct-related information, vision statements, and activities together for clarity. Additionally, respondents highlighted that non-coastally dependent uses along the coast reduce space for long-term coast-dependent users, emphasizing the need to reconsider the placement of such amenities in light of future climate change impacts.



Key learnings

What worked

Postcard drop at beach-side cafes and posters at entrances were effective. QR code was used on this collateral that was scanned 92 times. Direct letters to residents at target coastal areas also worked well to increase participation.

Not working so well

While effective, direct letters to residents at target areas introduced a bias in the responses received, focusing heavily on a single precinct. In-person engagement at the Waterfront festival gained minimal engagement, possibly due to location of the marquee.

Stakeholder feedback

Positive insights

During our recent engagement, all target stakeholders expressed a keen interest in identifying overlaps and exploring opportunities for collaboration. Additionally, the one-on-one meetings with individual agencies proved to be highly productive, ensuring that all relevant actions were comprehensively covered. Furthermore, the document was found to be easy to navigate and adhered well to the state government guidelines.

The collaboration with Bunurong Land Council Aboriginal Corporation provided space for true self-determination and produced an invaluable cultural values narrative for the Plan. The implementation planning workshop identified delivery timeframes and key staff and teams to be involved in action delivery.

Opportunities for improvement

Some issues requiring cross-agency collaboration would benefit from a joint workshop with all relevant agencies.

Evaluation



The Engagement Plan for this consultation included several measures of success related to the engagement objectives.

The success measures met and the objective they relate to are outlined below:

Objective	Success Measure
Address gaps in previous engagement	All target stakeholder groups were reached and provided feedback with the exception of South East Water.

Conclusion



The final, fourth stage of community engagement enabled the community to review the draft Plan. The survey responses did not identify any single precinct that stood out as high - priority. This result reflects the competing values and uses our community holds for each precinct.

Next steps

The Coastal and Marine Management Plan is going to a Council Meeting on 22nd July 2024 for adoption. Once adopted, the Plan will be referred to the Department of Energy, Environment and Climate Action seeking ministerial approval.

A long-term implementation plan is developed, with Annual Implementation Plans being determined aiming for a more responsive action delivery in line with Council's service planning and reporting cycles. There are some low-cost initiatives that may be implemented within a short time frame within existing budgets. Some actions are longer term and may involve advocacy to the State and Federal Governments.

Appendices

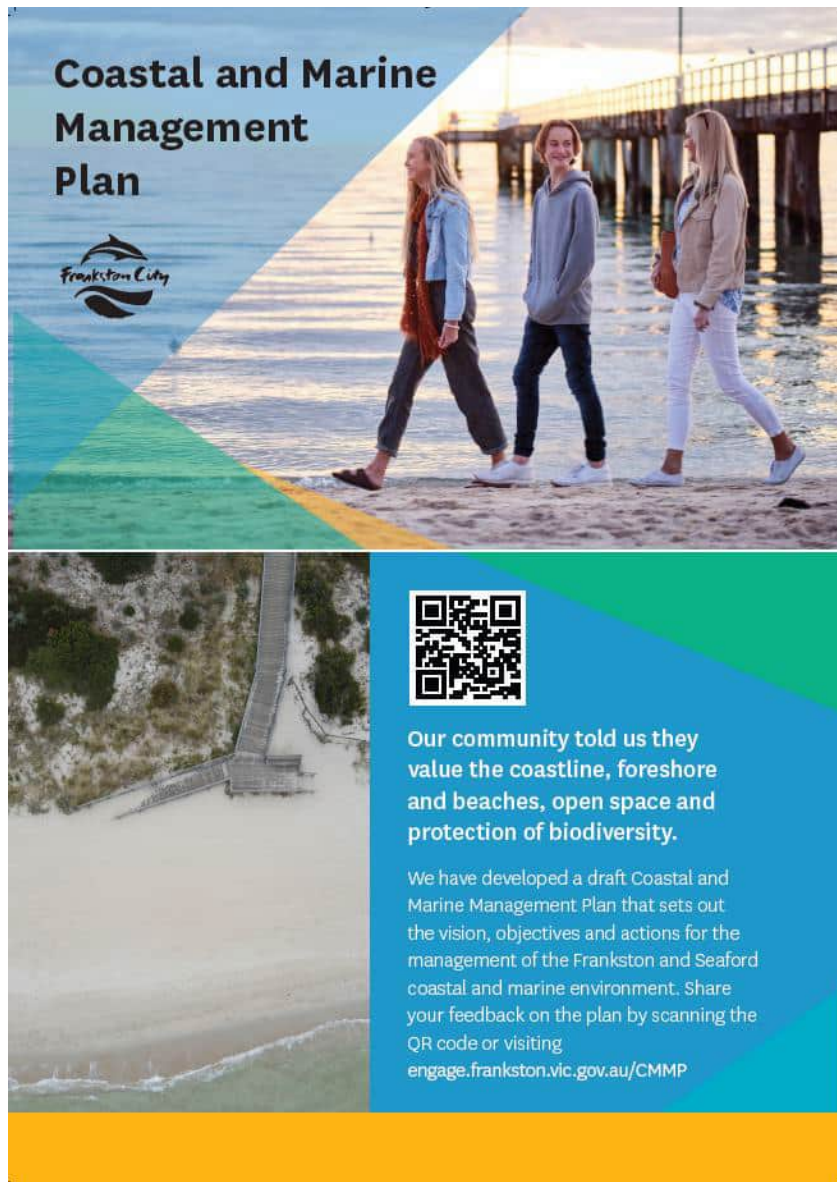


Appendix A Engagement materials

1. Postcards



2. Poster



3. Wayfinding poster



4. Letter to coastal residents and bathing box licensees



Frankston City Council
PO Box 490
Frankston, Vic 3109

Phone: 1300 322 322
info@frankston.vic.gov.au
frankston.vic.gov.au



22 February 2024

**Draft Coastal and Marine Management Plan
PUBLIC CONSULTATION**

Dear Sir/Madam,

Following engagement in 2022-2023, Frankston City Council has drafted a new Coastal and Marine Management Plan.

Why does Council need a Coastal and Marine Management Plan?

The Draft Plan has been prepared to guide the future management and use of the Frankston and Seaford foreshore reserves.

The Draft Plan addresses and prioritises management actions to balance competing uses of Frankston City's foreshore reserves. It emphasises environmental stewardship, the need for long-term adaptation planning, management and use that respects natural coastal processes, and also focuses on public accessibility and connectivity across the foreshore areas.

Council is currently seeking feedback on the Draft Plan until midnight 10 March. More information about this engagement is available on Engage Frankston here: engage.frankston.vic.gov.au/CMMP (or use QR code below). Alternatively, you can contact Jana Mrazova, Coastal Planning and Policy Officer via email at info@frankston.vic.gov.au, or phone on 1300 322 322.

How does this affect me?

As a resident of an area adjacent to the foreshore, we want to ensure you are aware of this Draft Plan, and have the opportunity to share your feedback.

The Gould Street area falls into Precinct 3 in the Draft Plan. The Draft Plan has been divided into six precincts to guide Council's coastal management approach. You can read about all six precincts in the Draft Plan, including draft actions for each precinct and a coast-wide vision and actions.

What actions are proposed to Precinct 3 (including Gould Street)?

Table 1 below lists all actions currently drafted into the Plan for Precinct 3. We invite your feedback on any of these actions, and also any other aspects of the Draft Plan by midnight 10 March 2024.

Page 1



In summary, the proposed actions relating to precinct 3 (including Gould Street) focus on:

- Ensuring that coastal hazard risks and climate change impacts are understood and planned for by the community and Council;
- Ensuring that Frankston City Council, as the land manager, and our community have the capability and capacity to respond to coastal hazards.
- Continuing delivery of actions from the 2016 Coastal Management Plan

These actions have been drafted in response to the

- State Government's Port Phillip Bay Coastal Hazard Assessment data and reports (2024) that can be reviewed here: <https://www.marineandcoasts.vic.gov.au/coastal-programs/port-philip-bay-coastal-hazard-assessment>.
- Economic Impacts from Sea Level Rise and Storm Surge in Victoria, Australia over the 21st century by Kompas, T. et al (2022) – accessed here: <https://www.marineandcoastalouncil.vic.gov.au/resources/vmacc-reports>

These recent reports are particularly important to the Frankston foreshore, as this precinct is fronted by an uninterrupted sandy beach backed by a relatively narrow buffer of vegetated dune. Many of the draft actions in this precinct focus on the health of the dune as the most effective natural coastal protection feature.

Coastal dunes provide:

- A buffer against coastal hazards such as wind erosion, wave overtopping and tidal inundation during storm events.
- A source of sand to replenish the beach during periods of erosion.

We understand that draft action 3.2.2 may be of highest interest to you. In draft action 3.2.2, Council is proposing to continue the delivery of actions 6.1.21 and 6.1.17 from the previous Frankston City Coastal Management Plan (2016) by:

- In 3 years' time (from 2027), start conversations and collaborate with landholders to identify and reduce informal access tracks, where their continued use might exacerbate the hazard to the adjacent public and private land.
- In 3 years' time (from 2027), review planning controls to effectively prevent and control vegetation removal and vandalism, to reduce dune erosion.

What do I need to do?



We encourage you to read the Draft Plan, or the summary of the Plan and actions on Engage Frankston, and share your feedback online here by midnight 10 March 2024: engage.frankston.vic.gov.au/CMMP (or use QR code below).



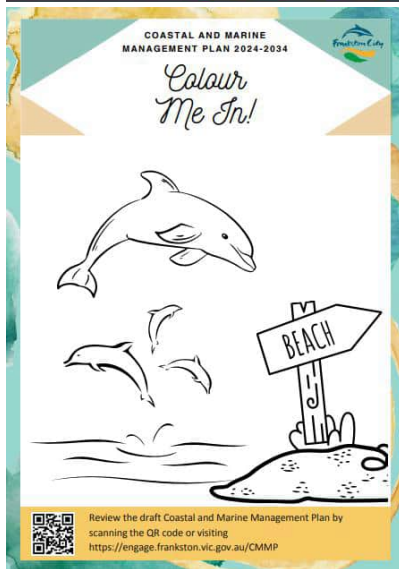
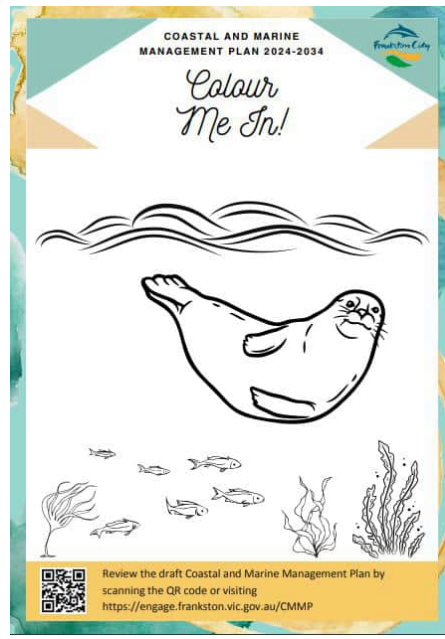
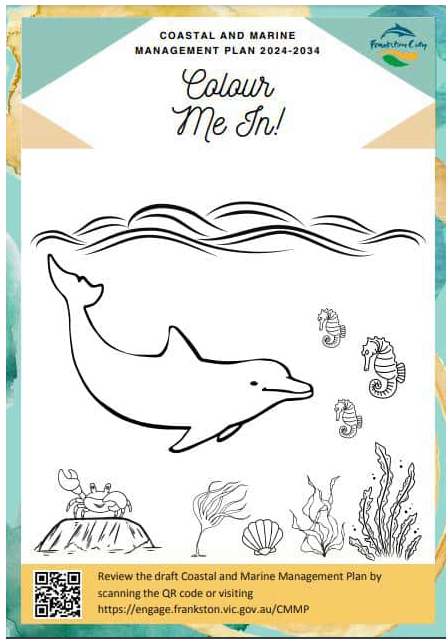
Table 1 – Precinct 3 Long Island actions

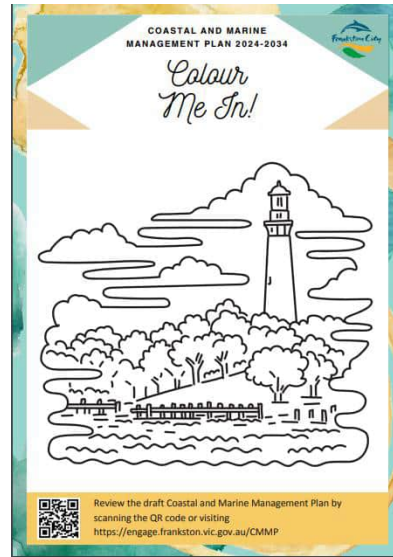
Notes:

- The draft actions marked as ongoing (↔) are built on existing long-term efforts that the new 10-year plan will build on and progress further.
- All remaining actions will be timed between 3 – 7 years from the adoption of the Plan as they are dependent on outputs of other actions.
- For example, action 3.2.2 is currently scheduled to be delivered in years 3 – 5 of the Plan, using the outputs of a multi-year project Frankston City Coastal Resilience 2100 whose first 4 stages are due to be completed in 2025. This project will identify areas with high levels of coastal hazard risk and vulnerability based on local and site-specific modelling.

ID	Precinct 3 Long Island action	Time frame	Delivery
Aspiration 1 Culture and connections			
3.1.1	Review and, where feasible, collaborate with the BLCAC to implement their recommendations, including protection of cultural heritage places at Long Island.	↔	Council, BLCAC, others
Aspiration 2 Environmental stewardship			
3.2.1	Identify opportunities and set long-term vegetation coverage targets to strengthen the resilience of the primary dunes to erosion through natural regeneration and targeted revegetation.	↔	Council
3.2.2	Minimise dune erosion by: a) Working with relevant landholders to identify and reduce encroachment and informal access tracks on Crown Land. b) aligning activities with the CMMP and other Council and state management guidelines and policies. c) preventing and controlling vegetation vandalism.	3 - 5	Council, Community
3.2.3	Highlight the importance of maintaining the health of the coastal vegetation communities as climate change adaptation and natural coastal defence mechanisms through community education activities, environmentally sustainable development, and planning decisions.	↔	Council
Aspiration 3 Climate change impacts and safety			
3.3.1	Undertake engagement with license holders on projected climate change impacts and natural coastal processes that may affect existing bathing boxes. Ensure Council and DEECA's Guidelines for the management of existing bathing boxes and boatsheds on marine and coastal Crown land (2022) and policies are followed.	↔	Council, DEECA
Aspiration 4 Access, amenity, and recreation			
3.4.1	Investigate maintenance and design requirements of timber bridges across Kananook Creek to continue providing pedestrian access to the Long Island beach.	5 - 7	Council
Aspiration 5 Planning and development			
3.5.1	Investigate safe pedestrian connectivity in this precinct, to improve existing active transport connections.	5 - 7	Council, Community

5. Colour-in posters





Appendix B Online Survey

1. Let us know which precinct you want us to focus on first when we're delivering the actions in the Coastal and Marine Management Plan. (Order the precincts 1-6 below to show which precincts you would like us to focus on first. This will help us prioritise delivery and timing the Draft Plan's actions.)
2. Share your reasons for the order you've given the six precincts.
3. Do you think we have got the Draft Plan right, or is there anything missing?
4. Tell us why

Appendix C Social media posts

Post 1: Introductory post, 30 January

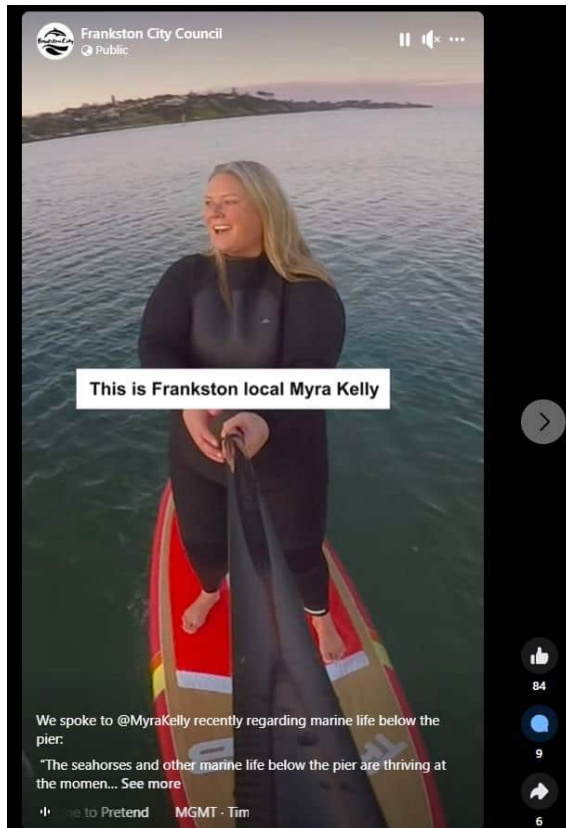
“We spoke to @MyraKelly recently regarding marine life below the pier...”

Analysis

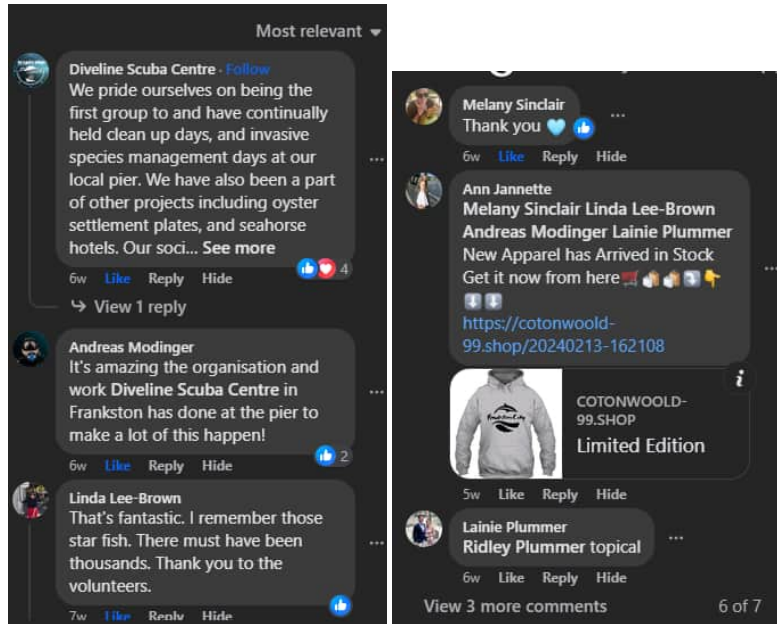
This reel was seen by over 3,000 people, with 73 likes, 10 comments and 7 shares. The Kevin the Seal reel and Myra’s reel were put forward for A/B testing, with Kevin’s reel performing best. Advertising spend was therefore put behind Kevin’s reel – see below (post 3) for results.

Link: <https://www.facebook.com/reel/2679359808906955>

Post visual:



Comments:



Post 2: Kevin the Seal, 5 February

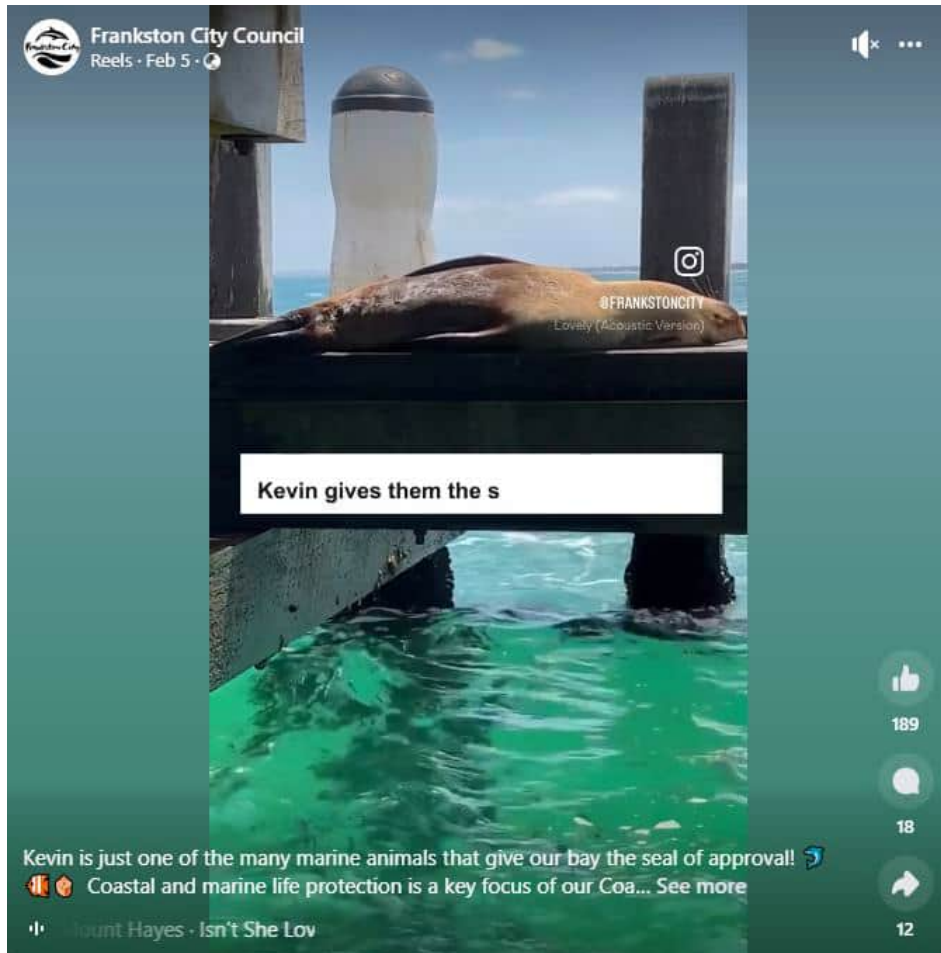
“Kevin is just one of the many marine animals that give our bay the seal of approval!...”

Analysis

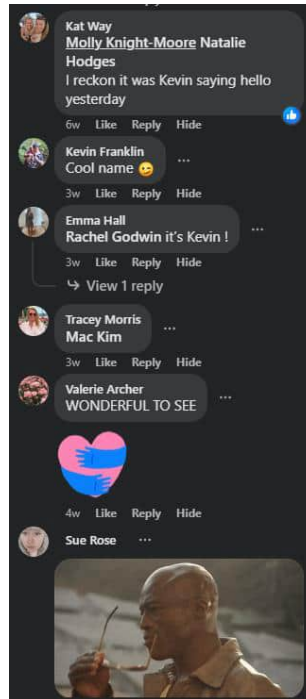
This was our top performing post, reaching over 19,000 people. All commentary is positive, with 21 comments and 13 shares.

Link: <https://www.facebook.com/reel/1125029135324510>

Post visual:



Comments:



Post 3: Final Reminder, 22 February

"Frankston Pier is an absolute hidden gem for scuba diving. I spent most of COVID Lockdown at Frankston..."

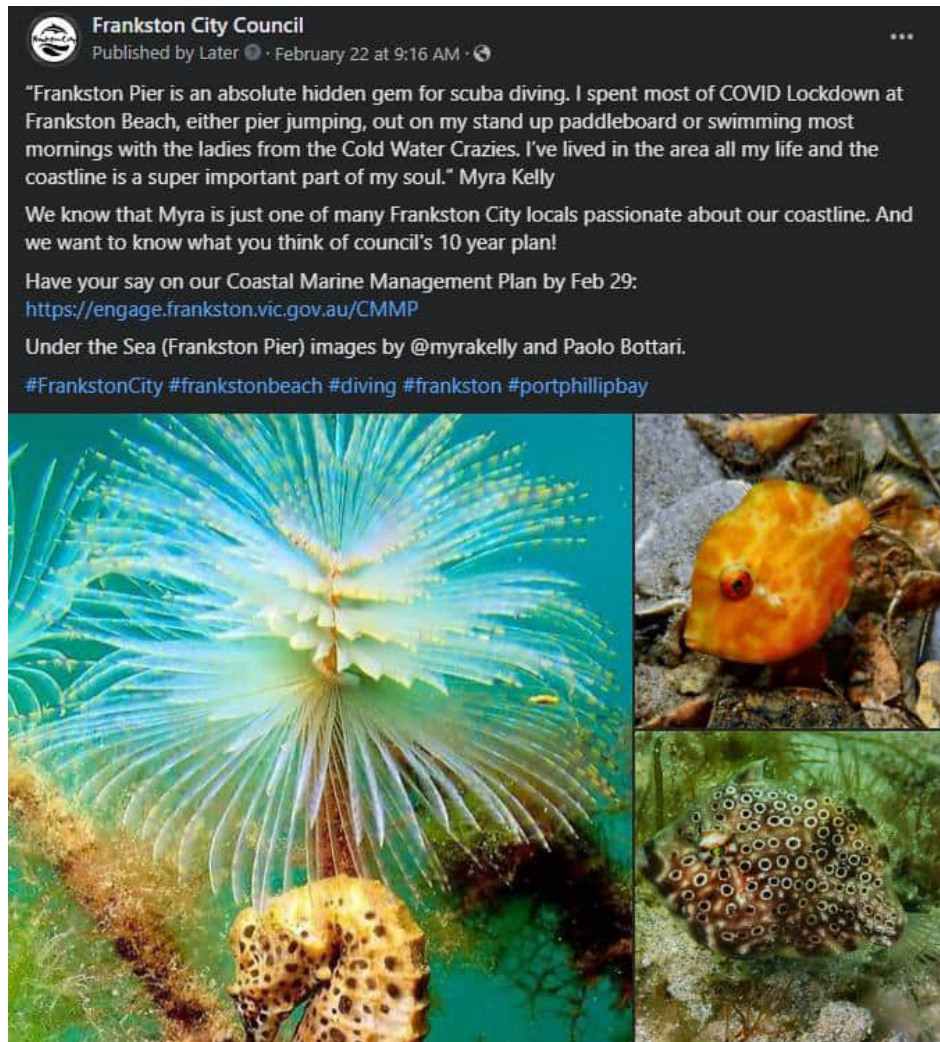
Analysis

This post performed well, reaching over 7,000 people with very positive commentary and multiple tags.

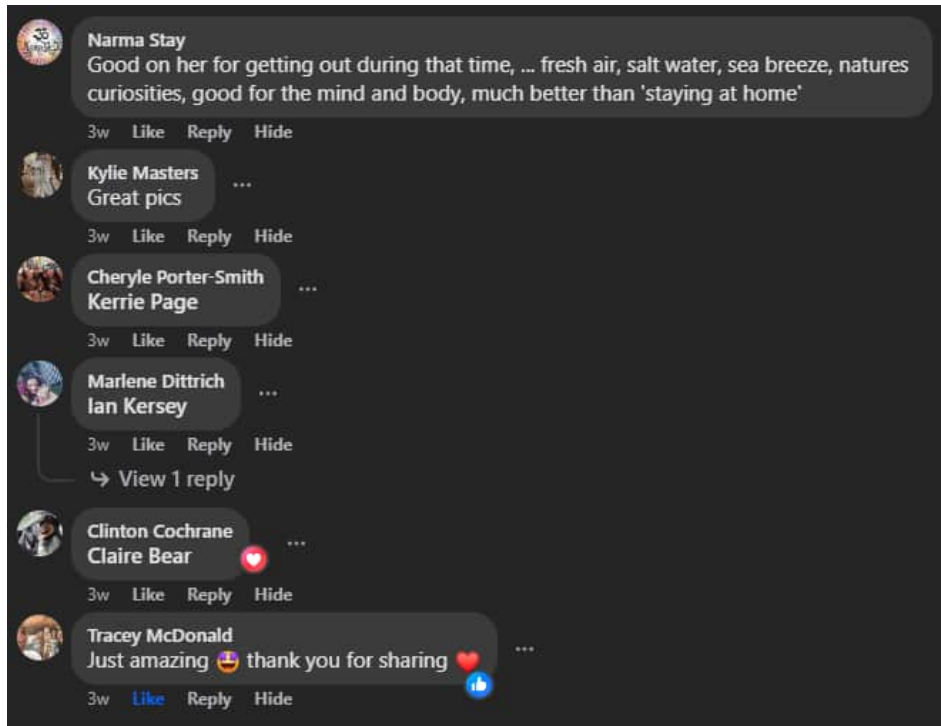
Link:

<https://www.facebook.com/FrankstonCityCouncil/posts/pfbid0kkvzWzY7vBQgFgErAcgMMWSijZrbcDXBsDrxfHBcKA6bnB5uEPUpJyZ97ANwRqF5I>

Post visual:



Comments:



Coastal and Marine Management Plan

2024





Document version history

Draft CMMP	Internal	August 2023
Draft CMMP	DEECA review	September 2023
Draft CMMP	Council Draft approval for public exhibition	December 2023
Draft CMMP	Public exhibition	February 2024
Final CMMP	Council approval for DEECA and VMaCC final review	July 2024

Acknowledgements

Frankston City Council would like to thank the members of the Foreshore Advisory Committee as well as other community members, representatives of our stakeholder agencies and interest groups, Bunurong Land Council Aboriginal Corporation (BLCAC), our Council staff and Water Technology consultancy for their contribution during the development of the CMMP.








Acknowledgement of Country

Frankston City Council acknowledges the Bunurong people of the Kulin Nation as the Traditional Custodians of the lands and waters in and around Frankston City, and value and recognise local Aboriginal and Torres Strait Islander cultures, heritage, and connection to land as a proud part of a shared identity for Frankston City.

Council pays respect to Elders past and present and recognises their importance in maintaining knowledge, traditions, and culture in our community.

Council also respectfully acknowledges the Bunurong Land Council Aboriginal Corporation as the Registered Aboriginal Party responsible for managing the Aboriginal cultural heritage of the land and waters where Frankston City Council is situated.

Plan on a page

Purpose	To provide direction for the future local management of an area of marine and coastal Crown land where Frankston City Council is an appointed Committee of Management.				
Ambition	We are leaders in enhancing resilience and protecting bio-cultural diversity of Frankston City's coastal and marine environment.				
Timeframe	2024 (adoption)		5-year review		2034
Vision (15+ yrs)	Our coastal and marine areas are protected, resilient and connected. Their bio-cultural diversity is valued and conserved.				
Aspirations (10+ years)					
	Culture and connections	Environmental stewardship	Climate change impacts and safety	Access, amenity, and recreation	Planning and development
Objectives (10+ years)	Acknowledge the rights, knowledge and aspirations of Traditional Custodians. Respect and foster their connection to the Land and Sea Country.	Foster environmental stewardship by protecting and enhancing our marine and coastal environment.	Adapt to the impacts of climate change. Understand and plan for hazards to strengthen long-term resilience.	Improve connectivity, amenity, and accessibility to foster community stewardship of our marine and coastal areas.	Respect natural coastal processes in planning and development to promote sustainable use of our marine and coastal areas.
Plan in numbers	5 aspirations and objectives 6 precincts 9.5 kilometres of coastline 88 hectares of coastal Crown land reserve 78 actions				



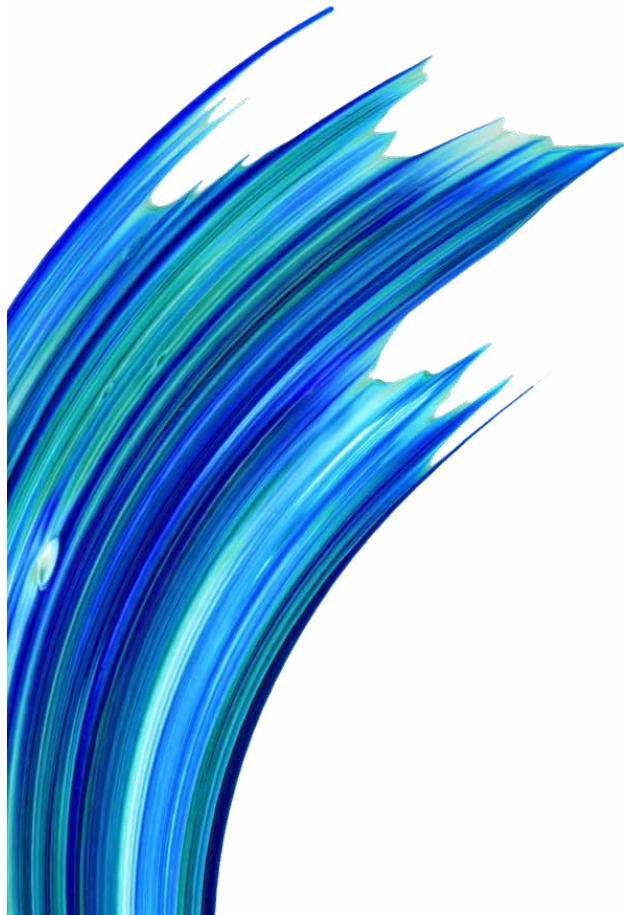


Table of Contents

Acknowledgement of Country	2
Plan on a Page	3
1. Introduction	5
1.1 Strategic context	6
1.2 Management context	10
1.3 Operational context	15
2. Frankston City coastal and marine areas	17
2.1 Cultural heritage	17
2.2 Community connection to coast	21
2.3 Natural landscapes	21
2.4 Current uses and future challenges	26
3. Values, issues, and opportunities	27
4. Coast-wide actions	34
4.1 Culture and connections	37
4.2 Environmental stewardship	39
4.3 Climate change impacts and safety	42
4.4 Access, amenity and recreation	44
4.5 Planning and development	47
5. Precinct Plans	49
5.1 Precinct 1 Olivers Hill	49
5.2 Precinct 2 Frankston	54
5.3 Precinct 3 Long Island	58
5.4 Precinct 4 Seaford South	61
5.5 Precinct 5 Seaford Pier	64
5.6 Precinct 6 Seaford North	67
6. Implementation and reporting	70
Appendix 1 – Victorian Planning Context	73
Appendix 2 – Council strategic documents	78
Appendix 3 – Stakeholder roles and responsibilities	81
Appendix 4 – Consultation and engagement	83



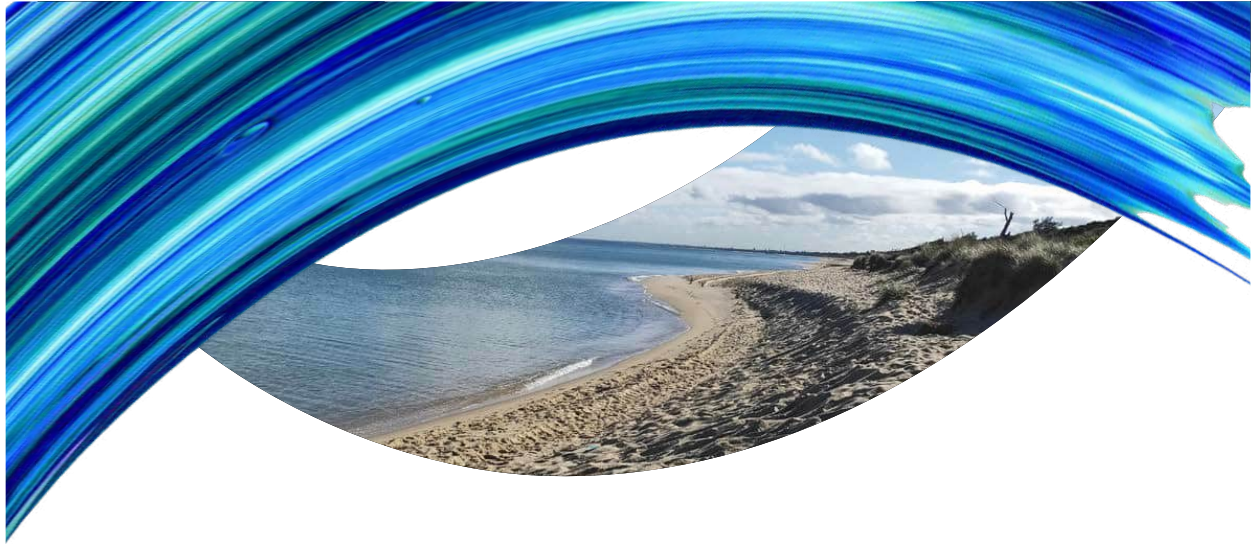
1. Introduction

Frankston City's coastal and marine areas are the most important building blocks of its growing reputation as the Lifestyle Capital of Victoria. As our foreshore reserves and beaches draw both residents and tourists, they accommodate multiple uses underpinned by diverse cultural, environmental, social, and economic values.

The purpose of Frankston City Coastal and Marine Management Plan (CMMP) is to guide Frankston City toward achieving its long-term vision that will ensure the protection and enhancement of these values. Planning for future use requires us to effectively mitigate and adapt to pressures on our coastal and marine ecosystems. Protecting the health and bio-cultural diversity of these important areas are among the key priorities for our community and the long-term success of this management plan.

Key pressures on the coastal and marine environment include population growth and competing land management demands such as recreation and conservation. The coastline is a dynamic environment shaped by natural coastal processes, some of which have been altered by built infrastructure. These interferences along with the impacts of climate change are all considered as we take a coordinated, strategic, and informed approach to planning and development that is responsive to the values of the natural environment and our local community.

The CMMP is a local-scale strategic plan that aligns Council's strategic direction in the management of marine and coastal Crown land with State legislation and policy. It supersedes the Coastal Management Plan (2016) by redefining the vision and reprioritising actions based on best available data, information, and legislative guidance. The CMMP provides a way for Council to manage demand and conflicting uses going forward as it translates Council-wide and precinct-specific objectives, aspirations, and values for our foreshore area into on-ground action.



1.1 Strategic context

The CMMP guides the use of marine and coastal areas that directly relates to Council's role as an appointed Committee of Management. Its alignment with state and municipal level strategic documents is detailed in the following sections. A map of all coastal municipalities around Port Phillip Bay is provided in Figure 1.

An overview of the marine and coastal policy and planning context in Victoria is provided in Table 1. The Marine and Coastal Policy (2020) features a Planning and Decision Pathway that shows 'how the objectives and guiding principles of the Act should be used in decision making in the marine and coastal environment'. The diagram detailing this Pathway can be found in Appendix 1 along with an overview of additional Victorian Government guidelines and strategic documents that have been taken into consideration in the development of this CMMP.

State Level

Marine and coastal planning in Victoria is controlled by state legislation, guided by policies and strategies, and adapted to the local context through local planning instruments. *The Marine and Coastal Act 2018* and associated *Marine and Coastal Policy (2020)* and *Marine and Coastal Strategy (2022)* provide objectives and guiding principles for the planning and management of Victoria's coastline.



Figure 1 - Municipalities around the Port Phillip Bay¹

¹ Spatial data source: DATA VIC, 2023 from: [Discover and access Victorian Government open data | Data Vic](#)

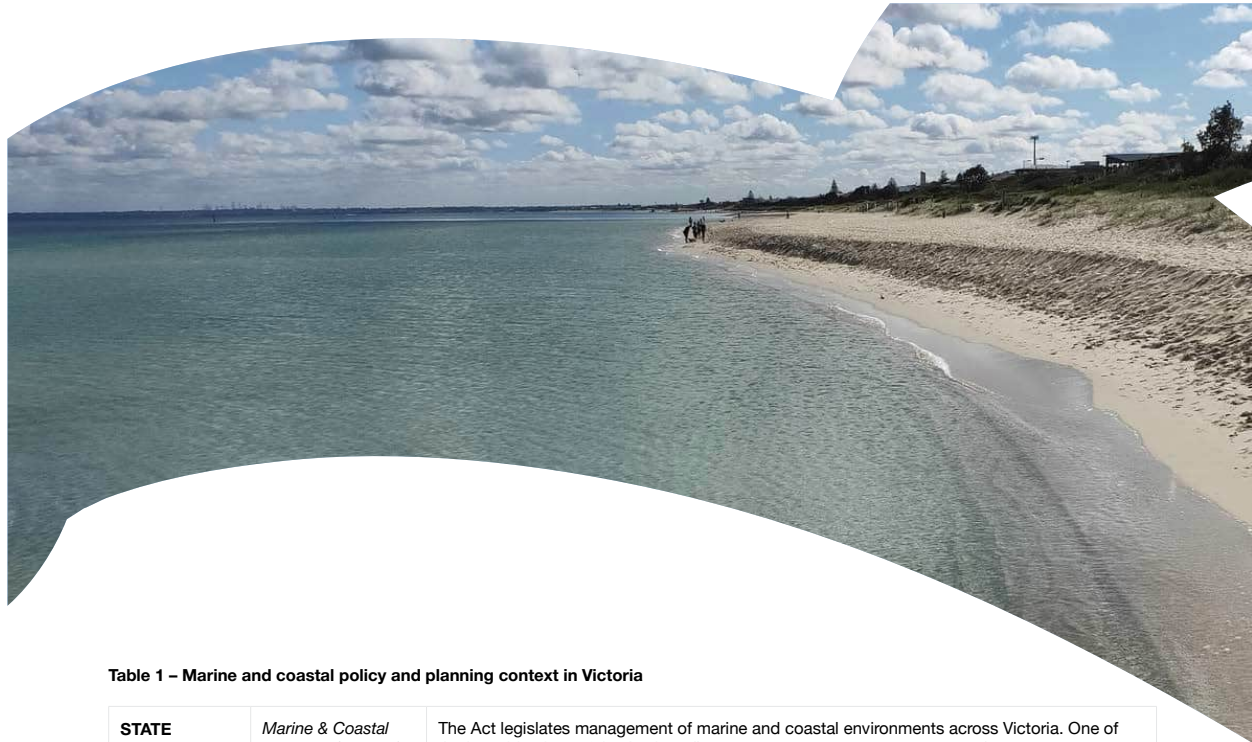


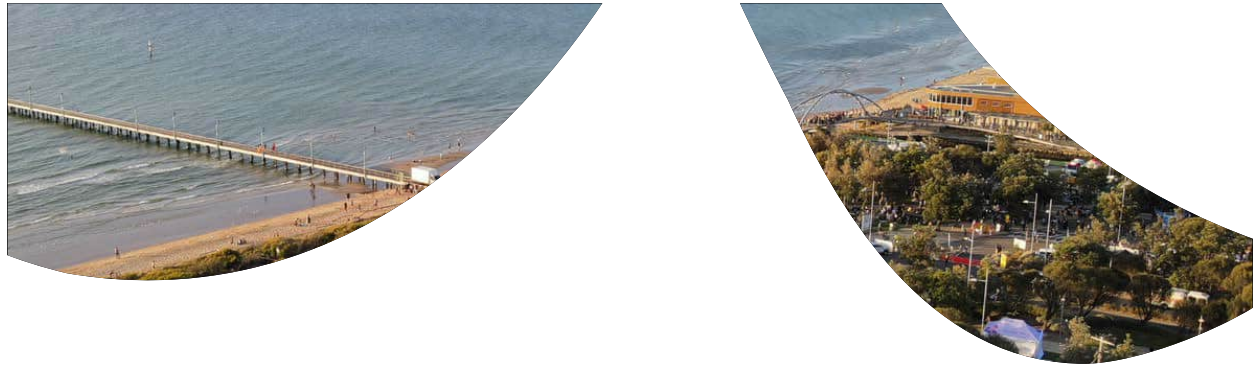
Table 1 – Marine and coastal policy and planning context in Victoria

STATE LEGISLATION	<i>Marine & Coastal Act 2018 (The Act)</i>	<p>The Act legislates management of marine and coastal environments across Victoria. One of the key objectives of the Act is to “<i>respect natural processes in planning for and managing current and future risks to people and assets from coastal hazards and climate change.</i>”² Two relevant purposes of the Act in the CMMP context are:</p> <ul style="list-style-type: none"> • to provide for other planning mechanisms in the form of environmental management plans and coastal and marine management plans; and • to establish an integrated and coordinated whole-of-government approach to protect and manage Victoria’s marine and coastal environment. <p>Implementation of the objectives and purposes of the Act is supported by the Marine and Coastal Policy (the Policy) and the Marine and Coastal Strategy (the Strategy). At a local level, it is articulated through Coastal and Marine Management Plans.</p>
POLICIES & STRATEGIES	Marine & Coastal Policy 2020 (The Policy)	<p>The state-wide Policy provides guidance to decision-makers in achieving the Act’s objectives and outlines the policies applying to the marine and coastal environment. The associated Marine Spatial Planning Framework establishes a process for achieving integrated and coordinated planning and management of the marine environment in Victoria. The Policy sets a 15-year vision for “<i>A healthy, dynamic and biodiverse marine and coastal environment that is valued in its own right, and that benefits the Victorian community, now and in the future</i>”³, providing guidance for marine and coastal environmental management, including all public and private land.</p>
POLICIES & STRATEGIES	Marine & Coastal Strategy 2022 (The Strategy)	<p>The Strategy identifies how the vision outlined in the Act and Policy will be achieved. It is the first of three, five-year strategies that outlines six priority actions. Each of the subsequent five-year strategies will feature additional priority actions to achieve the intended outcomes of the Policy.⁴ The development of the Victoria’s Resilient Coasts program has been initiated as a part of this Strategy, creating a state-wide approach to improve long term resilience and adaptation to coastal hazards. It includes state-wide hazard mapping, adaptation pathways and guidelines.</p>
LOCAL PLANS	Coastal & Marine Management Plans (CMMPs)	<p>CMMPs are defined under Part 7 Division 1 of the Act. Their purpose under Section 57(2) “<i>is to provide direction for the future local management of an area of marine and coastal Crown land.</i>”² Alignment of aspirations and objectives within the local CMMP with the Marine and Coastal Act 2018 objectives is detailed in Appendix 1.</p>
SITE APPROVALS	<p>The use and/or development of marine and coastal Crown land requires consent under the <i>Marine and Coastal Act 2018</i> as well as other consents and approvals. A planning permit may or may not be required under the Frankston Planning Scheme. Section 61(3) of the <i>Planning and Environment Act 1987</i> is the link between permit decisions and <i>The Marine and Coastal Act 2018</i>.</p>	

² State Government of Victoria (2018). *Marine and Coastal Act 2018 (Authorised version No.003)*

³ State Government of Victoria (2020). Marine and Coastal Policy. Available: www.marineandcoasts.vic.gov.au

⁴ State Government of Victoria, Department of Energy Environment and Climate Action (2022). *Marine and Coastal Strategy*.



Local level

The CMMP aims to strengthen involvement of the local community and the Traditional Custodians of the Land and Sea Country in ecologically sustainable management of the marine and coastal environment and climate change adaptation planning. The planning and development actions within the CMMP also consider connectivity to surrounding areas and compatibility with adjacent land uses.

The CMMP sets out a vision, aspirations, objectives and actions for the management of Frankston City's coastal and marine areas. Five aspirations and objectives emerged from the community and stakeholder engagement and the analysis of key values, issues, and opportunities (detailed in Chapter 3). The CMMP objectives are used to guide actions. They are aligned to community priorities and the *Marine and Coastal Act 2018* objectives (see Appendix 1).

The Planning and Decision Pathway set out in the Marine and Coastal Policy (2020) and the community priorities were used as a foundation when formulating the CMMP actions. Table 2 demonstrates the connectivity and progression between the coast-wide vision, aspirations, objectives, and actions. Frankston City's previous Coastal Management Plan was adopted in 2016. Since then, a new framework of state legislation has been put in place, triggering a review. A summary of the changes introduced in this review is given in Table 3. In addition to the changes in state legislation, Council has also adopted several strategic planning documents whose objectives and actions introduced key local considerations for the development of the CMMP. A detailed overview of Council's strategic documents relevant to the CMMP delivery is provided in Appendix 2.

Table 2 – Coast-wide CMMP framework

Vision (15+ yrs)	Our coastal and marine areas are protected, resilient and connected. Their bio-cultural diversity is valued and conserved.				
Aspirations (10+ years)					
	Culture and connections	Environmental stewardship	Climate change impacts and safety	Access, amenity, and recreation	Planning and development
Objectives (10+ years)	Acknowledge the rights, knowledge and aspirations of Traditional Custodians. Respect and foster their connection to the Land and Sea Country.	Foster environmental stewardship by protecting and enhancing our marine and coastal environment.	Adapt to the impacts of climate change. Understand and plan for hazards to strengthen long-term resilience.	Improve connectivity, amenity, and accessibility to foster community stewardship of our marine and coastal areas.	Respect natural coastal processes in planning and development to promote sustainable use of our marine and coastal areas.
Community Priorities	See Chapter 4 for coast-wide community priorities.				
Actions	See Chapter 4 for coast-wide actions.				



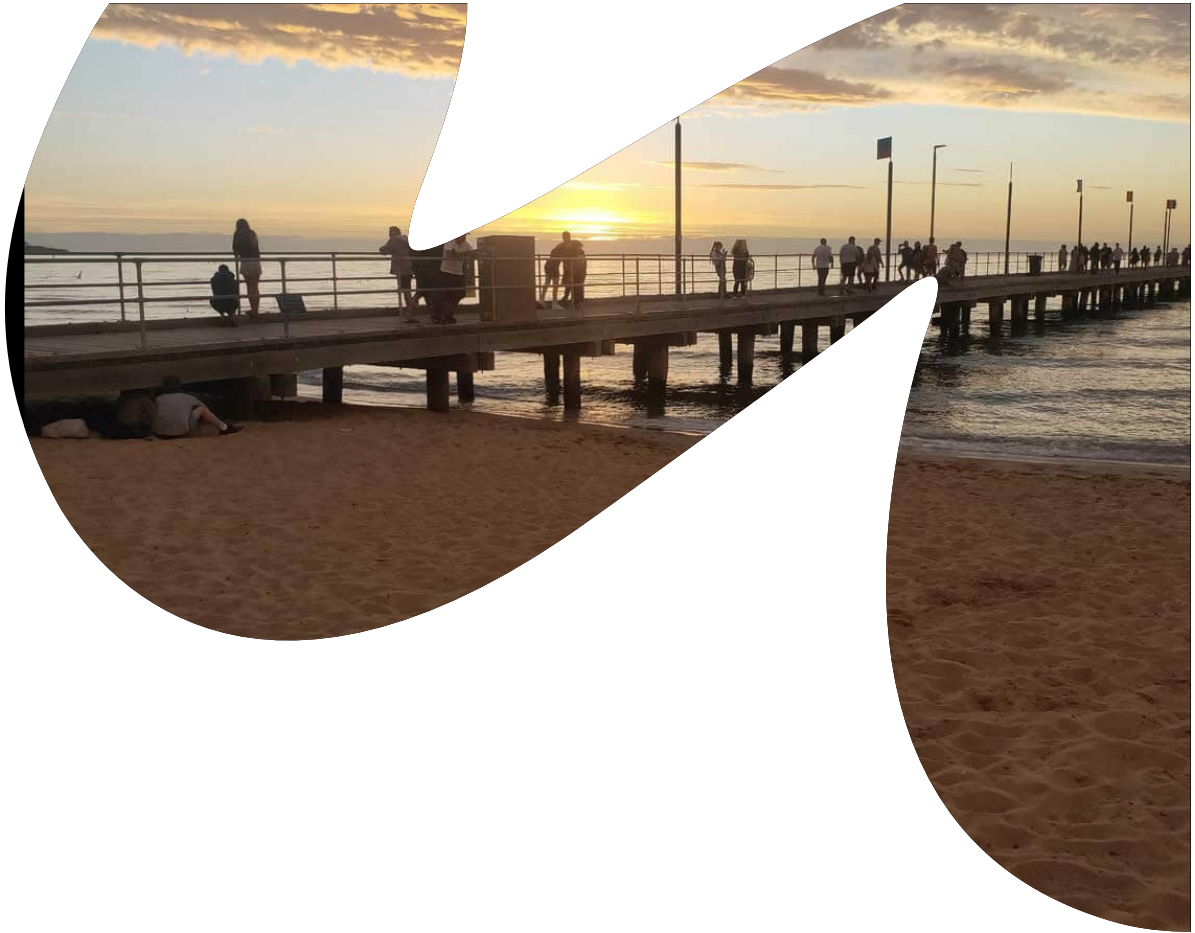
Community Vision 2040 is a key document that sets Council’s strategic direction for the next 20 years, informing decision-making, long and medium-term strategic planning as well as resourcing. While the actions in the CMMP are focused on coastal and marine areas, they ultimately work to achieve the Community Vision where:

”Frankston City 2040 is the place on the Bay to learn, live, work and play in a vibrant, safe, and culturally inclusive community. Our City is clean, green, and environmentally responsible.”

Council’s Health and Wellbeing Plan (2021 – 2025) guides priorities and actions that emphasize the social dimension of precinct use by our community. Aligning CMMP actions with this Plan is important for a coordinated and integrated approach to facilitate gender equality, inclusivity, community safety and wellbeing. The direct points of alignment are detailed in Appendix 2.

Table 3 – Frankston coastal and marine management planning

<p>Coastal Management Plan 2016-2026 (The Plan)</p>	<p>The Plan (2016) aligns with <i>Coastal Management Act 1995</i> and associated policies and strategies, which have been superseded. Three key themes were used to structure this Plan under the previous framework:</p> <ul style="list-style-type: none"> • Value and Protect: focused on ecosystem health, weed management, water quality, culture and heritage. • Plan and Act: focused on coastal processes, hazards, asset protection, and stewardship. • Use and Enjoy: focused on access and connectivity, tourism, recreation, boating and infrastructure. <p>The Plan identified 80 actions in coastal areas to be implemented between 2016 and 2026. The five-year review of the Plan conducted in 2021 identified that 40% of actions were completed, 43% were in progress or partly completed, and 16% were not started.</p>
<p>Coastal and Marine Management Plan 2024 - 2034 (The CMMP)</p>	<p>The CMMP (2024) aligns with the State Government <i>Marine and Coastal Act 2018</i>, Policy (2020) and Strategy (2022) and incorporates a spatial dimension that ties action delivery to specific locations, making implementation more transparent and targeted. This is achieved through dividing the CMMP into six precincts set apart by unique values, issues, and opportunities.</p> <p>Building on the previous Plan (2016) and its achievements, the CMMP strengthens the long-term ambition of being one of the most pristine and accessible stretches of foreshore on Port Phillip Bay. It expands on the successful, ongoing actions established through the delivery of the previous Plan while introducing new actions, long-term vision, and aspirations. This will ensure the protection of marine and coastal values while aligning with the State’s and the City’s broader strategic planning direction.</p>



1.2 Management context

Current management of the coastal and marine areas is shared between Frankston City Council, as an appointed Committee of Management, and other agencies, such as the Department of Energy, Environment and Climate Action (DEECA), Melbourne Water (MW), Parks Victoria (PV), and others whose role is detailed in Appendix 3.

All use, development and works on marine and coastal Crown land by any party requires consent under the Act. Applications for consent are made to DEECA, where they are assessed under the Act and relevant coastal and environmental legislation, plans, and strategies for consistency.

Most of the Frankston City foreshore is Crown land reserved under the *Crown Land (Reserves) Act 1978*. Frankston City Council is the appointed Committee of Management for these Crown land reserves as shown in Figure 2.

Figure 2 maps the spatial distribution of land managers of the marine and coastal Crown land reserves. The seabed along Frankston City's coastline is mostly unreserved Crown land managed by DEECA. The marine reserve off Oliver's Hill is the exemption, being managed by Council as the appointed Committee of Management.

Parks Victoria is the port and waterway manager for the local port of Port Phillip under the *Port Management Act 1995* and *Marine Safety Act 2010*. Parks Victoria is responsible for safe navigation (e.g. boating zones, aids to navigation) and the management of moorings and berths. Parks Victoria is also the appointed Committee of Management for Frankston and Seaford piers.

The Governor in Council under section 4(5) of the *Marine and Coastal Act 2018* declared that the areas of marine and coastal Crown land upstream of and including the Wells Street crossing of Kananook Creek, Frankston not to be marine and coastal Crown land for the purposes of that Act. A detailed description of the management responsibilities for the Kananook Creek Crown land reserves is, therefore, out of scope for the CMMP.

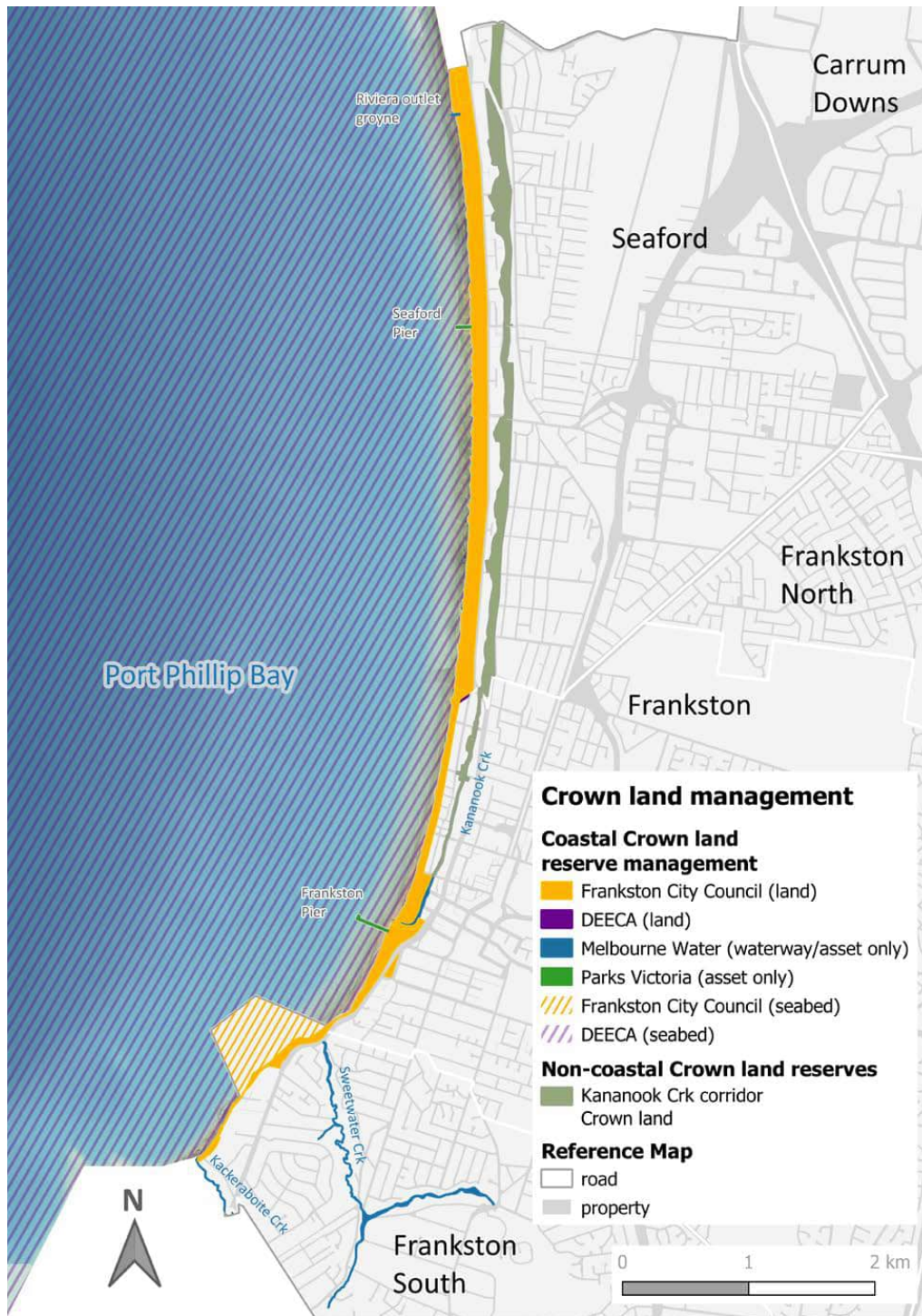


Figure 2 – Land and asset managers in Frankston City's marine and coastal area⁵

⁵Public Land Management spatial data source: updated property information from CoastKit, 2023 from: CoastKit Victoria - Victoria's Marine & Coastal Portal (mapshare.vic.gov.au)



The CMMP relates to marine and coastal Crown land that is defined by the Act as:

“the area up to 200 metres inland from the high-water mark. This also includes land more than 200 metres inland of the high-water mark of the sea where that land is reserved under the Crown Land (Reserves) Act 1978 for the purpose of the protection of the coastline.”

The CMMP addresses and prioritises management actions to balance competing uses of the City’s Crown land reserves. Management of the marine and coastal environment must be science based and consider all current and future risks in a systemic way to be effective. The integrated approach used in this CMMP identifies interactions of environmental, emergency, land, resource, and asset management.

The Frankston foreshore reserve intersects with several significant waterways including Kananook, Sweetwater and Kackeraboite Creeks. This Plan considers the interface between the foreshore reserve and the creeks but does not consider broader management issues of the creeks.

In keeping with the aim of achieving an integrated marine, coastal and catchment management, the CMMP recognises the importance of identifying and, where feasible, addressing issues that influence or are influenced by our management of the foreshore reserves.

Figure 3 depicts the area of influence of the Policy (2020) and this CMMP that focuses on

- the management of all marine and coastal Crown land up to 200 metres inland from the high-water mark; and
- integration with the strategic planning direction and management of adjacent inland areas based on coastal values and priorities.

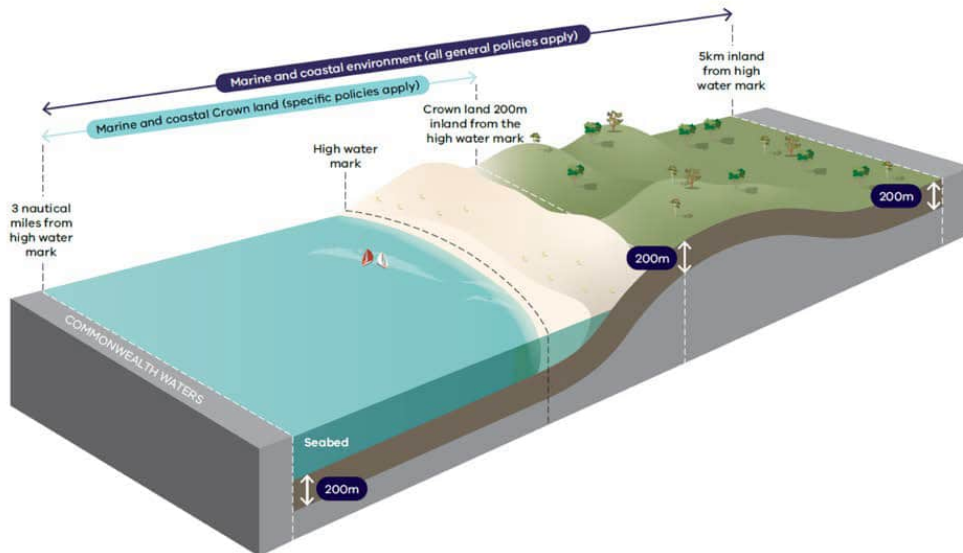







Figure 3 – Spatial extent of influence of the Marine and Coastal Policy (2020)

To guide our management approach, the approximately 9.5km of Frankston City's coastline is divided into six precincts. The precincts extend from Kackeraboite Creek at the southern border of the municipality to Osprey Lane at the northern border. The precincts contain many places of value, such as significant ecosystems, habitats, and waterways as well as activity and recreation nodes, including Frankston Waterfront and Seaford Foreshore beaches.

The CMMP considers each precinct's unique values, issues, and opportunities (see Chapter 3) that were identified by our community and inform planning outcomes. Table 4 demonstrates progression between the coast-wide CMMP aspirations and objectives and the precinct-specific community vision, community priorities, and actions. Figure 4 presents a map of coastal suburbs and the relative location of precincts.

Table 4 – Precinct-specific CMMP framework

COAST-WIDE	Vision (15+ yrs)	Our coastal and marine areas are protected, resilient and connected. Their bio-cultural diversity is valued and conserved.				
	Aspirations (10+ years)					
		Culture and connections	Environmental stewardship	Climate change impacts and safety	Access, amenity, and recreation	Planning and development
	Objectives (10+ years)	Acknowledge the rights, knowledge and aspirations of Traditional Custodians. Respect and foster their connection to the Land and Sea Country.	Foster environmental stewardship by protecting and enhancing our marine and coastal environment.	Adapt to the impacts of climate change. Understand and plan for hazards to strengthen long-term resilience.	Improve connectivity, amenity, and accessibility to foster community stewardship of our marine and coastal areas.	Respect natural coastal processes in planning and development to promote sustainable use of our marine and coastal areas.
PRECINCT-SPECIFIC	Precinct 1: Olivers Hill (Kackeraboite Creek to Waterfront Playground)	Precinct 2: Frankston (Waterfront Playground to Wells Street)	Precinct 3: Long Island (Wells Street to Mile Bridge)	Precinct 4: Seaford Foreshore (Mile Bridge to Seaford Road)	Precinct 5: Seaford Pier (Seaford Road to Victor Avenue)	Precinct 6: Seaford North (Victor Avenue to Osprey Lane)
	Precinct Vision: Each precinct has a vision identified by the community during engagement on values, issues and opportunities.					
	Precinct Community Priorities: Each precinct vision is supported by community priorities identified during engagement on values, issues and opportunities.					
	Precinct Actions: See Chapter 5 for precinct-specific actions.					



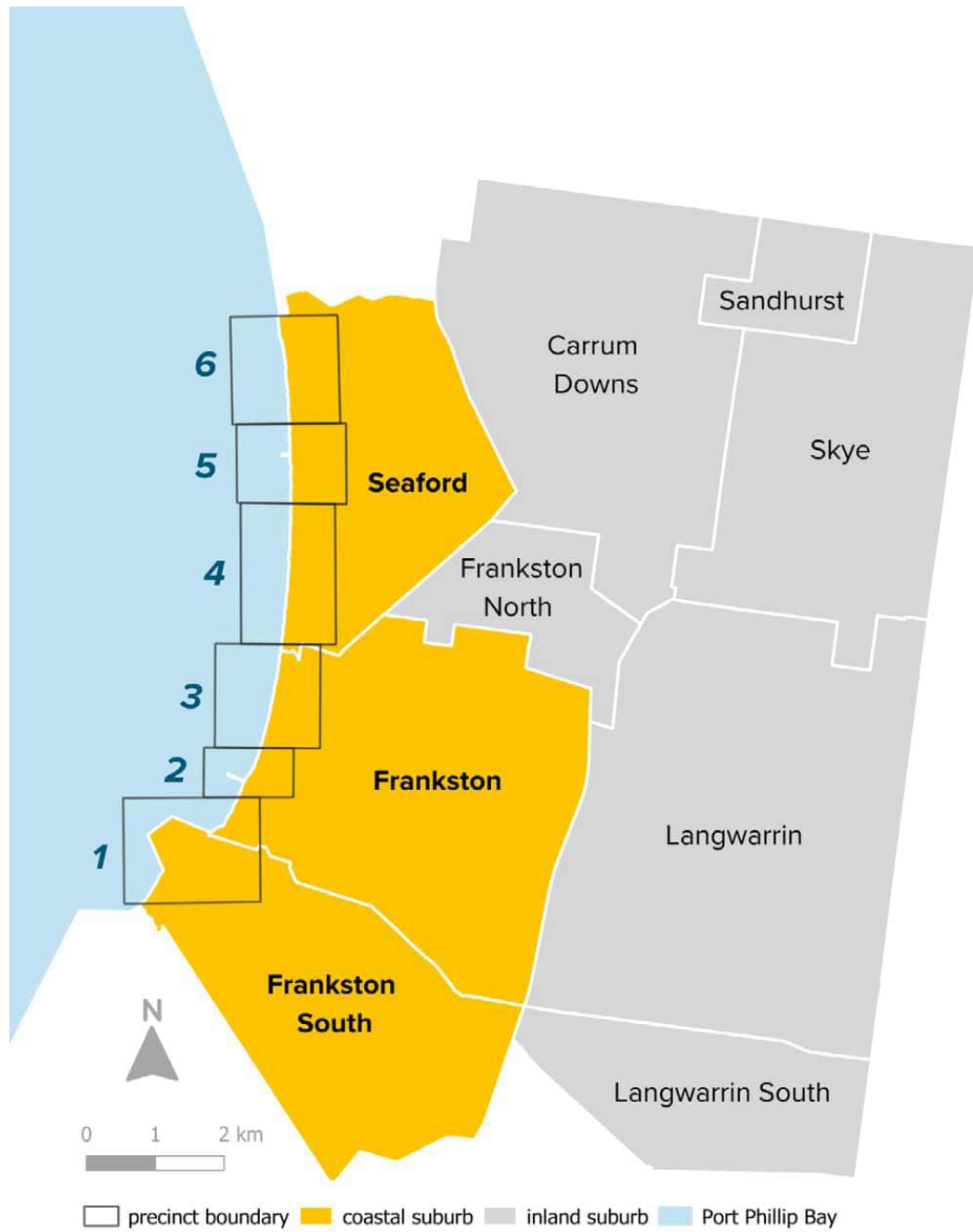


Figure 4 – Coastal suburbs and Coastal and Marine Management Plan precincts



1.3 Operational context

As an appointed Committee of Management of the Crown land reserves, Council is responsible for the management, improvement, maintenance, and control of the land for the purposes for which it is reserved.⁶ All use, works or development on marine and coastal Crown land requires consent under the *Marine and Coastal Act 2018*.

Council was issued a general consent⁷ by the former minister in 2013 for low risk uses and works that are part of the day to day maintenance of the land. All proposals must be confirmed with DEECA as the land owner. Additionally, any planned uses, works and development must be consistent with the CMMP and any other plans, policies and guidelines applicable to the land.

The operational priorities guiding on-ground improvement and maintenance of the coastal reserves are set as part of the municipality-wide framework featuring:

- Reserve Management Plans
- Integrated Weed Management Plan to include actions such as, but not limited to, brush cutting, hand weeding, herbicide, gas burning
- Ongoing biodiversity monitoring
 - Ecological surveys every ten years to monitor flora and fauna trends to ensure biodiversity is protected and enhanced
 - Five-yearly monitoring through basic surveys to ensure annual works plans achieve management actions for ongoing improvement in natural values
- Reserve Service Priority Matrix that prioritises service levels across all natural reserves based on a range of weighted values aligned with plans and strategies
- Programmed litter collection in activity nodes, recreation nodes, sensitive natural areas and beaches with frequencies set to minimise disruption of natural ecological functions whilst maintaining presentation, cleanliness and safety during peak visitation seasons

Owners of private land and lease holders adjacent to the coastal Crown land and other members of the public cannot carry out any works on coastal Crown land without a *Marine and Coastal Act 2018* consent. A works request can be submitted to Council that will assess the application and, if successful, will carry out the works.

Vegetation management on coastal Crown land

Vegetation can be managed by Council to improve ecological health or to maintain existing formal public tracks, paths, roads and fire access tracks, existing buildings and structures, signs and overhead services.

Vegetation pruning or removal will not be approved for purposes including but not limited to private access through unauthorised tracks and private views. Regular monitoring of access tracks is undertaken to identify unauthorised tracks and vegetation clearing. Erection of barriers, signage and rehabilitation works may be required to deter vegetation vandalism and to allow problem areas to be protected. Management of vegetation around bathing boxes and boatsheds need to be requested from and, if approved, carried out by Council. No pruning will be undertaken for access (other than to the front of the bathing box/boatshed).

Maintenance of vegetation may be issued for specific purposes only and will be guided by requirements under the *Marine and Coastal Act 2018* and Frankston City's planning scheme. Proposals that involve or lead to the removal, destruction or lopping of native vegetation, must apply the three-step approach in accordance with the *Guidelines for the removal, destruction or lopping of native vegetation* (DEECA, 2017):

- Avoid the removal, destruction or lopping of native vegetation.
- Minimise impacts from the removal, destruction or lopping of native vegetation that cannot be avoided.
- Provide an offset to compensate for the biodiversity impact from the removal, destruction or lopping of native vegetation.

Built infrastructure management on coastal Crown land

The coastal Crown land is connected to recreation opportunities and activity centres through a network of nodes (activity, recreation and access) and tracks. The east-west tracks provide a connection through the foreshore reserve to the beach. The north-south tracks provide a connection between activity and recreation nodes. Detailed definitions and distribution of nodes and tracks is provided in Section 4.5 *Planning and Development*.

Built infrastructure such as pedestrian access points (boardwalks, beach access paths, other walking tracks, stairs, ramps and matting), vehicle access points, bicycle racks and car parks are maintained to allow safe movement through the foreshore reserves. The suitability of their location, design and materials is based on:

- the type of activities supported by the adjacent nodes and associated facilities;
- exposure of the location to coastal processes (e.g. sand accretion, storm bite, eroding shoreline);
- proximity to and/or impact on sensitive native vegetation.

Structures and facilities need to be located and designed to take account of natural coastal trends, such as whether stretches of coast are eroding or building up over time, erosion of steep or rocky coastline, and dune formation and movement. The *Marine and Coastal Policy 2020* must be taken into consideration for all proposals located within the marine and coastal environment.⁸

⁶ Crown Land (Reserves) Act 1978, Part 3 - General provisions relating to reserved land, Section 15 Powers of Committees of Management, Articles 1 (a).

Source: <https://www.legislation.vic.gov.au/in-force/acts/crown-land-reserves-act-1978/130>

⁷ General Consent under the *Marine and Coastal Act 2018* fact sheet

⁸ The key policy for structures is outlined in Chapter 11 of the *Marine and Coastal Policy (2020)*.



2. Frankston City coastal and marine areas

The intrinsic value and ever-changing nature of our coastal reserves and the waters of Port Phillip Bay are captured in the *Stories beneath our feet* by Leon Costermans and Fons VandenBerg (2022):

“For most people, just walking along the beach can be a relaxing and enjoyable experience, especially because of the coast’s ever-changing character with the tides and the weather.”⁹

Building our understanding of the dynamic natural processes that continue to shape Frankston City’s coastline is essential to plan for and manage change effectively. Successful implementation of the Plan will also be guided by new studies, reports and datasets made available throughout the life of this Plan.

The following sections provide a brief overview of the history, current conditions and future challenges that frame the key priorities and actions featured in the CMMP. Chapter 3 offers further detail on the current values, issues and opportunities as identified by our community and key stakeholders.

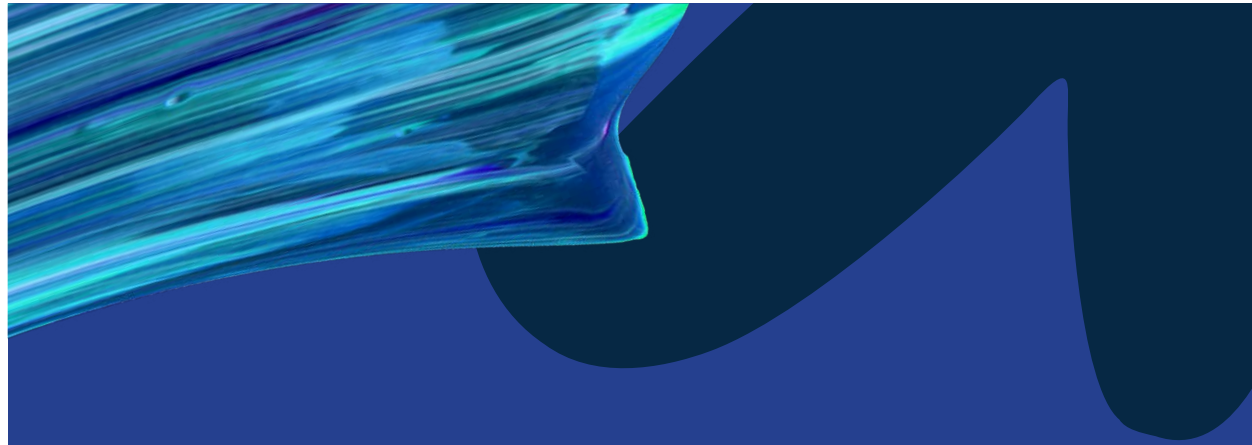
2.1 Cultural heritage Aboriginal heritage

Frankston City coastal and marine areas are part of the traditional lands of the Bunurong people of the Kulin Nation. The Bunurong people have a strong connection to Land and Sea Country and play a vital role in caring for Country across the region. The below narrative was formulated by the Bunurong Land Council Aboriginal Corporation to describe some of the cultural values of the Frankston area.

“The area that is now known as Frankston has always been a significant and sacred place and it always will be. While all Bunurong Country—encompassing Land, Sky, Sea and everything within—is important, the Frankston area is one of the most significant parts of Bunurong Country. This document presents a narrative that expresses some of the cultural values of the Frankston area. However, like all re-presentation of culture, this document cannot fully capture the richness, complexity, nuances and layers of the Bunurong cultural values of Frankston.

Water is particularly prominent value within Frankston, connecting Land, Sea and Sky Country. Water has deep and specific meanings, values and uses to Bunurong peoples that extend far beyond merely supporting subsistence; it also holds diverse social, political, spiritual, economic and ecological uses and values. For instance, within Bunurong culture, water is associated with numerous stories that play out across the Bunurong cultural landscape; it links to specific lore, ceremonies and rituals; it attracts and supports important communities of native flora and fauna that were valued by Bunurong peoples; it links to seasonal

⁹ Leon Costermans, & Fons VandenBerg. (2022). *Stories beneath our feet: Exploring the geology and landscapes of Victoria and surrounds*. Costermans Publishing. p. 203, p. 208.



Bunurong travel routes and camping places; and it is a primary way that the Bunurong, as salt-water peoples, define the boundaries of their Country. Water, specifically the salt water of Nerm (Port Phillip Bay) and the fresh water of Tanjenong (Kananook Creek), is identified by Bunurong man Adam Atkinson as being as an especially significant aspect of Frankston.

The Frankston foreshore spans a portion of Nerm, which once formed part of the Land Bridge to Tasmania. Following the flooding of the Land Bridge some 10,000 years ago, the saltwater of Nerm became home to a Bunyip. The coast and connecting Sea Country form part of Bunurong Women’s Country. Women collected kelp and called to the whales and dolphins across Nerm. However, Nerm also formed a highway for whalers and stealers to kidnap Bunurong women from their Country.

Inland, Bunurong women collected freshwater mussels from the bottom of local rivers and creeks, expertly diving for one to one and a half minutes to collect this highly valued food source and whose shells eventually formed the middens. During these dives, the water spirits protected the women. Significantly, while Bunurong men are widely documented catching fish and yoke (eels) and hunting animals such as kangaroo across Bunurong Country, Bunurong women also participated in the capture of yoke and kangaroo via specific gendered cultural protocols. They also burrowed for yams, echnidnas and other small creatures in areas that had recently been burned.

Nerm connects to Tanjenong (Kananook Creek), one of the most prominent freshwater creeks in the Frankston area. In turn, Tanjenong connected to the southern extent of Lowyeeung (Carrum Carrum Swamp) into Nerm. Lowyeeung, now drained, was once a massive swamp that stretched from Moody Yallock (Mordialloc) in the north to Frankston in the south. The significance of Lowyeeung is self-evident, with the name of the local Bunurong Clan, the Mayone Bulluk, translating to “people of the swamp”, referring to Lowyeeung.

Tanjenong functioned as a migratory highway for fatty yoke (eels) seeking still, fresh water—like that of Lowyeeung—to inhabit, and later, to use in their return to the Coral Sea to breed. Yoke are an important and highly nutritious fish that was expertly harvested by Bunurong peoples in Tanjenong, Lowyeeung and

across wider Bunurong Country. During the early 1850s, assistant protector and guardian of Aboriginals [sic] William Thomas observed several occasions of eeling occurring at Tanjenong, noting the abundance of yoke within this area.

This abundance of yoke is also clearly signalled in the existence of at least two Bunurong camping grounds close to the mouth of Tanjenong. One of these camping grounds was located along the banks of Tanjenong. This camping ground, comprising “some” mia mias (or miams; see Flemming, 1879:23, in Eckett 2023:22), was in active use by Bunurong peoples in January 1803 when the sloop Cumberland landed nearby, with those on-board sharing goods with the camping group before setting off to explore the surrounding area.

The second camping ground was located on a small rise near the mouth of Tanjenong. This elevated camping place appears to be associated at least in part with annual yoke harvests and corroborees. Oral histories indicate that these important events continued well into the colonial period. Tanjenong was also an important place where Bunurong as well as other members of the Kulin Nation met to capture yoke, likely during the eeling season in March when inter-tribal gatherings were relatively common throughout Victoria. Referring to the elevated camping ground near the mouth of Tanjenong, and further emphasising this connection, Gwentyth Steel (1977:9) reports that “[w]hen the eels came down Kananook Creek they [Bunurong peoples] would appear from nowhere and camp in mia-mias on the Ridge overlooking the Bay, in front of the present Post Office and the Mechanics Hall. They were always accompanied by numerous dogs’.

Ethnohistorical records also demonstrate that the presence of at least eight freshwater springs near the mouth of Tanjenong and these two camping grounds. At least two of these springs have significant mineral qualities. Various maps from the mid-19th century refer to this area as “Konigo” or “Canigoo Springs”. While the precise meaning and reference of Konigo is currently unclear, it is likely that this name refers to these springs, to a minor creek that initiates from or close to the mouth of Tanjenong, to the elevated camping ground or to a combination of these features.



Like camping grounds, Bunurong routes of movement often followed the reliable waters and resource-centres of Nerm and/or freshwater rivers and creeks. One such pathway hugged the coast from Mordialloc to Mount Eliza (and onwards to Mornington Peninsula), passing directly through Frankston. Early 1840s maps indicate that the present-day Nepean Highway follows this general route, and similarly, the Mornington Freeway also appears to follow an earlier known Bunurong walking track. This is not surprising, as Aboriginal pathways were often well established within the landscape and many of them were also used by early European explorers and settlers in the region, leading to many of the earliest roads in Victoria being constructed on top of these important travel routes.

Shell middens and other Archaeological Places (comprising tangible cultural heritage) also stand as monuments to the interconnection between Bunurong camping ground and routes of movement with reliable sources of fresh and saltwater. One particularly important Aboriginal Place in the context of this project are shell middens. Many shell middens have undoubtedly been destroyed because of various natural and/or human processes such as erosion, changing sea levels and development. Some surviving middens may not yet have been formally identified and registered. A particularly significant midden in Frankston is connected to Oliver's Hill. This midden has been described as an 'eroing Kitchen midden', clearly suggesting that this feature was deteriorating because of both natural and human processes, such as treasure hunting and local building practices. This midden did not only comprise shell, however, but also artefacts fashioned from stone and bone.

As well as Bunurong peoples, the many waters of Frankston also attracted a wide range of fauna to the area, including ducks, kangaroo, possum, snakes and a diverse range of insects, fish and birdlife. Culturally Modified Trees (also known as scarred trees) in the area sometimes exhibit toe hold scars, which were used by Bunurong people to climb trees in pursuit of possum. These animals provided food and other materials to Bunurong Ancestors, including skins for cloaks and teeth and talons for spears.

Water also supported the pre-colonial and now remnant vegetation around Frankston. Indeed, local flora shows that this area provided Bunurong Ancestors with access to a particularly wide range of significant plant resources, including Coast Banksia,

Manna Gum, Coast Tea-tree and Coast Wattle, as well as smaller plants like murnong, pigface, swamp rushes, saltbush and various lilies. Many of these plants have multiple and layered bio-cultural values and uses, including as foods, medicine and glues, as well as in the production of material culture like tools, baskets, message sticks, hunting toolkits, shelters and more. It is likely that the Frankston foreshore, like much of the coastal fringes of Bunurong Country, was seasonally fired (curated) by local Bunurong peoples, in part to attract desirable flora and fauna to the area.

The significance of Frankston has also continued following and despite the continuing effects of colonisation. As a key source of fresh water, Tanjenong was also partly responsible for attracting early European explorers and settlers to the area. However, it appears that the significance of Tanjenong was not shared by the new influx of settlers; the creek quickly being regarded as a nuisance by those who wanted unrestricted access to the shore.

Additionally, like the nearby local springs, colonial settlement quickly led to the dramatic alteration and deterioration of Tanjenong. For example, the line of the creek was straightened and shoring comprising concrete and fill matter has been used to attempt the stabilising of its banks. Once Lowyeeung was drained during the late 1800s, and the water was diverted to the Patterson River, '[t]he Kananook became a stagnant series of ponds, usually polluted by the waste from the Frankston township' (Jones, 1989:138).



Elder Uncle Mik conducting Welcome to Country and Smoking Ceremony to commence Coastal and Marine Management Plan project.



Today, many Bunurong peoples still collect food from various water sources within Bunurong Country (and further afield). As well as catching a variety of fish along the vast shoreline, as well as in creeks, rivers and lakes further inland, they also collect gastropods, which are picked and then eaten, they capture shellfish while diving and swimming, they gather yabbies in rivers, creeks and dams and they capture crayfish off the shore of Victoria. Ochre is also gathered where these appear and erode from shorelines. These activities remain important to many contemporary Bunurong peoples, both as ways of gathering resources to support subsistence, and as an important way of connecting to Country.

We ask people to remember that Bunurong peoples have been walking through and caring for the Frankston area and its wider cultural landscape for countless generations. The connections they have to Tanjenong, Nerm, Lowyeeung and the wider Frankston area because of their long history as its caretakers cannot be adequately distilled into words, and it certainly cannot be quantified. Attempts toward these ends barely begin to scratch the surface, making all attempts to describe the significance of Frankston understated. This cultural values narrative of Frankston is no exception.“

19 Coastal and Marine Management Plan 2024

Settlement heritage

European settlement has reshaped the coastline since Frankston was established as a township in the 1850s. The first Europeans settled in the Olivers Hill area. The combination of its bayside location and construction of the railway line saw it function as a fishing village and a popular seaside destination for Melbourne for much of the early 1900s.

During the 1960s and 70s Frankston transformed into a consolidated service centre and became a major focus for activity in the Mornington Peninsula region. Frankston was no longer a holiday destination, but a permanent base for many residents. Since the early 2000s, major rejuvenation of the waterfront has been undertaken. Frankston City Council has sought to redefine Frankston as a recreation and tourist destination and emphasise the connection with the Bay.

The historical trajectory of the foreshore reserve in Seaford differs from Frankston. Far less developed, the foreshore reserve in Seaford is one of the few remaining substantial, continuous strands of natural coastal vegetation near Melbourne and one of the oldest reserves in the Frankston municipality. It was set aside for public use in 1873. In 1972, after considerable degradation from beach visitors, an extensive dune restoration program was undertaken involving extensive areas of fencing and revegetation. The foreshore in Seaford was re-reserved in 1987 for the purposes of conservation and recreation. The important work of ensuring that the health of the coastal reserve is protected for future generations to enjoy carries on through ongoing vegetation management along with joint Council and community-driven environmental stewardship programs. Notable heritage landmarks of the foreshore reserve include the Frankston and Seaford Piers, the Kanook Creek Bridges, and the Coastal Arts Discovery Trail.



2.2 Community connection to coast

Coastal and marine areas are central to the lifestyle of our community. They hold important sites and places of bio-cultural significance that allow our community as well as visitors to enjoy their natural beauty with breathtaking vistas. Picnic facilities, restaurants, yacht club, playground, and a landmark pedestrian bridge stand out in the Frankston Waterfront area that also hosts popular annual events. The foreshore is the municipality's premier tourist attraction, catering for a diverse mix of coastal recreation opportunities and accommodating numerous community organisations. There is substantial infrastructure to support these activities and some commercial uses such as restaurants and kiosks. Remnant vegetation within the foreshore reserve contributes significantly to the natural values of the south-east metropolitan area and is highly valued by the local community and visitors.

Activity and recreation nodes manage and focus recreation demand. Together with access nodes, they enhance links between the foreshore reserve and retail and commercial districts of Frankston and Seaford. Their detailed identification is described in Section 4.5 under the *Planning and development* aspiration.

Several community groups are involved in conservation work in the foreshore reserve. These groups support the work of Council,

working in partnership with rangers and other staff to create a strong sense of community pride and local responsibility for the foreshore reserve.

These groups include:

- **Frankston Beach Association (FBA)** - participates in; restoration, revegetation and preservation of the foreshore reserves; lobbying against activities that may lead to a reduction in beach or water quality, or damage to the foreshore reserves; promotion of the beach for recreational use.
- **Frankston Environmental Friends Network** – support and assist in advocating for conservation values across the municipality.
- **Foreshore Advisory Committee** – provide advice to Council on strategic and capital works projects that relate to the foreshore.
- **Kananook Creek Association** – aims to clean, restore and preserve the Kananook Creek and its environs.
- **Long Island Residents Group** – community advocacy group.
- **The 3199 Frankston Beach Patrol and the 3198 Seaford Beach Patrol** – organise community litter pick-ups every month, record and log findings; provide community education on the issues of litter and promote community pride and ownership of the foreshore reserve areas.



2.3 Natural landscapes

Frankston City has many coastal and marine natural assets, including beaches, coastal waterways, native vegetation reserves and habitats, marine habitats and geological features. Our coastline varies from high bluffs of weathered granite in the south to long sandy beaches with the largest contiguous *Banksia integrifolia* (Coast Banksia) habitat in proximity to Melbourne.

Coastal processes

Westerly winds are predominant with seasonal changes of direction between southwest in summer and northwest in winter. The northerly winds dominate in winter driving sand south, and the dominant southerly winds in summer reverse the sediment transport and push sand back towards the north. The large open stretch of the Port Phillip Bay generates a wave impact that is much greater on the eastern shores where Frankston City is located, than on the western shores. This energy drives longshore currents and sediment transport and can cause significant beach erosion.¹⁰

The storm erosion often results in sand shifting from the beach into the dunes. Higher storms in winter generally shift material offshore to the bars to travel south before calmer summer conditions shift sand to the inshore bars where there is a northerly drift. Seasonal and annual variation of the land-water and sand-vegetation buffer results in the natural processes of erosion and accretion along the foreshore.

Beaches

There are two main beaches, which are located throughout Seaford and Frankston suburbs. Seaford Foreshore is approximately 55ha, 5km in length with an average width of 100m comprising of mostly unbroken sandy beaches backed by dense coastal vegetation. Frankston foreshore is approximately 15ha, 2.7km in length. The prominently open coastal dune scrub has an average width of 30m. Frankston foreshore beaches are separated by Kananook Creek and end at Olivers Hill seawall. Figure 5 details further characteristics of the Frankston and Seaford beaches. The map also highlights marine features within 3 nautical miles of Frankston City coastline.

¹⁰ Detailed analysis of the coastal processes shaping Port Phillip Bay commissioned by ABM as part of the Manage Better Now project can be found here abm.org.au/projects/managing-better-now-program

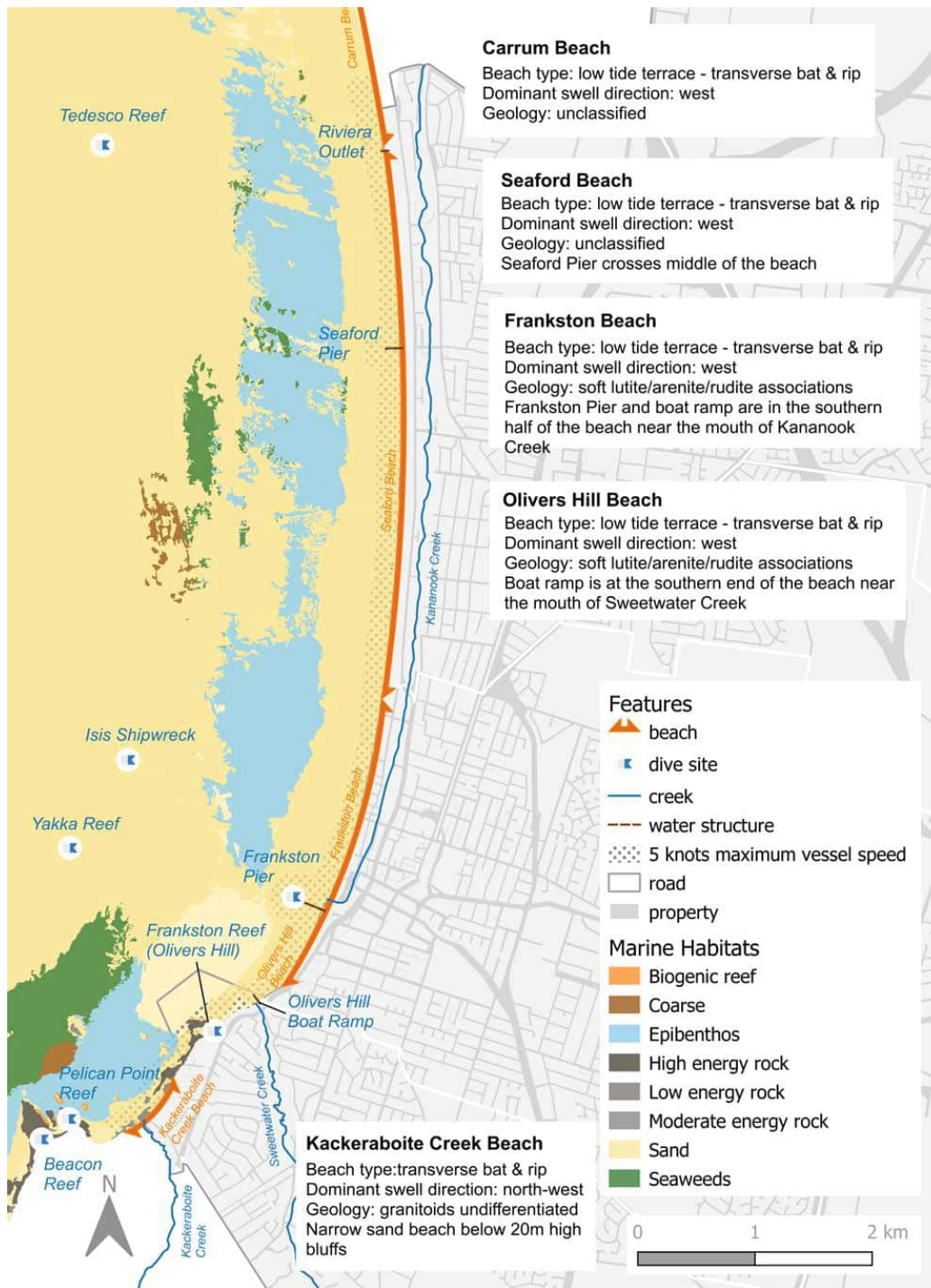
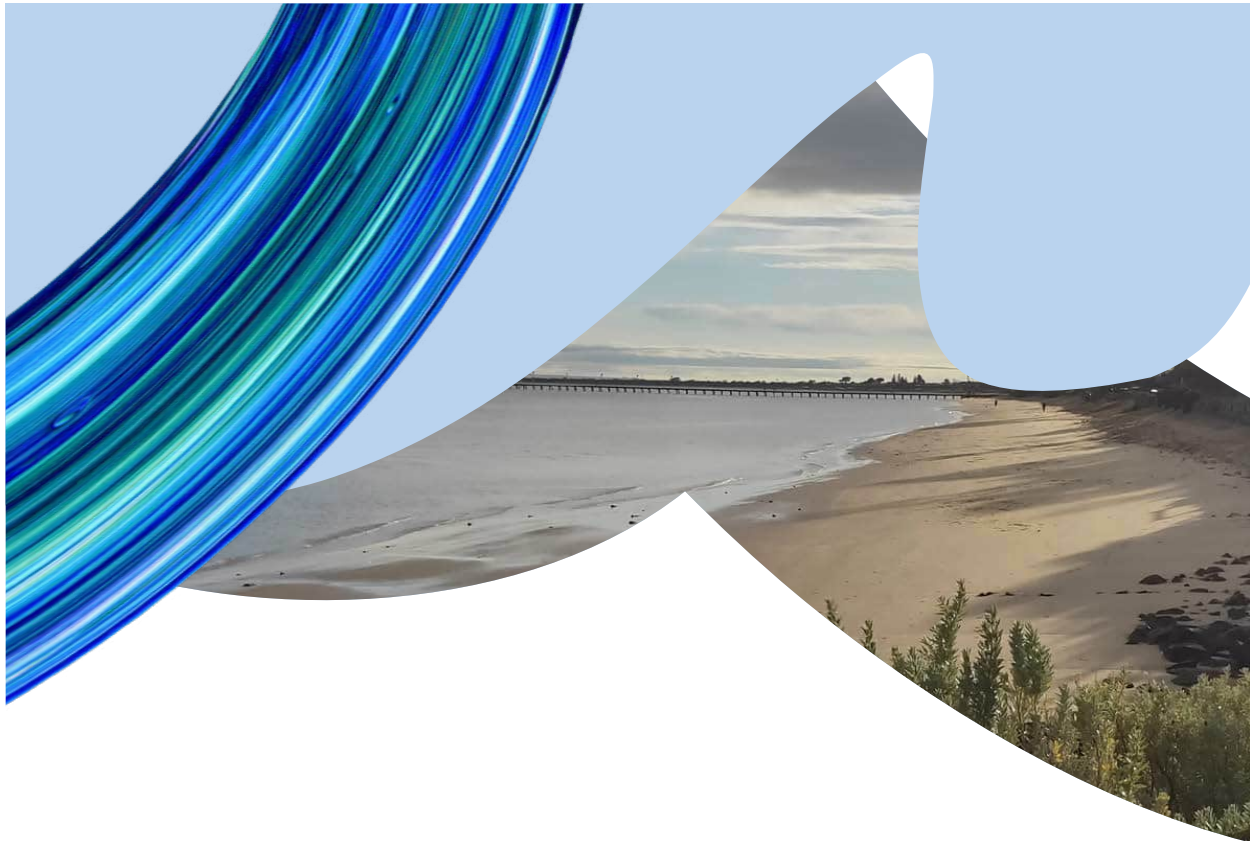


Figure 5 – Marine features within 3 nautical miles of Frankston City coastline¹¹

¹¹Marine habitats, dive sites and beach type spatial data source: CoastKit, 2023 from: CoastKit Victoria (mapshare.vic.gov.au)



Ecosystem and habitats

Seaford foreshore supports the largest, contiguous remnant of coastal vegetation within proximity to Melbourne. It includes intact patches of three coastal Ecological Vegetation Classes (EVCs) including Coast Banksia woodland, coastal dune scrub and coastal dune grassland. Coastal dune grassland occurs on the primary dune and grades into dune scrub. The height of the scrub increases, and structure changes to a relatively tall 5-6m shrub land on the inland side of these dunes transitioning to Coast Banksia woodland.

Frankston foreshore (south of Mile Bridge) is narrower and coastal vegetation is interrupted by car parks, open parkland, paved promenades and built infrastructure. The steep cliffs of Olivers Hill to Daveys Bay support relatively intact patches of coastal headland scrub. Figure 6 highlights important habitats and other coastal features.

The Bay consists of a variety of habitats. Most of the seafloor is sand and silt which is home to a diverse assemblage of invertebrates. Some areas of sand are covered by seagrass meadows that provide important habitat for marine life, especially juvenile fish. Rocky reefs can also be found on some margins of the bay often being dominated by hundreds of different seaweeds. A shore based recreational fishing artificial reef deployed by the Victorian Fisheries Authority in 2012 is located approximately 40 metres seaward of Frankston Pier. It provides habitat for a range of fish, plant, and animal species, increasing local biodiversity.

Waterways

Frankston's coastline intersects with several significant waterways including Kananook, Sweetwater and Kackeraboite Creeks. Kananook Creek, originally rising from the now drained Carrum

Swamp, has been an integral feature of the foreshore reserve in Frankston. The mouth of Kananook Creek has been altered substantially over the years and regularly dredged to allow for boating access.

Lower Sweetwater Creek in its southernmost reach enters two large barrel drains, which take it under the Nepean Highway and Olivers Hill Carpark then into Port Phillip Bay. Kackeraboite Creek resides in Mornington Peninsula Shire Council with the mouth entering Davey's Bay. Occasionally, the mouth will reside with Frankston City dependant on sand movement.

Geological significance

Most of the foreshore area lies within a low-lying crescent that stretches from the Beaumaris headland to Olivers Hill. The coastline of Seaford consists of a sandy beach backed by a low sand cliff and coastal dune woodland. At parts of Seaford Beach, the primary and secondary dunes are well vegetated. The Seaford Foreshore Reserve is considered regionally significant as the site is the most intact remnant of the large barrier and wetland complex that dominated the physiography of the area between Mordialloc and Frankston.

The sand beach ends at the southern boundary of Olivers Hill car park, and the Selwyn Fault brought up the Tertiary and older rock formations through to Kackeraboite Creek. This area is a site of geological significance showing weathered older volcanic basalt, Mount Eliza granodiorite, slumping red clay cliffs formed from ferruginous Baxter, sandstone partially weathered basalt faulted against granite and fresh fractured granite. The base of Olivers Hill is protected by rock revetments with a succession of beaches between cliffs continuing through to Daveys Bay.

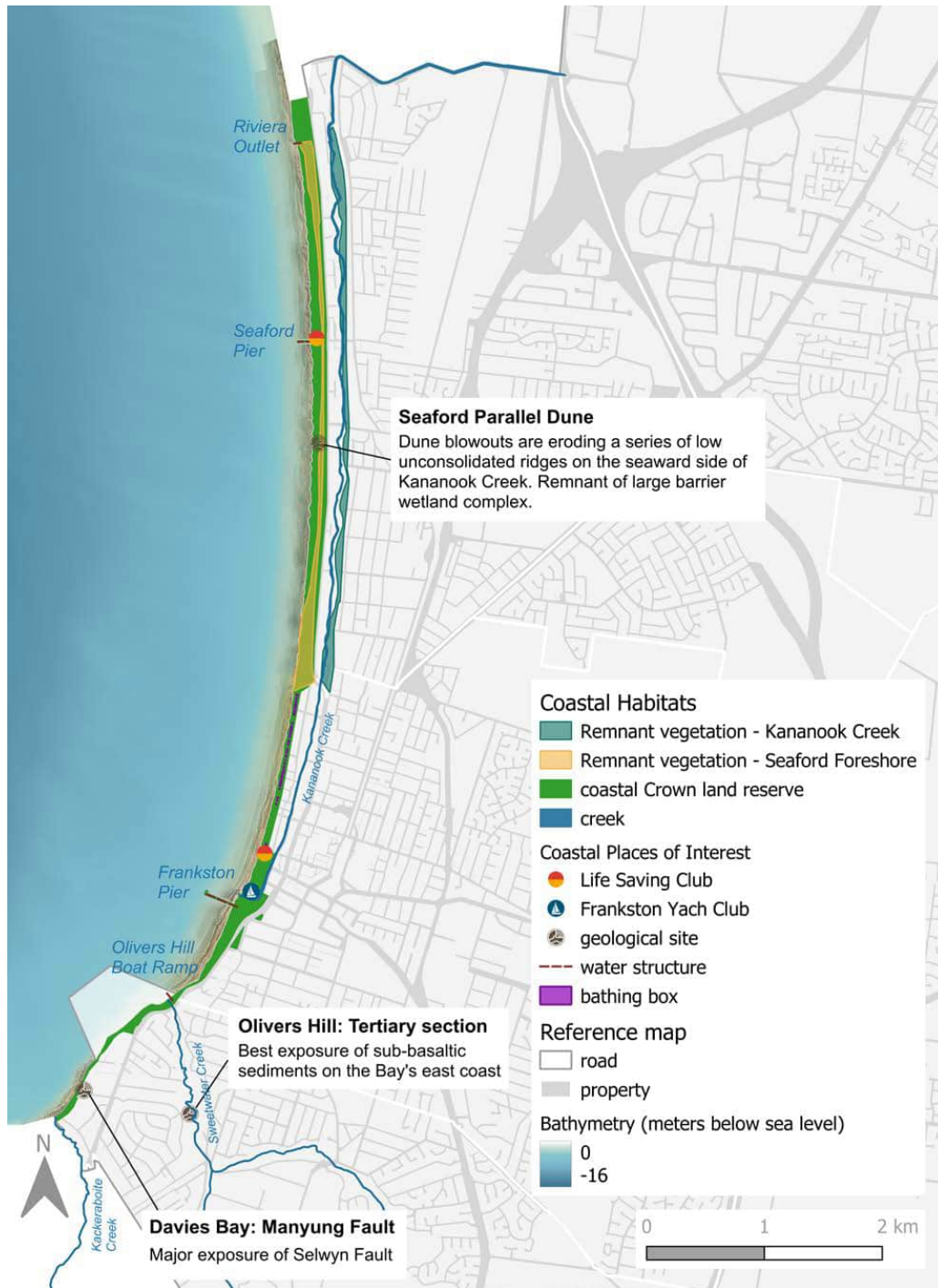


Figure 6 - Coastal features within 200 meters of high-water mark¹²

¹²Coastal habitats, geological sites spatial data source: CoastKit, 2023 from CoastKit Victoria (mapshare.vic.gov.au); other data from Council's spatial database.



2.4 Current uses and future challenges

Frankston City is an emerging creative city bordering metropolitan Melbourne and the northern entrance of the Mornington Peninsula, making it a popular destination on the shores of Port Phillip Bay. The projected population growth, development and the effects of climate change are placing increasing pressures on the significant environmental features, presenting challenges to the long-term sustainable management of the coast.

Population growth and tourism

To cope with the increased visitation and demand for active and passive recreation, it is important to understand the capacity of the foreshore reserve along with the adjoining infrastructure and assets to support different coastal experiences. In addition to regular infrastructure upgrades, decisions also need to be made about their coastal dependency, interference with natural coastal processes, vulnerability and adaptive capacity to coastal hazards.

Coastal hazards and climate change

The coast is a highly dynamic environment, constantly responding to the influence of tides, wind, waves and weather systems. When these coastal processes have a negative impact on natural or built assets, they are considered a hazard. Coastal hazards such as erosion and storm surge have always been present, however, these coastal hazards may worsen as a result of a changing climate.

“Possible future rising sea levels brought about by climate change could see the low lying areas of the foreshore reserve become increasingly affected by changing littoral sand drift, more extreme tides and increased erosion and inundation. This may lead to impacts on flora and fauna populations on the foreshore.”¹³

Sea levels will continue to rise under all emission scenarios. The rate of sea level rise (SLR) will depend on the emission scenario, that is, on how effective our current global, national, and regional mitigation policies are in lowering greenhouse gas emissions. The current regional projections of SLR in Eastern Victoria modelled by CSIRO relative to 1995-2014 are between 0.8 and 1.5m at

2120. These regional projections are for a high emissions scenario SSP5-RCP8.5 that modelled the average rate of regional SLR increase to be 13.2 mm per year (CSIRO, 2022).¹⁴

Climate change and SLR impacts in Frankston City will be most severe during storm surges and storm wave events that coincide with high tide. Frankston City show relatively linear increase in area subject to inundation under the different SLR scenarios. The inundation area resulting from extreme weather events under today's conditions undergoes approximately two to three-fold increases for a 1.4m SLR (CSIRO, 2022). The compounded impacts of SLR and storm bite are likely to cause recession of the beach and loss or damage to coastal infrastructure and built form (such as surf clubs, bathing boxes, walking tracks, fences etc). Dune destabilisation may occur through loss of vegetation as a result of increased erosion, further contributing to the beach narrowing where sufficient, well-established dune vegetation buffers are not present.

Vegetation health and fragmentation

Coastal reserves that are stabilised through continuous habitat and supported by a healthy vegetation cover form the best natural defence to coastal hazards. They are one of the most effective ways to decrease our vulnerability to climate change. Habitat fragmentation lower the coast's natural defence to hazards and increase our vulnerability. These ongoing issues need to be addressed through promoting natural regeneration and sustainable management ensuring that any development is minimal and sensitive to natural marine and coastal values. An integrated weed control program is paramount to re-establishing the biodiversity of the foreshore reserves, particularly in high-sensitivity areas of the Seaford Foreshore Reserve.

Water quality

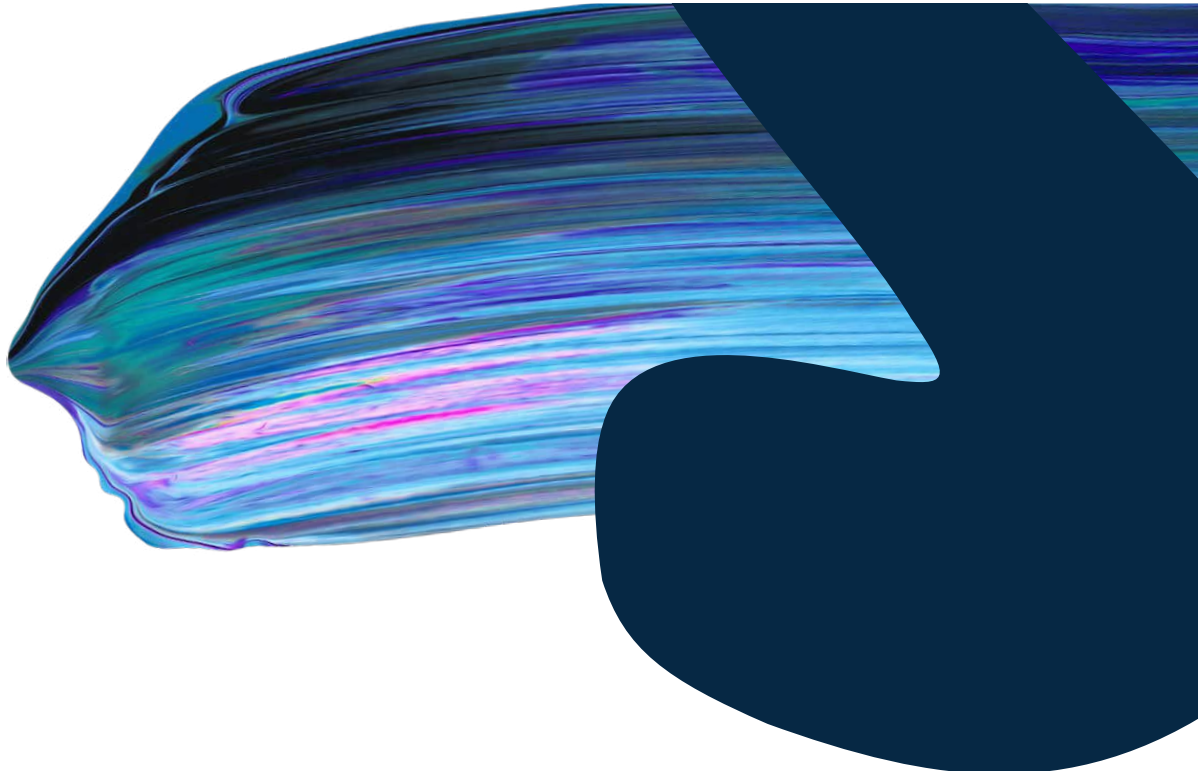
Stormwater entering drainage systems and waterways in the Frankston municipal area and surrounds ends up on the beach and in coastal waters. Stormwater can carry a range of pollutants such as litter, sediment runoff, vegetation, dog and animal faeces. Water quality at Frankston Beach is monitored each summer by Environment Protection Authority (EPA) Victoria¹⁵. Marine ecosystems, flora and fauna are impacted by pollutants entering the bay and other uses of the coast.

Ageing sewerage infrastructure is also a source of potential pollutants, when sewer pipes or septic tanks collapse and fail, which leads to the discharge of raw sewage into the environment, some of which can make its way to the bay. Management of these systems is mainly the responsibility of Melbourne Water and South East Water; however, Council's support in communicating the emergency response plan may assist in more timely redress of failed sewage infrastructure and limit the detrimental impacts.

¹³ Practical Ecology. (2010). Flora and Fauna Assessment of Frankston and Seaford Foreshore: prepared for Frankston City Council. p. 81.

¹⁴ McInnes, K. L., O'Grady, J., Prakash, M., Dahlhouse, P., Rosengren, N., Hoeke, R., Hemer, M., & Power, R. (2022). *Port Phillip Bay Coastal Hazard Assessment Final Report*. Prepared by CSIRO Oceans and Atmosphere.

¹⁵ See EPA Beach Report for up to date information and past observations: www.epa.vic.gov.au/for-community/summer-water-quality/beach-report



3. Values, issues, and opportunities

Stakeholder and community engagement has been a significant and critical part of the CMMP development process. The following chapter gives an overview of the values, issues and opportunities identified by our community and key stakeholders in the early stages of the project. Their input informed the vision and objectives for the next 10 years. Appendix 4 provides further detail about the development and consultation outputs and the full Values, Issues and Opportunities Paper and engagement reports can be found on the Council website.¹⁶

The purpose of identifying values is:

- To understand what is important to the community and what is of value culturally, socially, environmentally, and economically.
- To focus on what to protect, enhance and plan for over the next decade.

Council has also engaged the Bunurong Land Council Aboriginal Corporation to undertake a Cultural Values Assessment of the coastal environment. The key aims of the assessment whose narrative can be found in Chapter 2.1 were:

- To consider what Aboriginal Cultural Values (ACVs) are, how they are currently being theorised and how they apply to tangible and intangible Bunurong culture and heritage.
- To identify, explore and record the Bunurong cultural values and their (often layered) meanings.
- To create a resource that can be utilised and built upon by Bunurong peoples themselves.
- Contribute to the development of Frankston City Council's Coastal and Marine Management Plan.
- To provide a resource that can be expanded upon and targeted specifically to the planning requirements of future phases of works within the Frankston City's coastal and marine areas, which encompasses six key precincts.

- To provide Frankston City Council with a list of recommendations for their CMMP and related future works.

From understanding the values in coastal and marine areas, the issues and opportunities surrounding these values were identified through a series of online and in-person engagement sessions.

The overarching sentiments about what is valued in Frankston City from community survey responses are:

No matter what time of the year, rain hail or shine, the community uses the foreshore on a daily basis; with Frankston Waterfront, Olivers Hill and Long Island precincts utilised the most.

The community enjoy keeping active by walking and swimming along the coastline and relaxing on the beautiful beaches.

Having a healthy and biodiverse coastal ecosystem was important to have a great coastal experience.

The Planning and Decision Pathway from the Marine and Coastal Policy (2020) was used throughout the engagement to categorise values, issues, and opportunities of relevance to the coastal and marine areas of Frankston and Seaford foreshore. This process led to the development of the vision, aspirations, and objectives specific to Frankston City.

¹⁶ All engagement information and outputs can be found on engage.frankston.vic.gov.au/CMMP



1. Acknowledge Traditional Custodians' rights, aspirations, and knowledge

The first step in the Marine and Coastal Policy (MCP) Decision Making Pathway seeks to ensure Traditional Custodians' rights and obligations are embedded locally into planning and management of the marine and coastal environment. This includes current and future generations of Traditional Custodians' ability to care for and respect Country through self-determination.

Frankston Context

It is respectfully acknowledged that the Bunurong Land Council Aboriginal Corporation (BLCAC) is the Registered Aboriginal Party responsible for managing the Aboriginal cultural heritage of the land and waters where Frankston City Council is situated.

Collaboration with Bunurong Land Council Aboriginal Corporation

A dedicated consultancy project was initiated between Frankston City Council and the BLCAC to self-determine involvement and contribution to the CMMP. By leading the Cultural Values Assessment process and placing their values and objectives at the centre, Bunurong peoples were able to actively contribute to the CMMP in ways that are meaningful and beneficial to their community.

Values

The narrative describing aboriginal cultural values associated with Frankston City's coastal areas, as determined by the BLCAC's Cultural Values Unit, is provided in Section 2.1 Cultural Heritage.

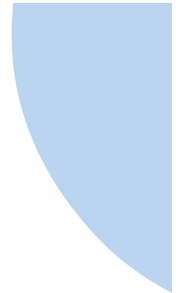
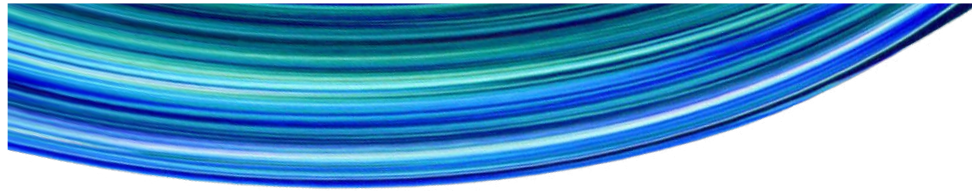
Issues

<p>Place-destructive processes:</p> <ul style="list-style-type: none"> - Climate change - Erosion - Urbanisation - Clearing and conversion of land destabilising the many fragile ecosystems and habitats of Country 	<ul style="list-style-type: none"> - Policy limitations for self-determination - Reduction of Aboriginal cultural values to tangible dimensions - Culture-nature divide in landscape management - Degradation of natural and cultural flows of waterbodies
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Opportunities

Six recommendations were developed in response to discussions with members of the BLCAC and Bunurong communities about the cultural values identified in the Cultural Values Assessment produced for the CMMP. These recommendations form coast-wide actions under the Culture and Connections aspiration. They present opportunities to:

- Conduct research on Country about Country
- Learn and inform on short-term and long-term way to care for Country
- Involve members of the Bunurong community in learning about and caring for Country
- Enable community healing on Country
- Help BLCAC and the wider Bunurong community move towards a sustainable, viable and commercial business model for activities conducted on Country
- Communicate Bunurong cultural values and language to the wider community



2. Protect and enhance the marine and coastal environment

The second step in the Marine and Coastal Policy Decision Making Pathway relates to the value of the marine and coastal Crown land, ecosystems and habitats, natural features and landscapes, cultural values and heritage sites.

Frankston Context

The environmental values of marine and coastal areas of Frankston and Seaford are highly valued by the local community, as summarised by an anonymous Engage Frankston contribution:

“Having a healthy and biodiverse coastal ecosystem is the most important factor enabling the community having a great coastal experience.”

Values

- | | |
|---|---|
| <ul style="list-style-type: none"> - Biodiverse and connected ecosystems (e.g. habitat linkages and green corridors, vegetation buffers, fauna nesting sites, fish habitat, and conservation areas) - Intact and healthy vegetation (e.g. native remnant vegetation, coastal ecological vegetation classes of Coast Banksia woodland, coastal dune scrub and coastal dune grassland) - Presence of native fauna in a variety of ecosystems (e.g. marine life, birdlife, and other types of native fauna) - Recreational use (e.g. swimming, snorkelling, diving, fishing, watercraft, boating, walking, running, bike riding, picnicking) | <ul style="list-style-type: none"> - Views, sunset vantage points and scenery that naturalised coastal areas provide. - Visual amenity provided by vegetation in buffering the sight/sounds of carparks, roads, and development. - The beach and its naturalised processes, uninterrupted vistas, and environmental connections, provide mental wellbeing and enjoyment. - Safe and clean water quality of litter-free beaches and waterways. |
|---|---|

Issues

- | | |
|--|---|
| <ul style="list-style-type: none"> - Edge-effects and encroachment on natural environments through informal tracks and unlawful private development. - Water quality in creeks and waterways, negatively impacting the water quality of oceanic waters off-shore of beaches with the key sources being plastics, siltation, stormwater run-off and wet-weather flows. - Litter on beaches and other coastal Crown land. | <ul style="list-style-type: none"> - Environmental vandalism (e.g. damage and unapproved removal of coastal vegetation on Crown land) - Degradation of the natural environment and ecology not improving. - Introduced species impacting natural environments (e.g. non-native flora species, domestic and feral animals harming native flora and fauna) |
|--|---|

Opportunities

- | | |
|---|--|
| <ul style="list-style-type: none"> - Coastal dune rehabilitation. - Use of nature-based solutions and careful consideration of adaptation actions. - Consider removing informal tracks and formalising select tracks to limit disturbance to dune systems and coastal vegetation reserve areas. - Development controls and land use planning considerations to mitigate encroachments. - Installing environmentally responsive amenity infrastructure and systems to prioritise and support passive, low-carbon recreation modes and community connection to nature. | <ul style="list-style-type: none"> - Investigate the installation of additional artificial reefs to provide further habitat for marine life. - Point-source pollution control and consideration of wet-weather flows. - Investigate installation of litter traps to prevent plastics and other forms of litter from entering waterways. - Educational and awareness-raising activities, including the installation of additional signage. - Coastal clean-up activities to remove litter from beaches and waterways. - Consideration of alternative management methods to keep the mouth of Kananook Creek open. |
|---|--|



3. Respect natural processes and strengthen resilience to climate change

The third step in the Marine and Coastal Policy Decision Making Pathway relates to the marine and coastal processes of the project area in the context of coastal compartments and coastal hazard risks associated with climate change.

Frankston Context

The Frankston coastline is a largely natural coastline, exposed to wave energy from the north- northwest through west to southwest across the deepest sections of Port Phillip Bay. Community stakeholder workshops identified general concern about climate change and the potential impact on coastal processes and coastal areas in terms of amenity, recreation, safety, and potential future cost (e.g., costly erosion mitigation works).

Values

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|---|--|
| <ul style="list-style-type: none"> - Current built form and community infrastructure situated in coastal precincts (e.g. public use buildings such as lifesaving clubs, restaurants, private bathing boxes and residential properties) - Amenity value of beach access and the naturalised coastline (without the presence of protective structures) - Recreational value of shallow Bay waters and sandbars offshore enables safe swimming, snorkelling and diving opportunities. | <ul style="list-style-type: none"> - Existing natural protective features (e.g. the buffering coastal dune systems, resilient coastal vegetation in the northern precincts, and the rock wall at Olivers Hill) - Waterway connectivity between creek outlets and the Bay, environmental function and boating access, open entrance of Kananook Creek into the Bay. |
|---|--|

Issues

- | | |
|---|---|
| <ul style="list-style-type: none"> - The Olivers Hill boat ramp is exposed to high-energy waves during storm events. Overtopping hazard in the carpark. - Popular sections of the coastline (e.g., Olivers Hill or Kananook Creek) will become narrower as the sea level rises, resulting in less accommodation for natural beach recession to occur during storms. - Erosion impacting beach access, beach width and endangering infrastructure, vegetation, built form. - Cliff instability at Olivers Hill due to ongoing erosion of the bank and vegetation loss. | <ul style="list-style-type: none"> - Low-lying sections of the road, especially at the bottom of Olivers Hill are subject to storm tide inundation, both currently and into the future. Overtopping and inundation across the road during large storm events. - Storm-tide inundation upstream in Kananook Creek affects the properties adjoining this waterway in Long Island, Kananook and Seaford. - Current dredging methods impair water quality during and after dredging events. Dredge spoil on the beach affecting amenity. |
|---|---|

Opportunities

- | | |
|---|---|
| <ul style="list-style-type: none"> - Continued and enhanced protection of existing habitats. Revegetation of additional areas to improve erosion and storm-tide buffer. - Community education on the benefits of vegetation cover to discourage removal of coastal vegetation on Crown and private land, promotion of revegetation on private land. - Clear and unambiguous planning and development controls for the coastline to follow the principles of coastal-dependant development and the coastal hazard risk hierarchy. | <ul style="list-style-type: none"> - Dredge plan for Kananook Creek and findings from maintenance evaluation studies to be publicised in an engaging and easy to understand way. - Investigate potential impacts of additional artificial reefs on coastal processes and marine habitats. - Evaluate coastal inundation hazards in low-lying foreshore area to proactively manage environmental flows and stormwater drainage, and to understand baseline interruptions due to storm action or climate change. |
|---|---|



4. Use and develop sustainably

The purpose of the fourth step in the Marine and Coastal Policy Decision Making Pathway is to consider the use of marine and coastal land for enhanced access, development, and sustainable management into the future.

Frankston Context

Frankston City includes large areas of Crown land in the marine and coastal zone. The existing uses range from precincts aligned around amenity and community access to more natural 'untouched' areas. Key activity nodes are present in each precinct and serve various uses from nature-based recreation to dining.

Values

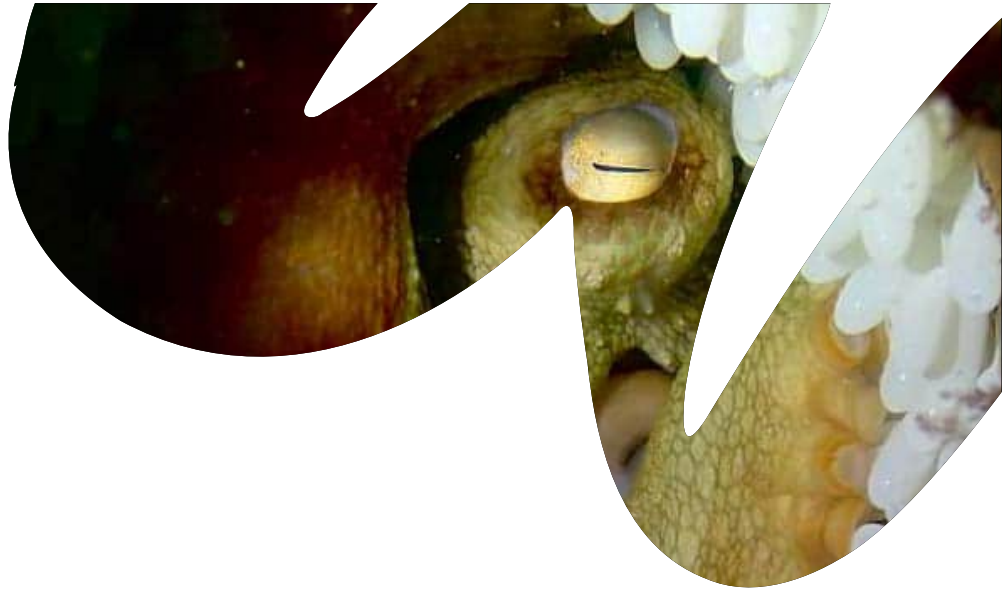
- | | |
|--|---|
| <ul style="list-style-type: none"> - Beach access through universal, DDA compliant access points is important, including carparking passes for residents, non-car dependent travel through pathways and safe crossings. - Recreational amenity for walking, running, biking, swimming, snorkelling, diving, fishing, use of boats and non-powered watercraft and other activities. - The focal points for recreation (Olivers Hill, Frankston waterfront, Seaford Pier) provide a balance to the undeveloped beach areas in the northern precincts. | <ul style="list-style-type: none"> - Existing infrastructure such as including playgrounds, seating and lawned areas, boardwalks, beach access stairs/ramps, water fountains, toilet blocks, shade provision. - Public space for events and festivals at Frankston Waterfront is important for economic stimulus and community activation near the main Frankston commercial precinct. - The existing natural 'family friendly' beach areas are unique around Port Phillip Bay where intact naturalised foreshore, protected dune systems and coastal vegetation are seen as an amenity. |
|--|---|

Issues

- | | |
|--|--|
| <ul style="list-style-type: none"> - Car parking to cater for peak times during summer and weekends, particularly with the popularity of the area as a beach destination for visitors and tourists. - Safe/easy to navigate connectivity for pedestrians between key activity nodes in Frankston City across the highway to the beach and foreshore areas, particularly crossing the Nepean Highway. - Path continuity between precincts to facilitate greater recreation and non-car dependant beach Access. | <ul style="list-style-type: none"> - Community responsibility and Council management issues including facility maintenance, dog poo, graffiti, cleaning, litter and rubbish bins particularly in high traffic areas. - Legacy assets/amenities in marine and coastal crown land that are not coastally dependent. - Decline in commercial activity near the Frankston waterfront. - Balancing competition for land use and pressure to develop marine and coastal Crown land for public use with the need to protect the environmental integrity of natural areas. |
|--|--|

Opportunities

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|---|--|
| <ul style="list-style-type: none"> - Identify and coordinate access needs, including removing informal existing access points and enhancing priority access areas. - Investigate and enhance connections between the existing coastal public space and nearby commercial precincts. | <ul style="list-style-type: none"> - Providing of additional servicing and facilities such as rubbish bins, particularly for peak use periods. - Review and implement required enforcement measures for competing site uses. - Development being responsive to the coastal setting in its design, alignment, purpose and functionality. |
|---|--|



5. Stewardship, knowledge, engagement and collaboration

The fifth step in the Marine and Coastal Policy Decision Making Pathway relates to increasing community stewardship and collaborative management of the marine and coastal environment, including use of citizen science, volunteering, and sustainable funding for long-term implementation to protect values, mitigate issues and embrace opportunities.

Frankston Context

Engage Frankston is the Council run platform used to engage the local community and other stakeholders. This is an interactive platform, where Council provides project updates and progress bulletins, and the community can contribute through the login portal function of the platform for two-way information exchange. Additionally, community reference groups such as Frankston's Foreshore Advisory Committee (FAC) have been established to enable community-led advice and input at all stages of major project development. Collaboration with other stakeholders such as neighbouring councils, state agencies, schools and research groups is also proactively sought by Council for enhanced project outcomes.

Values

- | | |
|--|--|
| <ul style="list-style-type: none"> - An engaged community motivated to participate in local planning and coastal management. - Enthusiastic local community groups and stakeholders. | <ul style="list-style-type: none"> - Traditional caring for Country and custodianship of Aboriginal peoples and present-day involvement of Bunurong Land Council Aboriginal Corporation in coastal management, stewardship and planning activities. - Existing initiatives and projects (e.g. CoastSnap) |
|--|--|

Issues

- | | |
|--|--|
| <ul style="list-style-type: none"> - Jurisdictional ambiguity regarding roles of Council and other agencies (Parks Victoria, Melbourne Water, South East Water, Better Boating Victoria, Victorian Fisheries Authority, Department of Energy, Environment and Climate Action, etc.) | <ul style="list-style-type: none"> - Ineffective coordination of community group activities and local projects. - Lack of funding for implementation of coastal management actions |
|--|--|

Opportunities

- | | |
|---|--|
| <ul style="list-style-type: none"> - Council engagement with community groups and Landcare groups for revegetation and dune care activities. - Implement community education through programs, signage, Council websites and social media channels and improve understanding of history and cultural heritage, environmental processes, governance. | <ul style="list-style-type: none"> - Promote citizen science programs such as CoastSnap and iNaturalist. - Promote Traditional Owner walking tours and cultural activities related to coastal management. Involvement of nearby school visits, educational activities and tourism. |
|---|--|



4. Coast-wide actions














Coastal areas are of immense value to our community. They are used for a variety of purposes and functions, which can serve competing interests. One of the greatest challenges Committees of Management face today is the need to balance environmental needs with desired improvements of amenity, access, recreation and development. To ensure that the actions we take today provide long-lasting, sustainable outcomes for our natural environment and the community, we must adapt to the long-term impacts of natural coastal processes and climate change; as well as balance the increasing population and tourism pressures.

Frankston City's vision, objectives and actions for the marine and coastal Crown land reserves were determined and prioritised based on:

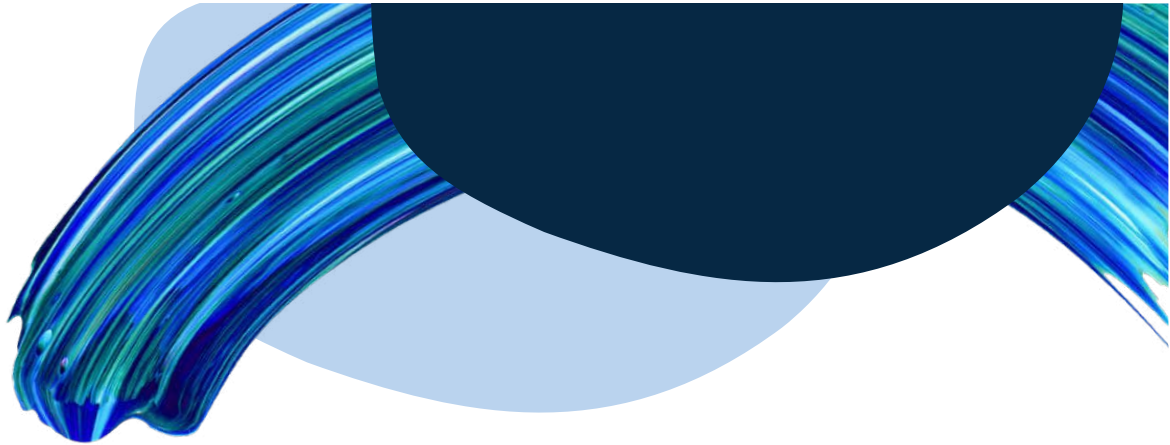
- Alignment with Victorian Marine and Coastal legislation as well as other relevant planning legislation;
- Council's strategic directions;
- Community's values, issues and opportunities;
- Opportunity for public benefit, breadth of interest groups and stakeholders;
- Costs at various stages of project/action/structure lifecycle – design, construction, maintenance;
- Implementation mechanisms (e.g. level of influence, partnerships, approvals and legislative requirements, stakeholder and public sentiment).

Five aspirations and objectives going beyond the ten-year implementation timeframe of this CMMP support its vision and set the strategic direction for all CMMP actions. Eight long-term community priorities outlined in Table 5 provide additional guidance for the Crown land reserves management over the next five to ten years.

Table 5 – Coast-wide CMMP framework

Vision (15+ yrs)	Our coastal and marine areas are protected, resilient and connected. Their bio-cultural diversity is valued and conserved.				
Aspirations (10+ years)					
	Culture and connections	Environmental stewardship	Climate change impacts and safety	Access, amenity, and recreation	Planning and development
Objectives (10+ years)	Acknowledge the rights, knowledge and aspirations of Traditional Custodians. Respect and foster their connection to the Land and Sea Country.	Foster environmental stewardship by protecting and enhancing our marine and coastal environment.	Adapt to the impacts of climate change. Understand and plan for hazards to strengthen long-term resilience.	Improve connectivity, amenity, and accessibility to foster community stewardship of our marine and coastal areas.	Respect natural coastal processes in planning and development to promote sustainable use of our marine and coastal areas.
Community Priorities (5 – 10 years)		A. Meaningfully engage Aboriginal Victorians to assist with implementation of recommendations for coastal precincts made by the Bunurong Land Council Aboriginal Corporation (BLCAC).			
		B. Create opportunities for cultural knowledge and community education of Bunurong cultural places, place names, stories, and knowledge, guided by BLCAC as to appropriate and respectful implementation.			
		C. Foster local leadership by supporting community groups and the community through education, mentoring, funding, and capacity building to collaboratively implement CMMP actions alongside Council for sustainable coastal management.			
		D. Protect and enhance environmental values of precincts by focusing on respecting natural coastal processes, and recognising the importance of marine life, intact dune systems, coastal vegetation reserves, and waterways.			
		E. Improve the water quality and overall health of Sweetwater Creek, Kananook Creek, and the Bay around Frankston and Seaford (stormwater, sewerage, and creek outlets).			
		F. Increase climate resilience of coastal areas to coastal hazards and the impacts of climate change, including the Frankston community, the natural environment, coastal built form and assets, and planning systems for future development.			
		G. Improve connectivity, amenity, and accessibility of each precinct through connecting them to adjacent residential and commercial areas (east-west); walkways between precincts (north-south), and around each precinct.			
		H. Manage coastal areas sustainably to offer recreation, amenity, social connection and commercial opportunities that enhance the liveability of Frankston and Seaford towards the Frankston Metropolitan Activity Centre Structure Plan (FMAC) goal of being a lifestyle and metropolitan capital for the South East.			





Action reference system

The reference number system was developed to ensure each action has a unique identifier for reporting purposes. Coast-wide actions that apply across all precincts use prefix 'C' in their numbering. For all other precinct actions, the first digit relates to the precinct number, the second digit relates to the aspiration number, and the third digit is the tally of actions.

For example:

Action C2.3 relates to Coast-wide action, aspiration 2 Environmental Stewardship, action 3

Action 3.5.2 relates to Precinct 3 Long Island, aspiration 5 Planning and Development, action 2

In total, there are 78 actions coast-wide and across the six precincts.

Indicative Costs	EB	Existing budget allocation
	\$	Low (< \$50,000)
	\$\$	Medium (\$50,000 - \$100,000)
	\$\$\$	High (\$100,000 - \$200,000)
	\$\$\$\$	Very High (> \$200,000)

Timeframe for delivery	↔	Ongoing delivery through existing standards and processes or actions for implementation into Council's business as usual service an operations delivery
	0 - 3	Start implementing by year 3 from adoption
	3 - 5	Start implementing by year 5 from adoption
	5 - 7	Start implementing by year 7 from adoption

Delivery Responsibility	Lead	Council, highlighted in bold , will lead the delivery of all actions in the action plan.
	Supporting	Other partner and supporting agencies, organisations or the community are also listed in the action plan.

Community Priority	<p>Alignment of actions with community priorities is indicated in the action list using a letter identification:</p> <p>A - H for coast-wide community priorities detailed in Table 5 and</p> <p>I - DD for precinct priorities listed under each precinct vision</p> <p>Community priorities are listed in a random order that does not represent ranking or level of importance.</p>
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4.1 Culture and connections



Objective 1:


Acknowledge the rights, knowledge and aspirations of Traditional Custodians. Respect and foster their connection to the Land and Sea Country.


Actions under Culture and connections aspiration and the associated objective seek to value and protect the heritage and the strong connections of our community to the coast and the water of the bay. The cultural heritage values of the foreshore reserves are shared and communicated through the installation of interpretation signage at beach entrance points within each reserve. Additional work is required to update aging infrastructure and improve wayfinding installations. The CMMP Aspiration 4 *Access, amenity, and recreation* is also working toward those values being more consistently represented and communicated to the broader community.

Many descendants of the Bunurong continue to live on Country and take an active role in maintaining and protecting their cultural heritage. Aboriginal cultural heritage in Victoria is also protected through the *Aboriginal Heritage Act (2006)* and the *Aboriginal Heritage Regulations (2018)*. In practical terms, the provisions of the Act require assessment of any land where there is potential for Aboriginal cultural heritage to be disturbed by development. The foreshore reserves are located within an area of *cultural heritage sensitivity*.¹⁷ Some works within the foreshore reserves will require a *Cultural Heritage Management Plan (CHMP)*. This should be investigated in the early project planning and scoping stages of all foreshore projects.

A cultural values assessment has been developed by the BLCAC that will assist Council to assess the type of protection and management that may be required if any high impact activities are proposed. Its outputs will also be used to further highlight and incorporate Aboriginal cultural values into future planning and development decisions within the foreshore area. Chapter 2.1 provides a narrative formulated by the Bunurong Land Council Aboriginal Corporation to describe some of the cultural values of the Frankston area. Six recommendations were developed in response to discussions with members of the BLCAC and Bunurong communities about the cultural values identified in the Cultural Values Assessment produced for the CMMP. These recommendations form coast-wide actions under the Culture and Connections aspiration.

¹⁷ Understand why areas of cultural heritage sensitivity are defined and where they are located. Source: [Cultural heritage sensitivity | First Peoples - State Relations \(firstpeoplesrelations.vic.gov.au\)](https://www.firstpeoplesrelations.vic.gov.au)



ID	Coast-wide action	Time frame	Cost	Delivery	Community Priority
	Aspiration 1 Culture and connections – Objective 1				
C1.1	Develop an engagement agreement with BLCAC's Tarbuk Biik (Strong Country) Team, creating a pathway for collaboration.	0 - 3	EB	Council, BLCAC	A
C1.2	Create a proactive strategy for the protection of coastal Aboriginal cultural heritage and consult with BLCAC in the development of this document	0 - 3	\$	Council, BLCAC	A
C1.3	Develop an engagement agreement and strategy with BLCAC's Heritage Team to undertake heritage surveys (Standard Assessment) of registered Aboriginal places, including shell middens, within the six defined precincts of this project.	0 - 3	\$\$	Council, BLCAC	B
C1.4	Consult with BLCAC about the management of the reserves located within the six precincts of the project, including pest management and planting strategies and the opportunity for the BLCAC Tarbuk Biik (Strong Country) Team to participate in on-the-ground management of the reserves.	↔	EB	Council, BLCAC	A, B, C
C1.5	Engage BLCAC in the development of interpretive guidelines to communicate and reflect the cultural values identified in the Cultural Values Assessment report.	3 - 5	\$\$	Council, BLCAC	B
C1.6	Consult with BLCAC to develop a language strategy to help incorporate Boonwurrung language into any signage related to this project, when possible.	3 - 5	\$\$	Council, BLCAC	B
C1.7	Increase awareness of bio-cultural diversity and the connection between cultural and environmental aspects of managing the marine and coastal environment.	↔	\$	Council, BLCAC	A, C, D



4.2 Environmental stewardship



Objective 2:

Foster environmental stewardship by protecting and enhancing our marine and coastal environment.

The health and quality of habitats in the foreshore reserves and coastal waters are threatened by many stressors. The actions aligned with the Environmental stewardship objective seek to either mitigate the stressors or support our marine and coastal habitats to effectively adapt to them. Finding a balance between use and enjoyment of the foreshore and protecting the natural coastal environment is a challenge. While some of these issues are outside of the management responsibility of the Council and the geographic area of this CMMP, monitoring will inform Council's operations and communications with other responsible authorities. The key challenges facing our foreshore reserves are:

- Invasion by weeds and feral animals from adjacent properties, that overrun indigenous species;
- Pruning or complete removal of native trees and vegetation without approval to improve views from private property;
- Encroachment of gardens, fences and other structures into the reserves impacting on the coastal dunes and cliffs;
- Unauthorised paths and tracks leading from private land into reserves and access tracks through sensitive coastal vegetation areas resulting in trampling of vegetation or erosion of dune areas;

- Fragmentation of habitat;
- Stormwater drainage pipes discharging directly into the reserves (particularly in the Olivers Hill area) creating erosion and impacting water quality;
- Natural coastal processes exacerbated by climate change which cause a loss of beach sand, erosion of the sand dunes and the vegetation that supports them;
- An influx of nutrients from water run-off and drainage systems into the bay;
- Direct impacts on the marine habitat through the spread of invasive species, damage or injury
- Indirect impacts on the marine habitat through pollution from boating, personal watercraft (jet-skis), fishing, and infrastructure development;
- Litter left on the beach, particularly during peak use times or washed out from storm-water run-off.

ID	Coast-wide action	Time frame	Cost	Delivery	Community Priority
	Aspiration 2 Environmental stewardship – Objective 2				
C2.1	Partner with and support local community groups to strengthen environmental stewardship through improving habitat management and monitoring, clean-up, and education activities.	↔	\$	Council, BLCAC, Community	C
C2.2	Develop, promote and contribute to a marine and coastal knowledge base with an emphasis on citizen science monitoring. Work with the community and partner agencies to establish local, ongoing monitoring and reporting of coastal and marine changes.	↔	\$	Council, Community	C, D
C2.3	Investigate and implement water quality and drainage improvements. a) Prioritise network upgrades with direct impact on foreshore water quality. b) Upgrade the existing and introduce new assets such as pollutant traps at outfalls and gutter guards along the foreshore and adjacent catchment areas. c) Advocate for improvements in upstream catchments in line with integrated water and catchment management principles.	↔	\$\$\$\$	Council, MW, SEW	E
C2.4	Continue to improve management and monitoring of the ecological function of the reserves. a) Review and update the Flora and Fauna Assessment of the foreshore reserves. b) Base foreshore Reserve Management Plans on best practice, latest knowledge and data to inform weed control, pest animal management, prescribed burning and revegetation. c) Support the implementation of actions in the Biodiversity Action Plan (2021) to protect coastal habitats.	↔	\$\$	Council, BLCAC	D, F
C2.5	Investigate opportunities for protection and restoration of marine habitats such as seagrass beds, shoreline and intertidal shellfish reefs.	3 - 5	\$	Council, VFA, DEECA	D, E
C2.6	Control and limit the impacts of night-time lighting on marine and coastal wildlife by: a) Ensuring that the National Light Pollution Guidelines for Wildlife (DCCEEW, 2023) are considered during the planning, design and delivery of coastal projects and activation of the foreshore. b) Considering the outputs and recommendations of the 'Assessing and Reducing Night-time Lighting Impacts on Marine and Coastal Animals in Port Phillip Bay' project (ABM, 2024) in the development of Frankston City's Wildlife-friendly Lighting Guideline.	↔	EB	Council	D, G
C2.7	Protect and enhance our dunes. a) Minimise vegetation and dune disturbance through access control. b) Establish and maintain best-practice weed management and structurally diverse native vegetation. c) Continue to build regional and site-specific understanding of natural coastal processes. d) Respect and minimise the interference with coastal processes in areas where they contribute to dune stabilisation and other long-term coastal adaptation objectives.	↔	EB	Council, DEECA	D



ID	Coast-wide action	Time frame	Cost	Delivery	Community Priority
C2.8	<p>Ensure succession for Coast Banksia populations in the foreshore reserves.</p> <p>a) Use data captured from Coast Banksia surveys to inform successional planting.</p> <p>b) Support the development of a healthy population of Coastal Banksia and associated EVCs, with an appropriate spread of age classes, and related vegetation communities through appropriate management decisions.</p>	↔	\$	Council	D
C2.9	<p>Conduct a coast-wide track consolidation study of formal and unauthorised access tracks.</p> <p>a) Assess current condition of tracks and surrounding vegetation, particularly through dunes and vegetation reserve areas of high environmental value and those highly susceptible to coastal processes likely to create hazards.</p> <p>b) Identify and prioritise tracks for formalisation, closure and/or revegetation.</p> <p>c) Implement measures to reduce edge effects.</p> <p>d) Work with residents to reduce encroachment of unauthorised access tracks into foreshore reserve areas.</p>	3 - 5	\$	Council	D, F, G
C2.10	<p>Continue to regularly review statutory protection of environmentally significant native vegetation communities of the Coastal Complex and Coast Banksia Woodland to protect and enhance bio links.</p>	↔	\$	Council	D
C2.11	<p>Review vegetation vandalism guidelines in line with the Urban Forest Action Plan and formalise process for response to vegetation vandalism on coastal Crown land.</p>	0 - 3	EB	Council	C, D
C2.12	<p>Work with relevant agencies to promote behaviour change that will ensure protection of marine wildlife against disturbance, entanglements, and control illegal fishing activities.</p>	↔	EB	Council, Community, VFA	C
C2.13	<p>Review Council's beach cleaning approach, exploring effectiveness and improvement opportunities. Ensure detailed service standards for manual and mechanical beach cleaning are documented to show service delivery levels.</p>	↔	EB	Council	D, E
C2.14	<p>Review Council's litter prevention approach through the delivery of a Litter Action Plan, <i>Action 1.20 of the Waste Circularity Plan</i>.</p>	0 - 3	EB	Council	D, E, H



4.3 Climate change impacts and safety



Objective 3:

Adapt to the impacts of climate change. Understand and plan for hazards to strengthen long-term resilience.

Projected climate change impacts including sea level rise could alter existing coastal processes. Planning for a sea level rise of not less than 0.8 metres by 2100 is recommended in the Victorian Marine and Coastal Policy. The risks from climate change along the foreshore in Frankston and Seaford include:

- increased exposure and vulnerability during storm events;
- recession of beaches and foreshore areas;
- flooding of public infrastructure in low lying areas;
- flooding of private assets in low lying areas;
- loss of road access due to coastal inundation and/or flooding;
- loss of native vegetation and habitat;
- increased flash flooding due to storm water drainage systems being inundated;
- increased community anxiety about climate change and loss of wellbeing.


It is important to recognise that the projected climate change scenarios for Frankston City causing changes in beach profile and coastal processes are likely to alter the recreational use of the beach.

Adaptation principles

Decisions regarding adaptation to climate change and coastal hazards must be informed by the best available scientific information. Appropriate planning is underpinned by technical assessments and monitoring that identify local and site-specific opportunities to mitigate these hazards. It is important that planning and management decisions along the foreshore are made in view of long-term risks and with adaptation in mind.

The Marine and Coastal Policy (2020, p.37) provides a hierarchy to follow when identifying the most effective adaptation pathway. Examples of the adaptation actions in order of consideration further defined in the state Policy are:

1. Non-intervention
2. Avoid
3. Nature-based methods
4. Accommodate
5. Retreat
6. Protect

ID	Coast-wide action	Time frame	Cost	Delivery	Community Priority
	Aspiration 3 Climate change impacts and safety				
C3.1	<p>Develop coastal adaptation pathways to foster coastal resilience.</p> <p>a) Incorporate best available research and data on coastal processes and hazards into decision making.</p> <p>b) Use this data to ensure there are mechanisms to effectively manage coastal hazard exposure including sea level rise, erosion, accretion, inundation and groundwater impacts.</p>	3 - 5	\$\$\$	Council, DEECA, MW	F, H
C3.2	<p>Work with DEECA on condition assessments of existing coastal protection structures, to evaluate their fitness for purpose in addressing current and future coastal hazards. Consider projected impacts of climate change, natural coastal processes and infrastructure changes on surrounding areas and investigate feasibility of alternate adaptation measures (including nature-based solutions) in line with State policy.</p>	0 - 3	\$\$	Council, DEECA	D, F
C3.3	<p>Incorporate coastal hazard and vulnerability consideration into long-term asset planning.</p> <p>a) Undertake a comprehensive condition audit on coastal infrastructure by asset class, as per Council's Condition audit Methodology.</p> <p>b) Utilise condition audits to prepare capital and maintenance works programmes, assist asset valuations and inform the Long-term Infrastructure Plan.</p> <p>c) Develop a Coastal Asset Management Plan.</p>	3 - 5	\$\$	Council	F, H
C3.4	<p>Trial a coastal hazard safety and adaptation program for residents, businesses, and lease holders on coastal foreshore lots to:</p> <p>a) Develop emergency response plans (short-term, event responsive).</p> <p>b) Develop adaptation plans (long-term, pro-active).</p> <p>c) Facilitate community education about the impacts of sea level rise, storm surge inundation and adaptive planning.</p>	3 - 5	\$	Council	C, F
C3.5	<p>Review current marine and coastal recreational activities and their alignment with marine zones, rules and restrictions. Work with relevant authorities to monitor and improve user and wildlife safety.</p>	0 - 3	\$	Council, Community, STV, PV	D, G, H



4.4 Access, amenity and recreation



Objective 4:

Improve connectivity, amenity, and accessibility to foster community stewardship of our marine and coastal areas.

The use of access, activity and recreation nodes along the foreshore keeps changing. Some areas, such as the Olivers Hill boat ramp, have seen increased visitation and recreational use of the space. These changes highlight the need to improve access and accommodate more diverse recreational activities.

Access and Parking

The beaches in Frankston City can be accessed through several access points along the foreshore reserves. Each point provides varying levels of visitor amenity. The primary points of access are at the Olivers Hill boat ramp, Frankston Waterfront, Seaford Pier and Keast Park. The Nepean Highway creates a significant barrier to pedestrian access between the foreshore reserves and central Frankston, Seaford village and residential areas. For optimum pedestrian connectivity, some of these access points require upgrading, whilst others could be removed to reduce degradation of dune vegetation and maintenance costs.

Majority of visitors access the foreshore by private vehicle and parking congestion is an issue during the peak summer season and events. The sensitive dune environment and potential for impact on the vegetation and ecological values of the reserve prevent expansion of parking areas within the foreshore reserves. There are opportunities to promote links to car parking areas near beach access points in surrounding residential streets and the existing car parks in Frankston and Seaford activity centres, and other nearby reserves.

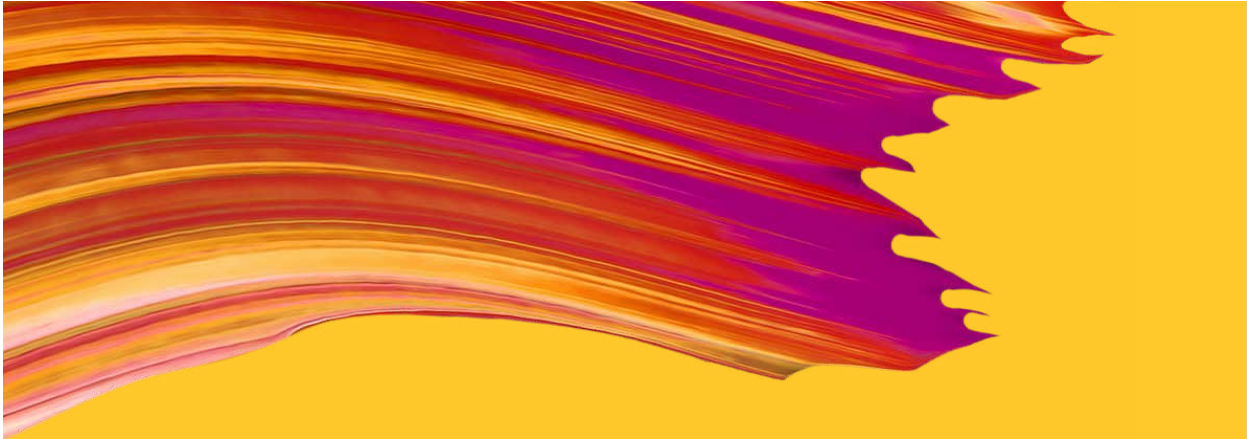
Capitalising on the proximity of public transport to the foreshore reserves, in particular Seaford and Frankston railway stations, underpins the response to growing visitation. The use of active transport to access and move between precincts also complements this approach.

Connectivity

The foreshore reserves can be difficult to navigate for visitors unfamiliar with the area. This is due to disjointed pathways, limited wayfinding (directional and interpretive) signage and inconsistent visitor amenities. Access tracks vary in surfacing and character and include boardwalks, paved promenades and sandy tracks. It can be challenging to navigate from one pathway to the other where continuity of pathways is unclear or interrupted.

Links from the foreshore reserves to adjacent amenities – such as public transport, Kananook Creek Trail, Sweetwater Creek Trail – can be difficult to find or currently unsupported by infrastructure. Any improvement of pedestrian connectivity should be designed to account for and accommodate vegetation and fauna connectivity.

Improving pedestrian links between central Frankston and the adjacent foreshore reserve has been highlighted as a priority during the CMMP engagement. It will require changes to built infrastructure as well as behavioural change.



Recreation and Events

Frankston City is envisioned to grow to a regional destination on the bay. The foreshore reserves are one of the key destinations and drivers of the future prosperity of the area. It supports a range of regular activity and recreation groups with varying levels of coastal dependency. The below assessment requirements are to be used for events and activities in the foreshore reserves to help identify their impacts and balance competing uses.

Amenity

Coastal landscapes are popular and highly visible. It is important to identify and protect features and views, for example, the natural

character of the coastline, valued by the local community and tourists.

All proposed improvements to amenity in the coastal Crown land must

- be rationalised, consider existing activity and recreational nodes,
- demonstrate a functional need to be near or on the coast,
- minimise local environmental and character impact,
- aim at creating, improving or enhancing high aesthetic standards in both natural and built environments.

Activities and events

As a priority, Frankston City should seek activities, events (and associated support infrastructure) for the foreshore reserve that meets the following attributes:

Primary considerations	<ul style="list-style-type: none"> • no negative impact on natural environment and resilience of the foreshore reserves; • net positive community benefit; • coastal dependent¹⁸; • ability to encourage a 'family friendly' atmosphere; 	<ul style="list-style-type: none"> • ability to consolidate / enhance Frankston's position as the top destination of the Mornington Peninsula tourism region; • anticipated or proven transference of visitation into central Frankston.
Secondary considerations	<ul style="list-style-type: none"> • be encouraged out of peak use times • be sited within Activity and Recreation nodes and away from sensitive coastal areas and significant landscapes; • be sited to match boating restrictions, depending on the activity; • be sited to match the support amenities and/or resilience of the area; • allow for a diversity of activities; • allow free and accessible use for all users of the foreshore; • spatially restrict regular activities more than areas allocated to one-off, occasional or annual events; • allow for sufficient times for the reserve and open space to recover if activities are high impact; 	<ul style="list-style-type: none"> • accommodate any storage and ticketing requirements within existing building footprints or temporary structures set up off the sand and away from vegetated dune areas; • ensure any commercial operators pay fair commercial rates for use of public land; • seek consent under the <i>Marine and Coastal Act 2018</i> or <i>Crown Land Reserves Act 1978</i> (if required); • promote a point of difference and diverse user groups at each separate visitor node to reduce pressure on the foreshore; • Be assessed through an internal referral process to consider all potential impacts • include coastal sensitivity considerations and promote environmental stewardship.

¹⁸ Coastal dependency principles in the context of the CMMP apply for uses and structures that are functionally dependent on being located on marine and coastal Crown land, being on or near the water, or that provide support to the functioning of marine and coastal activities. (see additional information in Marine and Coastal Policy 2020, p. 55)




Accessibility and gender equality

Incorporating accessibility, gender equality, and intersectionality considerations into marine and coastal management involves actions that ensure inclusive use of coastal spaces. The CMMP includes both coast-wide and precinct-specific actions delivering intersectional outcomes, some of which also deliver on other objectives. Many of the actions in this CMMP will require a stand-alone gender impact assessment under the *Gender Equality Act 2020*. Any actions that focus on improving the amenity and use of our foreshore will be guided by the following principles:

- Designing and maintaining accessible infrastructure like ramps, walkways, and restrooms to accommodate people with disabilities.

- Implementing gender-sensitive safety measures, such as adequate lighting, sight lines and security, to create safer environments for women and other vulnerable groups.
- Engaging local communities, particularly women and marginalized groups, in participatory planning processes to ensure their needs and knowledge are integrated into management decisions.
- Monitoring and evaluating these initiatives through disaggregated data collection to ensure continuous improvement and accountability in creating equitable and accessible coastal environments.

ID	Coast-wide action	Time frame	Cost	Delivery	Community Priority
 Aspiration 4 Access, amenity and recreation – Objective 4					
C4.1	Improve connectivity between residential and commercial precincts with the coast by: <ol style="list-style-type: none"> Exploring opportunities to strengthen pedestrian links between activity, recreation and access nodes with the surrounding street network. Prioritising active travel connectivity and pathway continuity. Ensuring safe passage across Nepean Highway. 	↔	\$\$	Council	G, H
C4.2	Improve amenity, accessibility and safety of activity, recreation and access nodes, where feasible. Upgrade and design new recreational facilities and amenities to enable participation in physical activity, social connection and inclusion of all community members.	↔	\$\$\$	Council	C, G
C4.3	Promote non-consumptive active and passive recreation and nature-based tourism. Work with relevant stakeholders to explore opportunities for foreshore improvements that respond to demand.	↔	\$	Council	F, G, H



4.5 Planning and development



Objective 5:

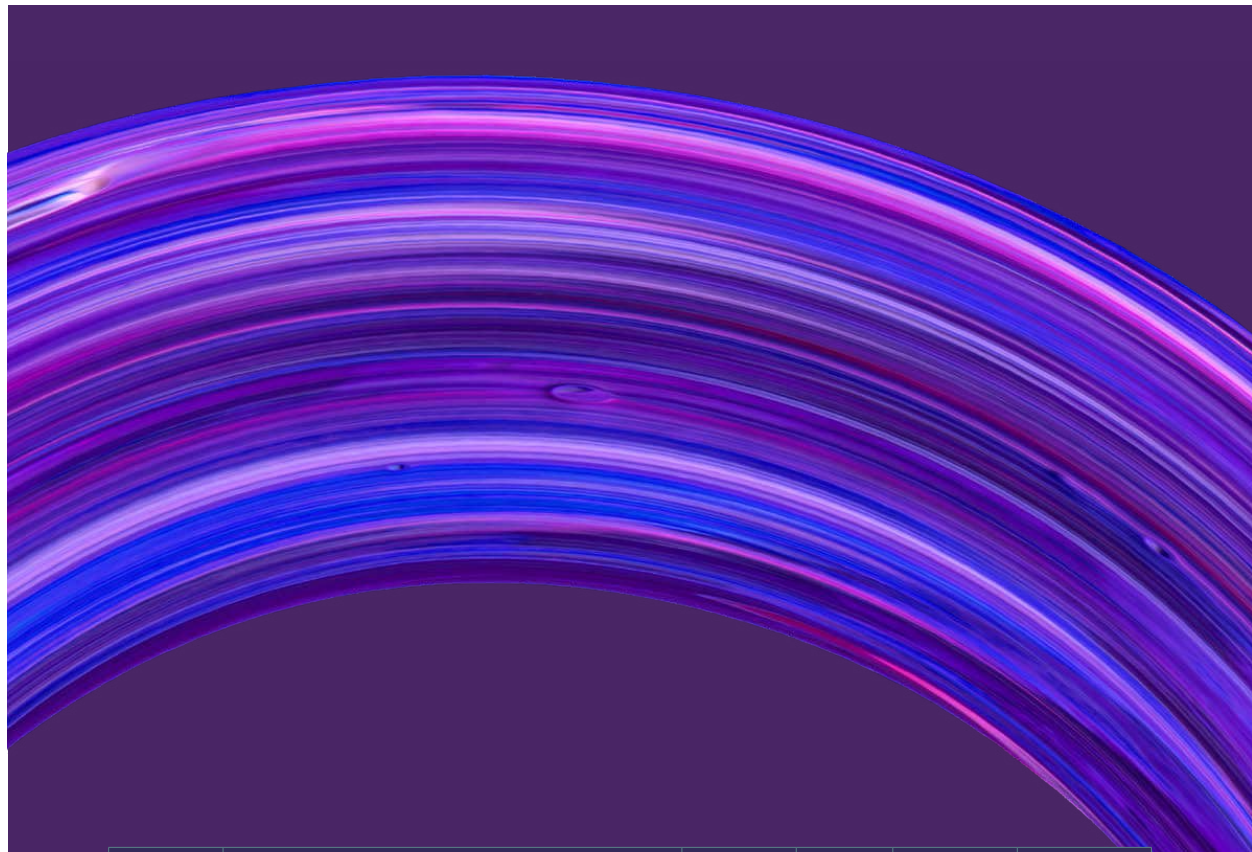
Respect natural coastal processes in planning and development to promote sustainable use of our marine and coastal areas.


The CMMP designates areas of the foreshore reserves as Activity nodes, Recreation nodes, Access nodes or Sensitive natural areas. This designation is based on a consideration of factors including existing condition, its habitat and ecological values, patterns of land use and infrastructure and the extent to which an area has been modified.

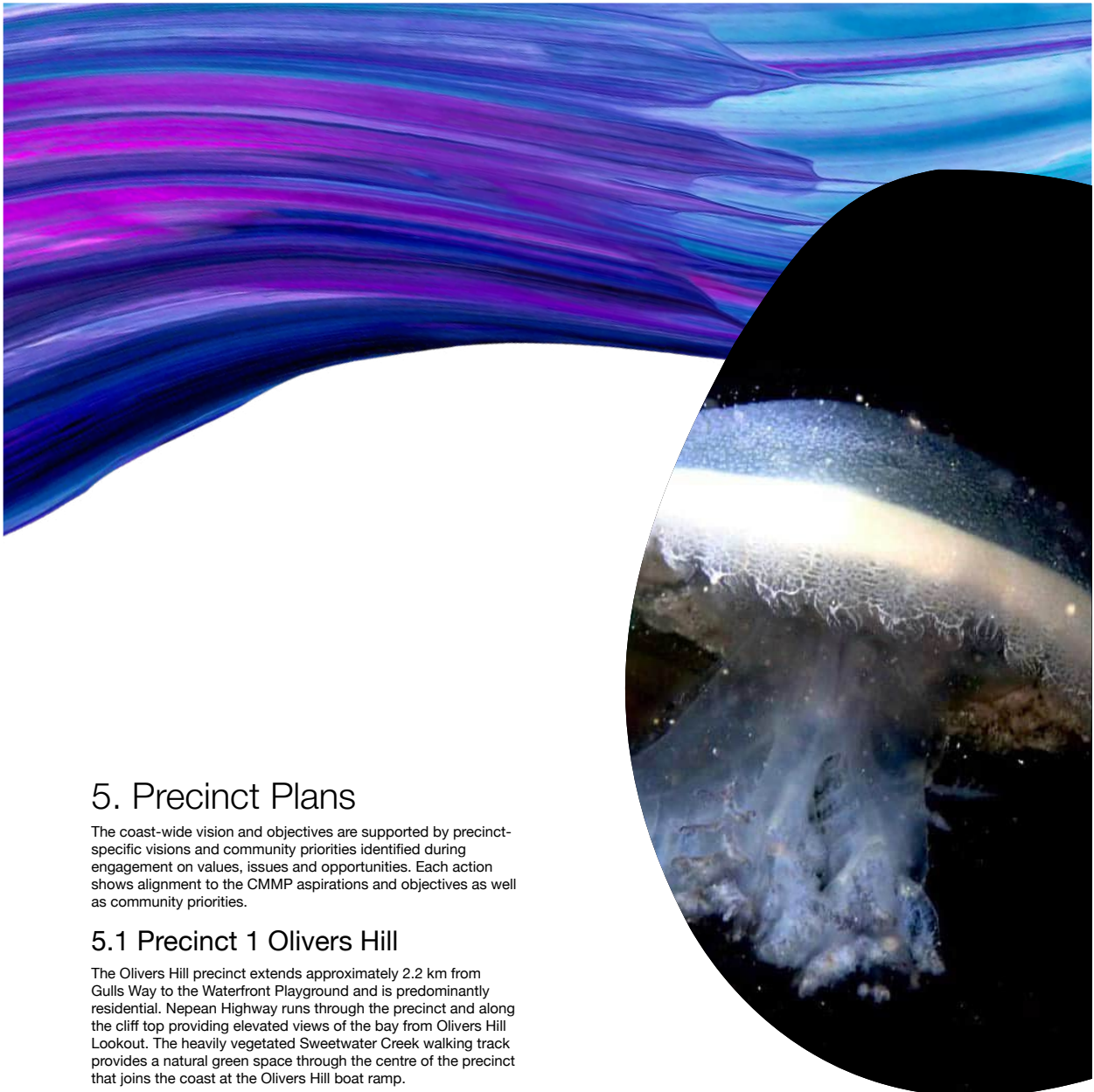
The node designation provides a focus for managing recreation demand and enhancing links between the foreshore reserves,

retail and commercial districts of Frankston and Seaford. However, ecological and cultural values must be considered in all decision making. The CMMP focuses recreation and activity nodes on resilient areas that can recover from seasonal changes. Access to those areas that are more vulnerable due to a high impact of coastal processes or the presence of sensitive native habitat are minimised (e.g., dynamic dune systems, unstable cliffs or the presence of rare and endangered vegetation).

NODES	<p>Activity nodes provide for community recreation facilities and tourism activities. They are adjacent to activity centres and can include public and private land. The Frankston Waterfront is the primary activity node and the main hub for concentrated activity along the foreshore reserve linking to the Frankston Metropolitan Activity Centre (FMAC). It is the key location for active recreation, commercial activities, infrastructure for community coastal dependent uses and host to large scale events. Seaford Pier is a smaller activity node, connecting the foreshore to the commercial precinct across the Nepean Highway.</p> <p>Recreation nodes are located on marine and coastal Crown land outside activity nodes. They provide access and infrastructure for recreation and water-related activities. They provide potential opportunities for organised activity that supports access or the functioning of coastal-dependent activities. Recreation Nodes in Frankston City support visitation with infrastructure that may include:</p> <ul style="list-style-type: none"> • community buildings, general play and fitness spaces that support a marine or coastal activity in line with MCP; • public toilets; • accessible pathways and ramps; • car parking, bike racks and links to public transport; <p>Access nodes are located on marine and coastal Crown land and mark priority links that provide users with access to the foreshore reserve. Access nodes support visitation and may have limited infrastructure including:</p> <ul style="list-style-type: none"> • public toilets; • accessible and unsealed pathways; • car parking, bike racks and links to public transport; <p>Sensitive natural areas are defined as conservation or preservation areas, erosion control areas and areas of high heritage or cultural significance. Development pressure and infrastructure is directed away from sensitive areas. Any infrastructure is designed to facilitate conservation and safety (e.g., fire protection).</p>
TRACKS	<p>Level 1 tracks facilitate access through the foreshore reserves for less formal activities such as swimming, sunbathing and walking. They may include built infrastructure such as accessible pathways, boardwalks, ramps or steps where deemed appropriate in relation to the exposure to coastal hazards and proximity to an access or recreation node.</p> <p>Level 2 tracks facilitate pathway access through the foreshore reserve. Infrastructure is limited to signage and unsealed pathways that should connect to a broader pedestrian and transport network.</p> <p>Level 3 tracks are all other tracks that are managed for low volume access within sensitive natural areas and may experience seasonal closures to allow for natural sand accretion/erosion cycles and dune vegetation regeneration.</p>



ID	Coast-wide action	Time frame	Cost	Delivery	Community Priority
 Aspiration 5 Planning and development					
C5.1	Establish a transparent assessment of proposals for organised activities within the foreshore reserves that: <ul style="list-style-type: none"> a) Aligns with coastal dependency principles, existing policies and guidelines. b) Includes coastal sensitivity considerations and responds to the natural environment. c) Benefits the community, promotes environmental stewardship and opportunities to celebrate the marine and coastal environment. 	↔	EB	Council, Community	C, H
C5.2	Minimise adverse impacts on the marine and coastal environment through the planning permit application process when reviewing proposals and initiating consent processes by: <ul style="list-style-type: none"> a) following the coastal dependence principles; b) prioritising climate-responsive land use; c) ensuring that developable land that is subject to hazards is managed to minimise or avoid high-level risk to the environment and future development. 	↔	EB	Council	H
C5.3	Review Council's Boatshed/Bathing Box Policy (2023 - 2028).	5 - 7	EB	Council	H
C5.4	Review land use management, planning scheme zoning and decision making to incorporate latest State policy, regional and local coastal hazard assessment outcomes, and Victoria's adaptation and coastal resilience building projects.	3 - 5	\$	Council, DEECA	H



5. Precinct Plans

The coast-wide vision and objectives are supported by precinct-specific visions and community priorities identified during engagement on values, issues and opportunities. Each action shows alignment to the CMMP aspirations and objectives as well as community priorities.

5.1 Precinct 1 Olivers Hill

The Olivers Hill precinct extends approximately 2.2 km from Gulls Way to the Waterfront Playground and is predominantly residential. Nepean Highway runs through the precinct and along the cliff top providing elevated views of the bay from Olivers Hill Lookout. The heavily vegetated Sweetwater Creek walking track provides a natural green space through the centre of the precinct that joins the coast at the Olivers Hill boat ramp.

Olivers Hill and Daveys Bay are significant geological and geomorphological sites. The base of Olivers Hill supports relatively intact patches of coastal headland scrub helping to stabilise the cliff face. The Olivers Hill car park is fronted by a bluestone seawall, partially protected by further rock revetments adjacent to the boat ramp. High cliffs stretch above a rock revetment that runs from the south end of the Olivers Hill car park to Whitecliffe Avenue. Then there is a succession of beaches between cliffs. This cliff zone has several active slips and continues to be regularly monitored for any movement and subsequent changes in hazard level. Stormwater drainage pipes discharging directly into the reserve can exacerbate the erosion and impact on water quality.

The cliffs are showing weathered older volcanic basalt, Mount Eliza granodiorite, slumping red clay cliffs formed from ferruginous Baxter sandstone, partially weathered basalt faulted against granite and fresh fractured granite. The cliffs are predominantly fronted by a rock wall and no sandy beach. To the north is the well-established Olivers Hill Beach which is backed by a buffer of open coastal dune scrub, the Bay Trail and Fernery Lane car park.



VISION

The natural assets of Olivers Hill are protected and enhanced, including its resilient coastline, healthy marine life, endemic coastal vegetation, clean waters, and sea views celebrated by locals and visitors through environmentally sensitive recreation.

PRECINCT COMMUNITY PRIORITIES




- I. Improve connectivity and accessibility around Olivers Hill, including pathways from Frankston South to Frankston Waterfront through the precinct, amenable active travel routes along the foreshore, and safe transit from surrounding residential and commercial areas.
- J. Increase the climate resilience of Olivers Hill to withstand coastal hazards and climate pressures, with particular focus on monitoring and ensuring cliff stability of Olivers Hill, and long-term sustainability of the coastal protection structures for future adaptation to sea level rise.
- K. Enhance environmentally sensitive recreational use of the precinct through ongoing coordination with State agencies for long-term management of popular boating assets. Foster coastal stewardship through improved community connection to the marine environment for safe and responsible fishing and boating.

Olivers Hill is one of the primary points of access to the foreshore connecting to the southern end of the foreshore boardwalk. Olivers Hill itself is renowned for its spectacular sea views yet the Olivers Hill lookout provides little amenity or support for visitation. The precinct also features one of the municipality's two boat ramps that provides boat access directly into Port Phillip Bay. This boat ramp is only usable in calm conditions as it is not protected from wave action and has only limited access at low tide.



The existing recreation node is heavily modified and lacks amenity. The area has seen recent changes in the frequency and level of use. Better support for recreation is required, however, the site's vulnerability to coastal hazards needs to be considered in any proposals for future use.

Future development will need to address constrained spaces and limits for car parking to meet the increased demand, especially during peak visitation times. Spaces need to be carefully managed to support existing uses as well as adapt to changing pressures on the site from storm surge and overtopping. The precinct map in Figure 7 shows amenities and places of interest, tracks, nodes and precinct-specific actions.



ID	Precinct 1 Olivers Hill action	Time frame	Cost	Delivery	Community Priority
 Aspiration 1 Culture and connections					
1.1.1	Collaborate with BLCAC to implement their coast-wide recommendations relating to cultural values and heritage places at Olivers Hill.	↔	\$	Council , BLCAC, others	A, B
 Aspiration 2 Environmental stewardship					
1.2.1	Identify degraded areas where natural regeneration processes are hampered by invasive weeds, natural recruitment processes are not occurring, and where highly exposed or degraded areas would be suited to planting. a) Provide specific revegetation survival targets informed by a bioregional EVC benchmark to ensure adequate species diversity and habitat improvement. b) Determine appropriate monitoring program such as regular surveys of indicator species to measure success in improving ecological health. c) Identify prioritised sites suited to habitat corridor improvement to Kananook Creek, Sweetwater Creek and Kackeraboite Creek.	↔	\$	Council	D, J
1.2.2	Monitor water quality of lower reaches of Sweetwater Creek. Where necessary, investigate feasibility and advocate for water quality improvements and drainage maintenance.	↔	\$\$	Council , MW	E, J
1.2.3	Promote fishing litter education through the use of educational signage, additional bins and community clean up days.	↔	\$	Council , Community, VFA, PV	C, D, K
1.2.4	Investigate the health and composition of both natural and artificial marine habitats in the waters of Olivers Hill Precinct and the possibility to support and restore rocky reefs, intertidal reefs and sea grass beds or install additional artificial reefs to improve habitat and water quality.	3 - 5	\$	Council , VFA, PPBEC, Community	D, J, K
 Aspiration 3 Climate change impacts and safety					
1.3.1	Continue to monitor the stability of Olivers Hill, document points of change that require risk assessment, and where feasible, explore stabilisation measures.	↔	\$\$	Council	F, J
1.3.2	Undertake a review of private property encroachments, staircases, informal tracks and infrastructure between Kackeraboite Creek/Gulls Way border of the Olivers Hill Precinct and Olivers Hill boat ramp. Work with relevant stakeholders to investigate ongoing viability of assets.	3 - 5	\$	Council	D, H, J, K



ID	Precinct 1 Olivers Hill action	Time frame	Cost	Delivery	Community Priority
1.3.3	<p>Investigate and, where feasible, implement improvements of stormwater drainage network that discharge through the Crown land reserve in Olivers Hill Precinct.</p> <p>a) Undertake a review of storm water drains that discharge through the Crown land reserve.</p> <p>b) Undertake local coastal hazard assessment to identify hazard exposure and vulnerability of land and assets, incorporating outputs of Action 1.3.1</p> <p>c) Work with relevant landholders to identify and reduce exposure of land and assets to coastal and climate hazards.</p>	7 - 10	\$\$	Council	D, E, F, J
1.3.4	<p>Develop a Coastal Asset Management Plan that will:</p> <p>a) Incorporate the outputs of DEECA's current coastal process studies, hazard assessments and asset condition assessments into its development.</p> <p>b) Incorporate the outputs of planned local coastal hazard assessment to identify natural and built assets in Olivers Hill Precinct that are vulnerable to climate change impacts.</p> <p>c) Identify effective adaptation pathways that take into consideration impacts of climate change, long-term functionality of built assets and maintenance requirements (in collaboration with relevant partner agencies where assets are under a shared responsibility).</p>	3 - 5	\$\$	Council, DEECA, MW	H, J, K
	Aspiration 4 Access, amenity, and recreation				
1.4.1	<p>Advocate for safer vehicle and pedestrian movement to access Olivers Hill look-out, carpark and foreshore areas. Ensure alignment with Nepean Boulevard project for the Southern Precinct.</p>	0 - 3	\$	Council, DTP	G, I, K
	Aspiration 5 Planning and development				
1.5.1	<p>Develop a concept for the Olivers Hill precinct to assist with advocating for public realm, connectivity and environmental improvements including an upgrade of the public toilet facilities.</p>	0 - 3	\$	Council	H, K

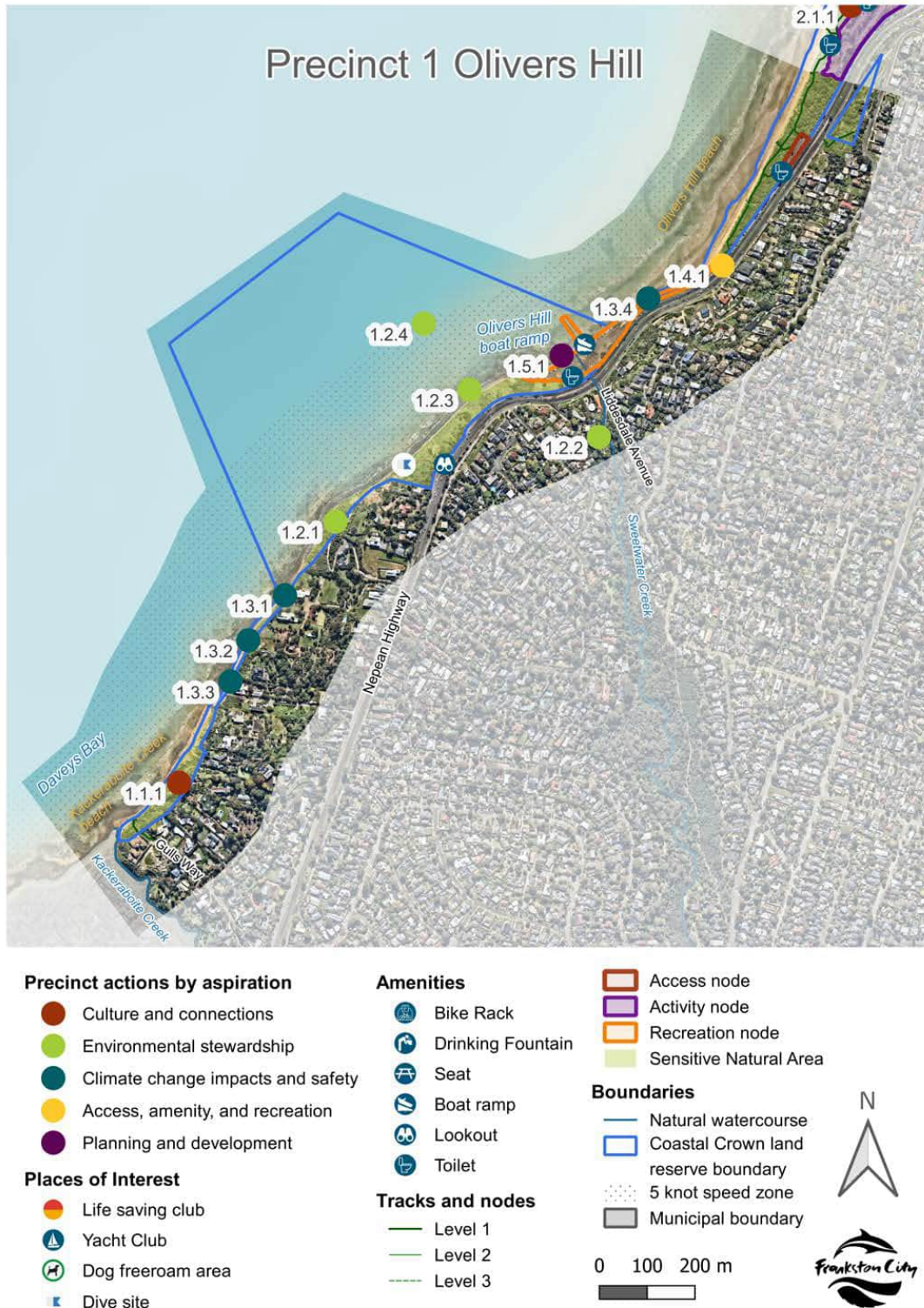


Figure 7 - Precinct 1 Olivers Hill map

5.2 Precinct 2 Frankston

The Frankston Waterfront precinct extends approximately 800 m from the Waterfront Playground to Wells Street and is a regional destination which swells with beachgoers and visitors during spring and summer months. The waterfront contains large coastal reserve areas accessed by pedestrian, public transport and vehicle connections to the foreshore and beaches. The commercial precinct of the Frankston Metropolitan Activity Centre offers entertainment and dining within a walking distance.

A wide sandy beach along the precinct is backed by a section of paved promenade and a low-lying buffer of open coastal dune scrub. Amenities along the foreshore include the Regional Foreshore Playground, Frankston Pier, picnic areas, Frankston Yacht Club and Frankston Surf Life Saving Club. Kananook Creek is central to this precinct, flanked by the commercial precinct, and the foreshore reserve. This key waterway is regularly dredged to provide a key access point for watercraft entering the bay.

The Frankston precinct has a high level of activation through the peak summer months. This limits the capacity of the Frankston Waterfront to support increased recreational activity at these peak use times. Council gets regular proposals for a range of commercial hire, use and development opportunities for the foreshore reserve. Careful assessment is required on any new event and activity proposal to ensure its appropriateness for the coastal environment, destination appeal, and ability to deliver wide ranging benefits to the local community. The precinct map in Figure 8 shows amenities and places of interest, tracks, nodes and precinct-specific actions.

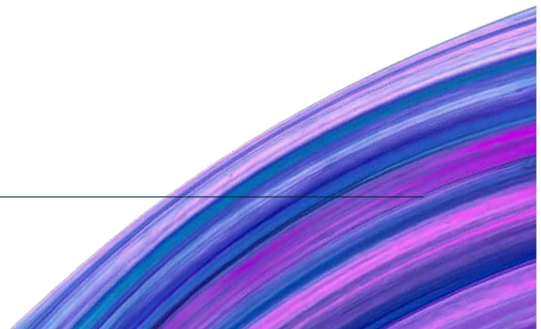
VISION






Frankston is a regional destination hub that celebrates Frankston Beach and Kananook Creek, connecting economic and activity nodes that offer a diversity of cultural features for the community and tourists to enjoy.

PRECINCT COMMUNITY PRIORITIES

- L. Protect Frankston foreshore as a beach of high value focusing on improved accessibility, water quality, marine diversity, and coastal resilience.
- M. Support economic and tourism opportunities to accommodate for cultural change and population increases over time, considering coastal dependency of built form and coastal sensitivity of events.
- N. Improve safe use of coastal areas, including water safety, pedestrian safety, a natural environment supporting human health values, and social safety through use of environmental design principles.¹⁹
- O. Assess options to improve the water quality, access, amenity, and recreation value of Kananook Creek as a central feature of the Frankston precinct.

¹⁹ Crime Prevention Victoria 2005, [Safer Design Guidelines for Victoria](#).



ID	Precinct 2 Frankston actions	Time frame	Cost	Delivery	Community Priority
 Aspiration 1 Culture and connections					
2.1.1	Collaborate with BLCAC to implement their coast-wide recommendations relating to cultural values and heritage places at Frankston.	↔	\$	Council, BLCAC,	A, B
 Aspiration 2 Environmental stewardship					
2.2.1	Investigate water quality improvements for the lower reaches of Kananook Creek. a) Investigate capture of pollutants and litter at source. b) Continue to investigate stormwater quality treatment opportunities. c) Continue to advocate to and collaborate with Melbourne Water to control sediment loads and weeds in Kananook Creek.	↔	\$	Council, MW, BBV	D, E, L, O
2.2.2	Strengthen litter prevention at the Frankston precinct in line with Council's Waste Circularity Plan by: a) Continuing to improve waste education. b) Improving recycling in public places. c) Enforcement of littering infringements. d) Supporting community clean-up days.	↔	\$	Council, Community	E, H, N
2.2.3	Manage sediment accumulation at the Kananook Creek mouth to facilitate safe boating access and visitor amenity. a) Collaborate with relevant agencies to review the dredging program ensuring it continues to avoid potential mobilisation of acid sulfate soils and/or other contaminants and use of contaminated sediment for beach renourishment. b) Continue periodic testing of dredge material to identify if there are any emerging contaminants of concern that require specific management.	↔	\$\$	Council, MW, BBV, Parks Vic	E, O
 Aspiration 3 Climate change impacts and safety					
See coast-wide actions					
 Aspiration 4 Access, amenity, and recreation					
2.4.1	Improve connectivity between the Frankston Metropolitan Activity Centre (FMAC), Kananook Creek, McCombs Reserve and open space areas in line with the Nepean Boulevard project. Review boardwalk trafficability, shared pathway compatibility (walking and bicycle usage), and other access options prioritising active, shared and public modes of transport including demand responsive transit solutions.	5 - 7	\$\$	Council, DTP	G, M, N
2.4.2	Investigate opportunities and implement universal access to the beach, sand and water areas at the Frankston Waterfront, linking to existing DDA car parking and access paths to ensure a continuous path of travel.	3 - 5	\$\$	Council, DTP	G, M, N
 Aspiration 5 Planning and development					
2.5.1	Review the Waterfront Master Plan and the Long Island Landscape Concept Plan with consideration of improved access, movement and connectivity; natural and structural shade provision; and opportunities for events and education.	5 - 7	\$	Council, DEECA	G, H, M, N

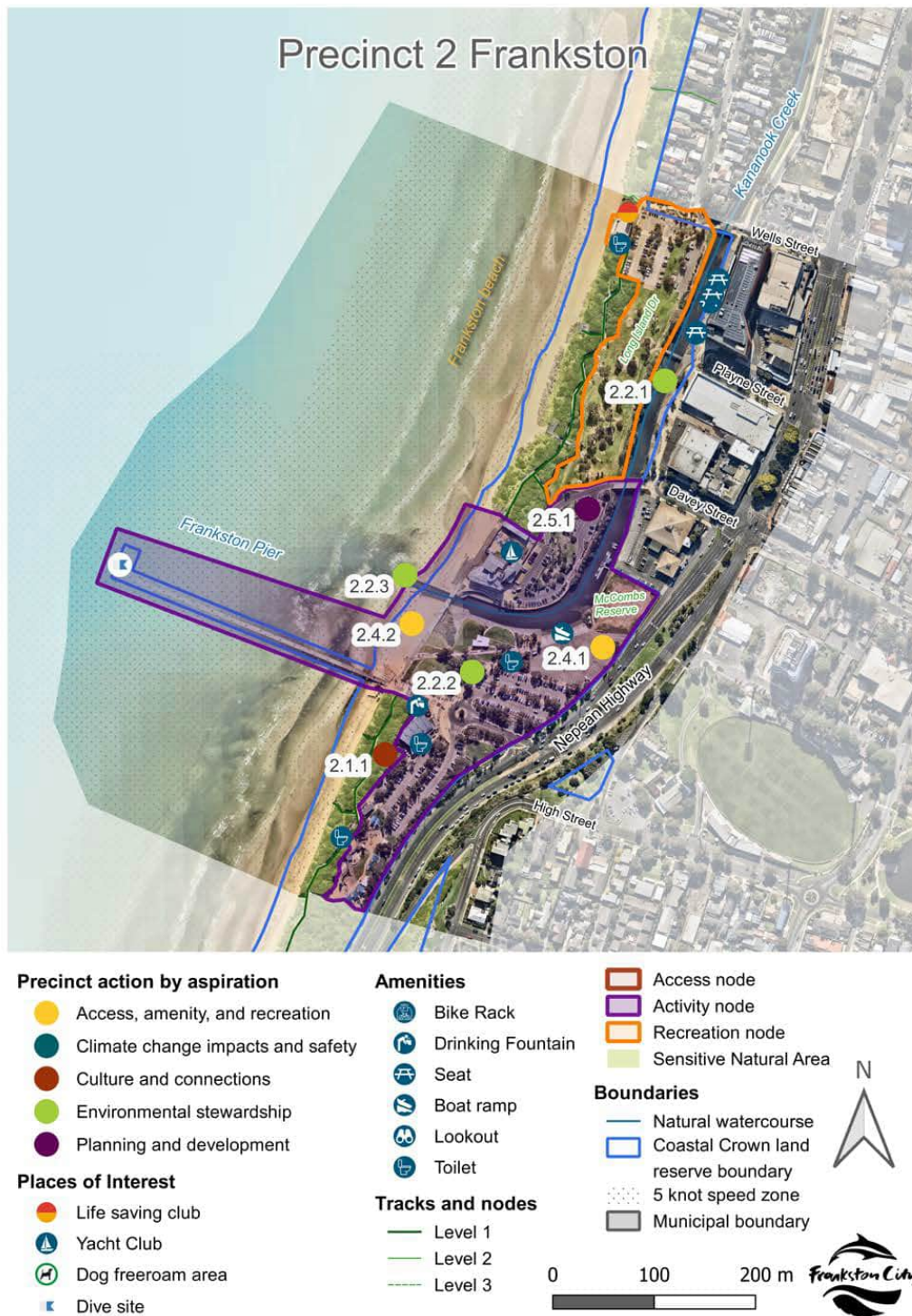


Figure 8 - Precinct 2 Frankston map



5.3 Precinct 3 Long Island

The Long Island precinct extends approximately 1.6 km from Wells Street to Mile Bridge. The Nepean Highway, Gould Street and Kananook Creek run the length of the precinct and offer pedestrian, public transport, and vehicular connectivity access to the FMAC and Frankston Waterfront activity node.

An uninterrupted sandy beach runs along the precinct backed by a relatively narrow buffer of vegetated dune. Residential properties run between the dune and Kananook Creek. Kananook Creek has well established vegetation and open space on either bank coupled with the Kananook Creek Trail.

There is a mix of commercial and residential use landward of the Nepean Highway.

The Long Island Tennis Club is currently a non-coastal dependent facility that sits within the foreshore reserve recreation node. Future change of use or expanding use of this facility would need to be assessed according to the principles of the Victorian Marine and Coastal Policy and would require consent under the *Marine and Coastal Act 2018* from DEECA. Opportunities exist to better support casual access through improved walking paths throughout the foreshore reserve. The precinct map in Figure 9 shows amenities and places of interest, tracks, nodes and precinct-specific actions.

VISION

The quiet residential character of Long Island's coastal fringe is maintained and balanced with opportunities for the community to access public coastal areas, retaining the natural, secluded, and well-vegetated nature of this precinct.

PRECINCT COMMUNITY PRIORITIES

- P. Encourage environmental stewardship of foreshore coastal vegetation systems to reduce tree vandalism, encourage growth of native species, and reduce informal access tracks.
- Q. Investigate coastal hazards exposure, risk and vulnerability to beach foreshore and residential lots, including erosion, storm-tide inundation, sea level rise for long-term resilience planning.
- R. Review access to the beach and coastal reserves, active travel pathways, parking and entry points to benefit the wider Frankston community.
- S. Review zoning and planning controls to ensure they consider coastal dependence and long-term coastal adaptation to climate change when assessing proposals on private land.








ID	Precinct 3 Long Island action	Time frame	Cost	Delivery	Community Priority
	Aspiration 1 Culture and connections				
3.1.1	Collaborate with BLCAC to implement their coast-wide recommendations relating to cultural values and heritage places at Long Island.	↔	\$	Council, BLCAC,	A, B
	Aspiration 2 Environmental stewardship				
3.2.1	Identify opportunities and set long-term vegetation coverage targets to strengthen the resilience of the primary dunes to erosion through natural regeneration and targeted revegetation.	↔	EB	Council	D, P
3.2.2	Minimise dune erosion by: a) Undertaking local coastal hazard assessment to identify erosion hot spots. b) Working with landholders to reduce informal access tracks on Crown Land. c) Working with relevant landholders to identify and reduce encroachment. d) Preventing and controlling vegetation vandalism.	3 - 5	EB	Council, Community	D, P, Q
	Aspiration 3 Climate change impacts and safety				
3.3.1	Undertake engagement with license holders on projected climate change impacts and natural coastal processes that may affect existing private properties and bathing boxes.	0 - 3	EB	Council, Community	F, H, P, R
3.3.2	Deliver community education programs that highlight the importance of maintaining the health of the coastal vegetation communities as climate change adaptation and natural coastal defence mechanisms.	0 - 3	EB	Council, Community	D, F, P, S
	Aspiration 4 Access, amenity, and recreation				
3.4.1	Investigate maintenance and design requirements of timber bridges across Kananook Creek to continue providing pedestrian access to the Long Island beach.	5 - 7	\$	Council	G, H, R
3.4.2	Explore opportunities to provide public toilet facilities in collaboration with relevant authorities between Frankston Life Saving Club and Long Island Tennis Club.	5 - 7	\$\$	Council	G, H, R
	Aspiration 5 Planning and development				
3.5.1	Investigate safe pedestrian connectivity between Kananook Creek and the Frankston Coastal Reserve, to improve existing active transport connections.	3 - 5	\$	Council, Community	G, H, R



Figure 9 - Precinct 3 Long Island map

5.4 Precinct 4 Seaford South

The Seaford South precinct extends approximately 2 km from Mile Bridge to Seaford Road. The precinct is predominantly residential with some pockets of commercial use in the eastern extent. The uninterrupted sandy Seaford Beach is backed by a wide buffer of well-established vegetated dune (Seaford Foreshore Reserve) landward of which runs the Nepean Highway.

Seaford Foreshore Reserve includes intact patches of three coastal Ecological Vegetation Classes (EVCs) - Coast Banksia woodland, coastal dune scrub and coastal dune grassland. The primary and secondary dunes are well vegetated and provide a buffer during storm events. Other parts of the coastline are more vulnerable to the impacts of erosion and sand loss, potentially resulting in narrowing of the beach and dune and, in some cases, impacts on infrastructure.

Residential properties are between the Nepean Highway and Kananook Creek, which stretch the length of the precinct. Kananook Creek has a relatively wide, well-established vegetated green space on the landward (eastern) bank that also features the Kananook Creek Trail. Mix of residential housing, a retirement village, a sports oval and pockets of commercial and industrial use form the southern section of the suburb of Seaford, landward of Kananook Creek.

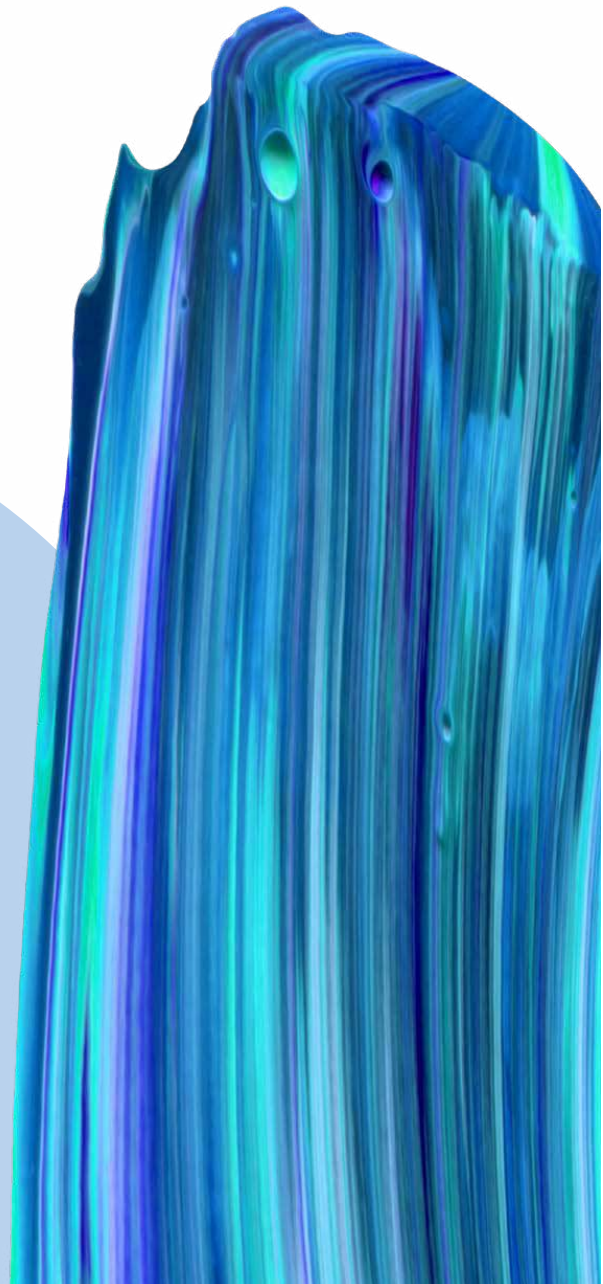
The highly vegetated area along Seaford Beach is valued for its natural features and sense of remoteness by both visitors and local community. In order to maintain these qualities, only passive, low impact recreational activity is appropriate outside of identified recreation nodes in the adjacent precincts, such as the Seaford Life Saving Club. The precinct map in Figure 10 shows amenities and places of interest, tracks, nodes and precinct-specific actions.

VISION

The natural setting of Seaford South is valued and enhanced, providing secluded beach experiences and meandering passive recreational trails amongst the protected coastal vegetation.

PRECINCT COMMUNITY PRIORITIES

- T. Protect naturalised beach character for low-impact recreational use while maintaining the environmental values of the coastline and Seaford Reserve, including intact dunesystems and Coast Banksia Woodland vegetation and fauna supported by these ecosystems.
- U. Improve beach access through designated tracks, linkages through precinct and connectivity to surrounding residential areas.
- V. Support community safety in Seaford Reserve and in the precinct including passive recreation use and safe crossing of the Nepean Highway.










ID	Precinct 4 Seaford South action	Time frame	Cost	Delivery	Community Priority
 Aspiration 1 Culture and connections					
4.1.1	Collaborate with BLCAC to implement their coast-wide recommendations relating to cultural values and heritage places at Seaford South.	↔	\$	Council, BLCAC, others	A, B
 Aspiration 2 Environmental stewardship					
4.2.1	Promote Seaford foreshore reserve to school and university groups to increase community learning and practical environmental stewardship activities.	↔	\$	Council, Community, BLCAC	C, T
4.2.2	Minimise damage to sand dunes, native vegetation and fauna, and prevent fragmentation of the sensitive coastal habitats by: a) Undertaking local coastal hazard assessment to identify erosion hot spots. b) Continuing to identify and regenerate degraded areas where natural regeneration processes are hampered by invasive weeds. c) Preventing and controlling vegetation vandalism.	↔	EB	Council	D, T
 Aspiration 3 Climate change impacts and safety					
4.3.1	Consider tracks susceptible to coastal processes for closure to reduce safety risks to pedestrians and fragmentation of sensitive conservation areas. Support planning decisions through: a) outputs of coastal hazard vulnerability assessment, b) community education about the impacts of sea level rise and adaptive planning.	3 - 5	\$	Council	D, F, T, U
 Aspiration 4 Access, amenity, and recreation					
4.4.1	Improve connectivity with an emphasis on pedestrian safety and beach access: a) Investigate options for a Coates Walk upgrade to connect Kananook Creek and residential areas east of Nepean Highway. b) Improve wayfinding signage throughout pathways in this precinct.	5 - 7	\$\$	Council	G, U, V
4.4.2	Upgrade Seaford Road public toilet facility to improve access, safety, and encourage passive recreation.	0 - 3	\$\$\$	Council	G, U
 Aspiration 5 Planning and development					
4.5.1	Investigate land availability for parking and active travel linkages for beach access from eastern side of Nepean Highway.	5 - 7	\$	Council, DTP	G, H, U, V



Figure 10 - Precinct 4 Seaford South map

5.5 Precinct 5 Seaford Pier

The Seaford Pier precinct extends approximately 1.2 km from Seaford Road to Victor Avenue and is largely residential in use with some isolated pockets of commercial use. The precinct is fronted by a sandy beach (Seaford Beach) with a pier and beach café and Seaford Life Saving Club. Seaford Beach is backed by a wide buffer of well-established vegetated dune (Seaford Foreshore Reserve) landward of which runs the Nepean Highway.

Seaford Foreshore Reserve includes intact patches of three coastal EVCs - Coast Banksia woodland, coastal dune scrub and coastal dune grassland. Residential properties, a shopping centre to the south and a strip of cafes, shops, and restaurants near Station Street are between the Nepean Highway and Kananook Creek.

Kananook Creek has a wide well-established vegetated green space on the landward bank, being the Kananook Creek Gardens and Kananook Creek Reserve. Seaford Railway Station and railway line are landward of the Kananook Creek. Residential housing, several recreational reserves, a skatepark, a soccer club, Edithvale wetlands and Seaford Primary School spread east of the railway line. The precinct map in Figure 11 shows amenities and places of interest, tracks, nodes and actions.

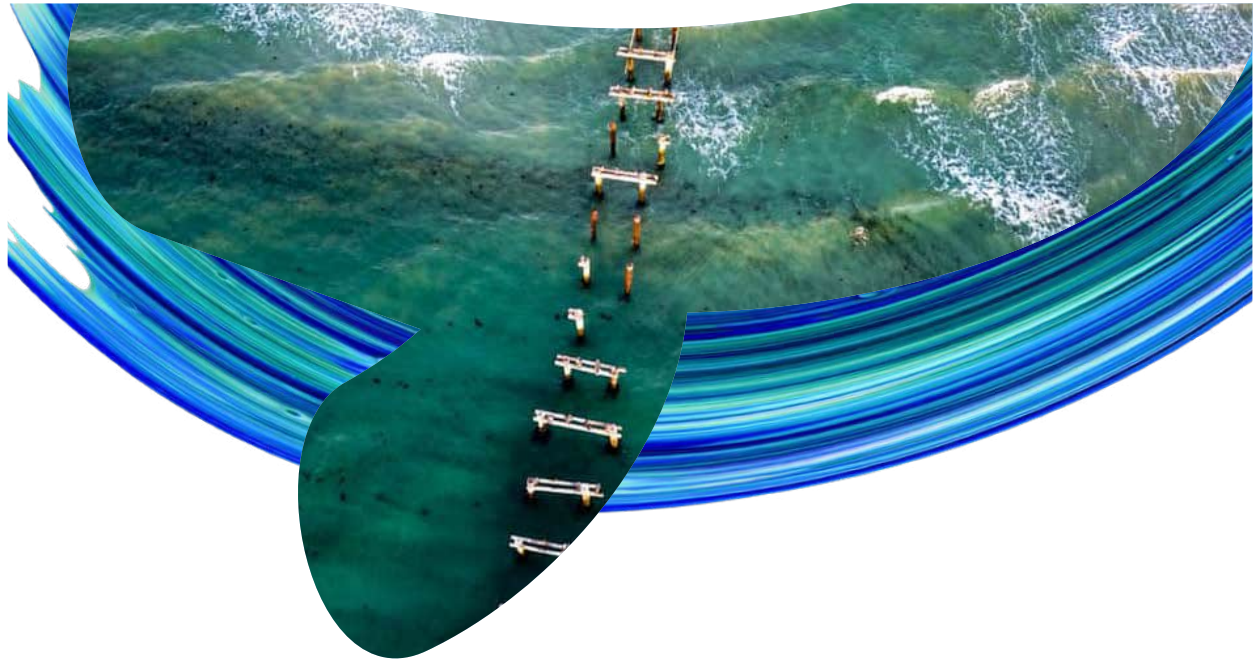
VISION

The iconic Seaford Pier is celebrated and connectivity between the precinct and cafes, bars and restaurants is enhanced, facilitating local tourism, public access, and walkability around the precinct. The largest stand of Coast Banksia Woodland on the Eastern side of Port Phillip Bay is protected and preserved.

PRECINCT COMMUNITY PRIORITIES

- W. Explore strategic planning options for Seaford Pier precinct that aim to:
- create a walkable, integrated coastal community hub
 - improve beach access and connectivity between surrounding residential areas through increased use of public transport and/or station carparking on weekends for beach access, and walkability of Station Street towards the foreshore.
 - improve active transport across the Nepean Highway to access coastal Crown land.
- X. Encourage safe swimming practices and use of the pier, particularly in peak periods of summer and school holidays.
- Y. Protect and enhance Seaford Reserve through revegetation and dune management.
- Z. Reenvisage bushland tracks as coordinated nature trail, promoting low-impact recreation and enjoyment of nature and enhancing opportunities for natural environment and cultural heritage education.










ID	Precinct 5 Seaford Pier action	Time frame	Cost	Delivery	Community Priority
 Aspiration 1 Culture and connections					
5.1.1	Collaborate with BLCAC to implement their coast-wide recommendations relating to cultural values and heritage places at Seaford Pier.	↔	\$	Council, BLCAC, others	A, B
 Aspiration 2 Environmental stewardship					
See coast-wide actions					
 Aspiration 3 Climate change impacts and safety					
5.3.1	Consider tracks susceptible to coastal processes for closure to reduce safety risks to pedestrians and fragmentation of sensitive conservation areas. Support planning decisions through: a) outputs of coastal hazard vulnerability assessment, b) community education about the impacts of sea level rise and adaptive planning.	3 - 5	\$	Council	D, U, Y, Z
5.3.2	Update and maintain signage on Seaford Pier and near beach access points that the pier is not safe for diving from, and the changing sand bar conditions make water depth unpredictable to discourage diving and encourage safe swimming.	0 - 3	\$	Council	G, X
 Aspiration 4 Access, amenity, and recreation					
See coast-wide actions					
 Aspiration 5 Planning and development					
5.5.1	Investigate and advocate for precinct-wide improvements to walkability and accessibility between the Foreshore, Seaford Village and Seaford Railway Station.	5 - 7	\$	Council, DTP	H, W



Figure 11 - Precinct 5 Seaford Pier map

5.6 Precinct 6 Seaford North

The Seaford North precinct extends approximately 1.5 km from Victor Avenue to Osprey Lane and is mostly residential in use. Seaford Beach is intersected by the Riviera Outlet, an engineered groyne structure. A wide buffer of well-established vegetated dune (Seaford Foreshore Reserve) runs along the sandy beach. Keast Park recreation node, Keast beachside carpark and a bowls club are located to the north of the precinct.

Seaford Foreshore Reserve includes intact patches of three coastal EVCs - Coast Banksia woodland, coastal dune scrub and coastal dune grassland. Nepean Highway runs landward of the dunes.

Residential properties and some commercial businesses are between the Nepean Highway and Kananook Creek.

On the eastern bank of Kananook Creek is Kananook Reserve which is a wide well-established vegetated green space. Landward of the Kananook Creek is the railway line. Residential housing, the Armstrong Reserve Playground, a tennis club, and a dog park are located east of the railway line. The precinct map in Figure 12 shows amenities and places of interest, tracks, nodes and actions.

VISION

Seaford North is promoted as a recreation hub with enhanced family spaces, connectivity to surrounding activity nodes, and providing environmental education of the valued marine and coastal environment.

PRECINCT COMMUNITY PRIORITIES

- AA. Protect Seaford Foreshore Reserve from edge effects and degradation; supporting healthy flora growth and fauna populations.
- BB. Enhance the connectivity across the Nepean Highway to residential and commercial areas, as well as between the Seaford Foreshore Reserve and Kananook Creek Reserve.
- CC. Promote Keast Park as a recreation hub, including its existing play areas, facilities, water sports, animal access areas and other recreational activities. Maintain precinct open space as family friendly, safe, and clean.
- DD. Capitalise on recreational values, play spaces and architectural built form to increase environmental awareness through educational signage, installations, programs and/or activities.








	Precinct 6 Seaford North action	Time frame	Cost	Delivery	Community Priority
	Aspiration 1 Culture and connections				
6.1.1	Collaborate with BLCAC to implement their coast-wide recommendations relating to cultural values and heritage places at Seaford North.	↔	\$	Council , BLCAC, others	A, B
	Aspiration 2 Environmental stewardship				
6.2.1	Increase opportunities for environmental education through alignment with play space upgrades, signage, community programs and activities. Events should be coast-dependent and feature an aspect of coastal, marine or foreshore environmental education.	↔	\$	Council , Community, BLCAC	C, CC, DD
6.2.2	Minimise damage to sand dunes, native vegetation and fauna, and prevent fragmentation of the sensitive coastal habitats by: a) Undertaking local coastal hazard assessment to identify erosion hot spots. b) Continuing to identify and regenerate degraded areas where natural regeneration processes are hampered by invasive weeds. c) Preventing and controlling vegetation vandalism.	↔	EB	Council	D, T, DD
	Aspiration 3 Climate change impacts and safety				
6.3.1	In partnership with relevant authorities, identify what stormwater improvements should be undertaken at the Riviera Outlet.	3 - 5	\$	Council , MW	F, AA
6.3.2	Consider tracks susceptible to coastal processes for closure to reduce safety risks to pedestrians and fragmentation of sensitive conservation areas. Support planning decisions through: a) outputs of coastal hazard vulnerability assessment, b) community education about the impacts of sea level rise and adaptive planning.	3 - 5	\$	Council	D, U, AA
	Aspiration 4 Access, amenity, and recreation				
6.4.1	Investigate opportunities to improve the amenity and accessibility of the Riviera Outlet access node with consideration of picnic facilities, shade provision and wayfinding.	5 - 7	\$\$	Council , MW	E, G, H, CC, DD
6.4.2	Review compatibility of horse and dog access to beach with low impact recreation and family use of the area, including consideration of relocation of animal access areas to south of the Riviera Outlet, aligning with the Domestic Animal Management Plan and coast-wide conservation priorities.	0 - 3	\$	Council	D, G, AA, CC
6.4.3	Investigate opportunities to improve the connectivity of existing precinct access nodes and tracks to the broader walking and cycling network.	3 - 5	\$	Council	D, G, AA, CC
6.4.4	Upgrade Armstrongs Road public toilet facility to improve access, safety, and encourage passive recreation.	0 - 3	\$\$\$	Council	G, U
	Aspiration 5 Planning and development				
	See coast-wide actions				



Figure 12 - Precinct 6 Seaford North map



6. Implementation and reporting

Successful implementation of the CMMP requires commitment from the Council to prioritise coastal and marine management and ensure its integration with other Frankston City plans and strategies. The CMMP will form part of Council's integrated planning and reporting framework shown in Figure 13.

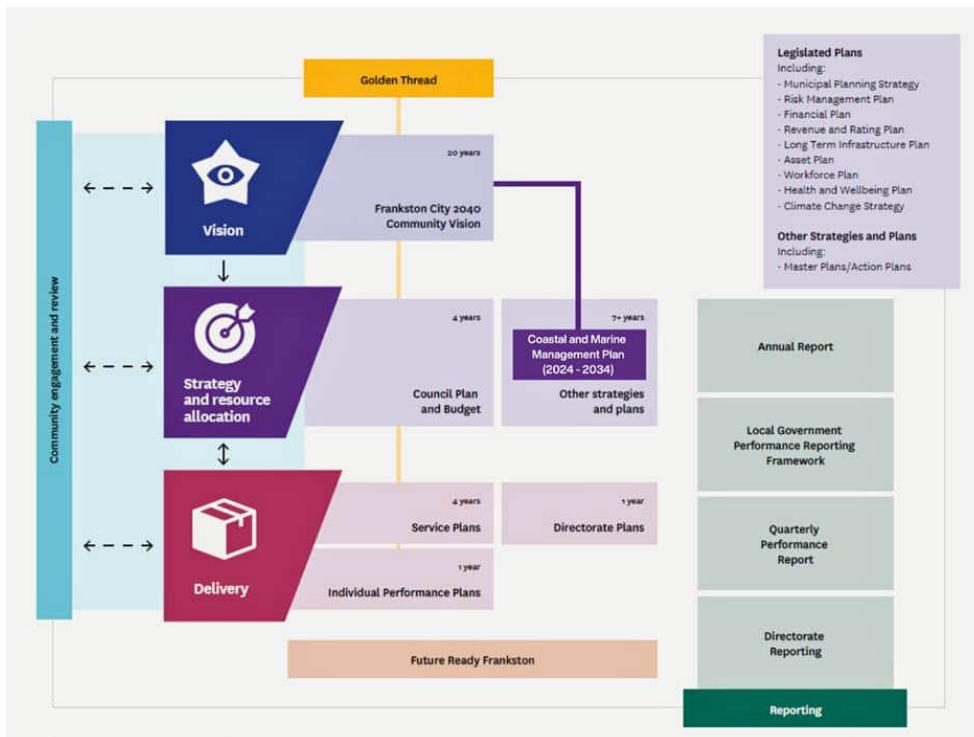


Figure 13 – Frankston City Council Integrated Planning and Reporting Framework



Council will report on progress of the CMMP actions annually with a review no later than five years from its adoption as required under the Act. The reporting and review will be supported by:

1. The monitoring and evaluation framework for reporting on progress outlined below that aligns with the State Government's Monitoring, Evaluation, Reporting and Improvement (MERI) framework.

Monitoring:

- Uses qualitative and quantitative measures associated with each action.
- Measures are assessed annually through Council's Pulse and service reporting.
- Describes how is the action/activity progressing in terms of timing, cost, change in scope and progress against benchmark measures.

Evaluation:

- Uses Council's project and change management framework.
- Assesses whether the action/activity has led to the desired change and met stakeholder expectations.

Reporting:

- Is completed annually through Council's Pulse and service reporting.

- Assesses whether the delivery of actions/activities is efficient and appropriate to support the CMMP vision, objectives and community priorities.

- Demonstrates how the CMMP has contributed to positive changes in the marine and coastal Crown land reserves (in terms of protecting and improving environmental, social, economic values)

Improvement:

- Is achieved through evaluation and integration of adaptive improvements to internal processes into the implementation of all actions/activities.

2. Implementing processes to

- improve access to and integration of external and internal monitoring data;
- facilitate adaptive management;
- increase accountability.

3. Updating actions to inform the five-year review that will incorporate new data and information (such as those gained through vulnerability and hazard assessments, condition reports, Victorian Resilient Coasts – adapting to 2100+ project outputs) to ensure that Council stays on track to meet or exceed the ambition set out by the coast-wide and precinct-specific actions upon the adoption of this CMMP.



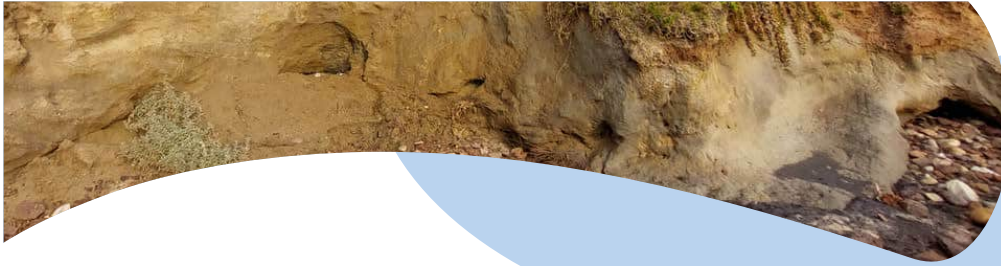
Funding

This CMMP provides direction and priorities for the future local management of marine and coastal Crown land at Frankston City. It also clearly identifies timelines and highlights the necessity of an ongoing commitment towards the management of coastal and marine areas. Action implementation requires a diverse range of funding mechanisms, in addition to Council's budgeting processes, to support delivery of the CMMPs actions and initiatives.

Funding opportunities might include:

- Integration with other relevant Council projects, plans and strategies;
- External funding sources for local government – local and state government initiatives supporting environment, climate resilience planning and/or communities;
- Rates and charges, environmental levies, developer contributions;
- Funding sources and programs for community initiatives – such as environmental stewardship and volunteering groups, community grants, state and federal government programmes or private sector grants.

Community advocacy has an important role to play in understanding current priorities and needs for the local community, directing marine and coastal management resources, generating broader awareness of key values, issues, and opportunities.



Appendix 1 – Victorian Planning Context

Planning and Decision Pathway














Figure 14 – Marine and Coastal Policy (2020) Planning and Decision Pathway (source: Marine and Coastal Policy 2020, p.16)



Marine and Coastal Act 2018 Objectives

Table 6 – Alignment of Frankston City’s CMMP and the *Marine and Coastal Act 2018* objectives

Vision (15+ yrs)	Our coastal and marine areas are protected, resilient and connected. Their bio-cultural diversity is valued and conserved.				
Aspirations (10+ years)					
	Culture and connections	Environmental stewardship	Climate change impacts and safety	Access, amenity, and recreation	Planning and development
Objectives (10+ years)	Acknowledge the rights, knowledge and aspirations of Traditional Custodians. Respect and foster their connection to the Land and Sea Country.	Foster environmental stewardship by protecting and enhancing our marine and coastal environment.	Adapt to the impacts of climate change. Understand and plan for hazards to strengthen long-term resilience.	Improve connectivity, amenity, and accessibility to foster community stewardship of our marine and coastal areas.	Respect natural coastal processes in planning and development to promote sustainable use of our marine and coastal areas.
Marine and Coastal Act 2018 objectives The Part 2 Division 7 of the Act specifies nine objectives for planning and management of the marine and coastal environment.				Frankston City CMMP objectives	
7(a) to protect and enhance the marine and coastal environment					
7(b) to promote the resilience of marine and coastal ecosystems, communities and assets to climate change					
7(c) to respect natural processes in planning for and managing current and future risks to people and assets from coastal hazards and climate change					
7(d) to acknowledge traditional owner groups’ knowledge, rights and aspirations for land and sea country					
7(e) to promote a diversity of experience in the marine and coastal environment					
7(f) to promote the ecologically sustainable use and development of the marine and coastal environment and its resources in appropriate areas					
7(g) to improve community, user group and industry stewardship and understanding of the marine and coastal environment					
7(h) to engage with specified Aboriginal parties, the community, user groups and industry in marine and coastal planning, management and protection					
7(i) to build scientific understanding of the marine and coastal environment					



Additional Victorian Government Guidelines

Document	Description
Coastal and Marine Management Plan Guidelines (2023)	<p>The guidelines have been developed by DEECA to assist land managers in preparing Coastal and Marine Management Plans. They replace the 2017 Guidelines for Coastal Management Plans and have been designed to support land managers to comply with the Act and the Policy with a step by step process for development of CMMPs.</p>
Victoria's Resilient Coast	<p>Victoria's Resilient Coast – Adapting for 2100+ provides a state-wide approach for coastal hazard resilience and adaptation. This includes a framework, guidelines, and support for Local Government, land managers and their communities to:</p> <ul style="list-style-type: none"> • Enable place-based, leading practice and long-term coastal hazard adaptation. • Build on the directions in the Marine and Coastal Policy 2020. <p>The state-wide approach was developed through a collaborative process, including a project partnership with Traditional Owners, and a Working Group including representatives from coastal Councils, Committees of Management, Catchment Management Authorities, government agencies, water authorities and peak body groups.²⁰</p>
Marine Spatial Planning Framework	<p>The Marine Spatial Planning Framework provides guidance to enable consistent and coordinated marine environment management across the areas of environmental health, sustainable growth, marine related and dependant economies, and climate adaptation planning. This Framework is important to enable social and economic benefits, while ensuring environmental protection of marine environments.</p> <p>This Framework was developed through an evidence-based approach using best-practice principles. The function of the Framework is to integrate and enhance collaboration between multiple sectors and users of the marine environment and to provide a methodology for strategic and integrated planning. While the Framework doesn't create marine plans, it outlines the process, components, and methodology for marine spatial planning to help guide planning and decision-making by considering the marine system as a whole.</p> <p>The output of the Marine Spatial Planning process is a Marine Plan, which is a strategic document that helps to structure and guide management decisions in the area to which the plan applies.</p> <p>DEECA is leading the implementation of the Marine Spatial Framework, including engagement with Traditional Owners and Aboriginal communities, industry, government agencies, and the wider community.²¹</p>
Victorian Planning Provisions	<p>Under the Planning and Environment Act 1987 regulates development under local and state-wide decision-making processes. Local councils are the responsible authorities for local planning matters, assessing permit applications against the planning scheme.²²</p> <p>The Victoria Planning Provisions are a part of the Planning Policy Framework to improve policy alignment, based on a three-tier structure that integrates state, regional and local policy. The VPP is a document containing a set of planning provisions for state-wide reference to enable consistency and coordination how state and regional policy can be applied in a local context with a planning scheme.</p> <p>VPP 12 is of particular relevance, as it discusses coastal inundation and erosion and 12.01.2S provides an overlay for land that is subject to inundation.</p> <p>In the context of managing climate change impacts, VPP 13 Environmental Risks and Amenity provides provisions specific to natural hazard, climate change and coastal hazards including requirements listed below:</p> <ul style="list-style-type: none"> • Natural hazards and climate change; <ul style="list-style-type: none"> • Development minimises the impacts of natural hazards and adapt to climate change; and • Risk areas are identified using best available climate change science. • Coastal inundation and erosion; <ul style="list-style-type: none"> • Plans include sea level rise of not less than 0.8 metres by 2100; and • Developable land subject to hazards is identified and managed to ensure future development is not at risk. <p>These provisions can be consulted to inform the development of the CMMP and guide actions relating to planning and development.</p>

²⁰ State Government of Victoria 2023. Victoria's Resilient Coast – Adapting for 2100+. Source: [Marine and coasts - Marine and coasts](#)

²¹ State Government of Victoria 2023. Marine Spatial Planning. Source: [Marine Spatial Planning \(marineandcoasts.vic.gov.au\)](#)

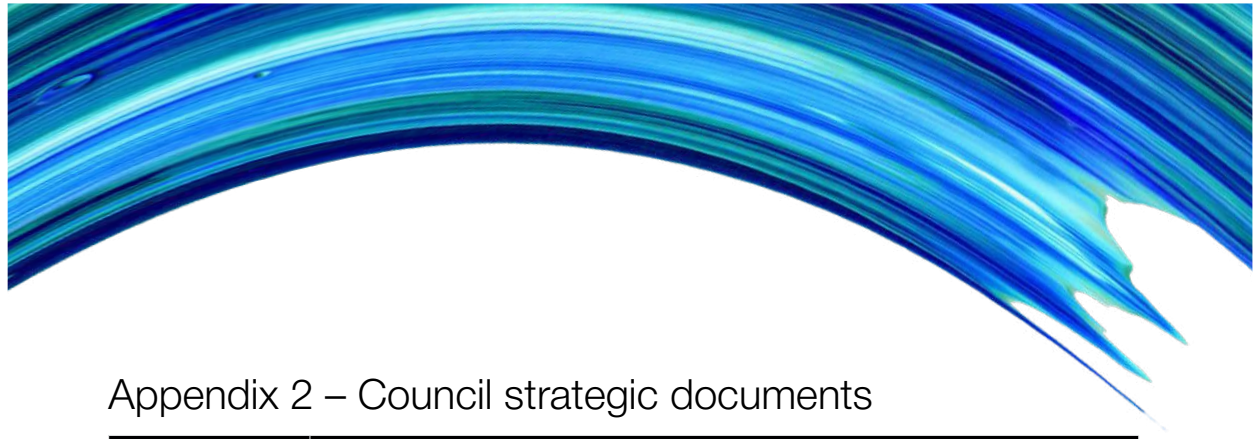
²² State Government of Victoria 2023. Planning and Policy Framework translation. Source: [Planning](#)



Additional Victorian Government Guidelines

Guidelines for the management of existing bathing boxes and boatsheds on marine and coastal Crown land (2022)	<p>These guidelines have been prepared by DEECA. They outline the best practice for the management and maintenance of existing bathing boxes and boatsheds on marine and coastal Crown land.</p> <p>The guidelines are intended to provide direction to land managers, decision-makers and bathing boxes and boatsheds licensees, about the management and maintenance of these existing structures located on marine and coastal Crown land.</p> <p>The guidelines are to be used alongside the Victorian Marine and Coastal Policy, which outlines the directions for planning and managing Victoria's coastlines and marine environment.²³</p>
Sitting and Design Guidelines for Structures on the Victorian Coast (2020)	<p>The Sitting and design guidelines for structures on the Victorian coast were updated by DEECA in 2020. The guidelines outline the best practice for the design of structures on the Victorian coast.</p> <p>The guidelines are for individuals and groups to use when planning projects on the coast and will support sustainable development. They address the threats of climate change and population growth as well as helping to care for Victoria's coast so we can continue to use and enjoy it now and into the future.</p> <p>The guidelines are to be used alongside the Victorian Marine and Coastal Policy, which outlines the directions for planning and managing Victoria's coastlines and marine environment.</p>

²³ State Government of Victoria 2023. Guidelines. Source: [Guidelines \(marineandcoasts.vic.gov.au\)](https://www.marineandcoasts.vic.gov.au/guidelines)

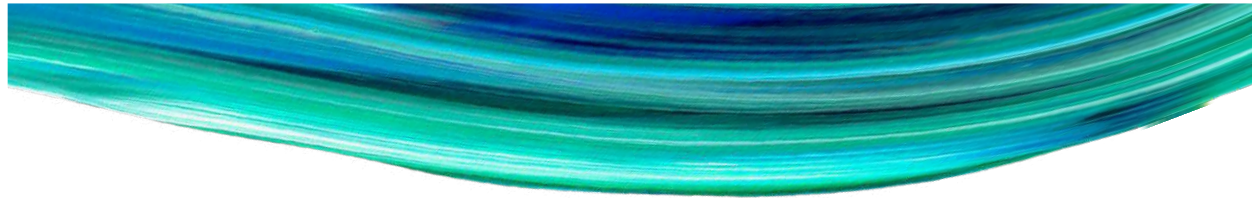


Appendix 2 – Council strategic documents

Document	Relevance to CMMP
Overarching	
Community Vision 2040	This community vision and associated themes are central to all Council planning documents and to be considered in precinct plans and the wider CMMP.
Council Plan and Budget 2021 - 2025	<p>The Council budget is central to all planning documents and projects.</p> <p>Frankston's beaches and coastline are listed as a key value to be protected by this Budget Plan. This is representative of the community feedback received for Community Vision 2040 creation.</p> <p>This budget also commits \$40,000 to the CMMP and maintaining Frankston's natural and coastal reserves.</p>
Coastal Management Plan 2016	The CMMP, when adopted, will supersede the 2016 Coastal Management Plan.
Traditional Custodians' Rights	
Reconciliation Action Plan 2020 – 2022 (2024 update)	<p>The CMMP will support the implementation of the RAP, particularly Action 2 in strengthening mutually beneficial relationships with Traditional Custodians and Elders, Action 3 in maintaining Council's engagement and communication with Aboriginal and Torres Strait Islanders and Action 11 in observing cultural protocols.</p> <p>Additionally, CMMP can consider opportunities to implement RAP actions on coastal Crown land, such as Action 15 acknowledgement of Traditional Custodians and place names on Council signage, Action 20 opportunities for the community to learn of culture and histories, Action 21 arts and culture, and Action 22 participation in governance (e.g., in CMMP implementation).</p>
Environmental Protection	
Biodiversity Action Plan 2021	The management of coastal biodiversity areas are a key consideration in this plan. Several coastal Ecological Vegetation Classes (EVCs) are identified. Biodiversity and its protection is a key value identified during CMMP stakeholder consultation, not only in the coastal vegetation reserve in Seaford and Keast Park precincts, but also in the rich diversity of marine life present offshore. CMMP precinct plans will look for alignment with actions in this Plan that relate to the coastal fringe (particularly section 3.6).
Urban Forest Action Plan 2020	<p>The urban coastal landscape character is identified as a key value for Frankston in this Plan. Several coastal species are also identified as key trees in Frankston's urban forest, to be protected and expanded.</p> <p>A range of co-benefits of trees are identified, including amenity, health, and climate adaptation; which are key components for precinct plans to consider.</p>
Domestic Animal Management Plan	Domestic animal issues were identified during community engagement and stakeholder consultation, including dog poo on beaches and in coastal areas, and domestic animals endangering native fauna and fauna in coastal reserve areas. The actions in this plan address these issues and maybe prioritised for coastal precincts.
Climate Change Strategy 2023	The updated CMMP framework and guidelines place a greater focus on coastal hazard resilience. The updated Frankston City's Climate Change Strategy identifies our coastline as one of the key vulnerabilities and includes actions to develop pathway adaptations and advocacy for State leadership and strategic investment in coastal climate change.



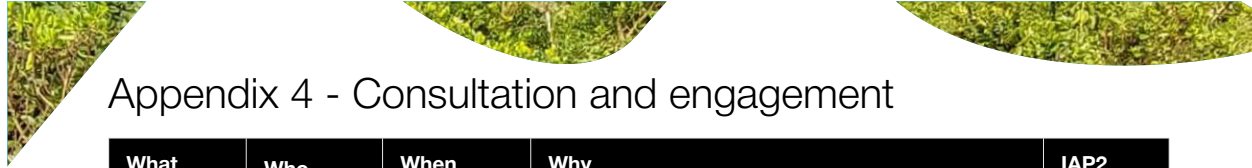
Document	Relevance to CMMP
Recreation and Amenity	
Open Space Strategy 2021	Amenity provision is a key consideration in precinct planning. The objectives, strategies, actions associated with open space planning is important to align with in the CMMP for an integrated and consistent approach to be achieved.
Frankston Play Strategy 2020-2030	Specifically, this Plan identifies connection between play spaces and surrounding coastal environments as a priority towards 'valued open space'.
Local Park Action Plan 2021	Specifically, this Plan identifies coastal space as a key type of open space in Frankston that is of value, and to plan for how these areas are managed and protected over time.
Health and Wellbeing Plan 2021-2025	Amenity and safety were key values, issues and opportunities raised by stakeholders during CMMP consultation, emphasizing the social dimension of precinct use by the community. Aligning CMMP actions with this Plan is important for a coordinated and integrated approach to facilitated community safety and wellbeing. Direct points of alignment include: <ul style="list-style-type: none"> • Objective 1.1: Improve opportunities for walking and cycling • Objective 1.2: Improve access to public open spaces, play spaces and recreation facilities • Objective 1.3: Improve access to inclusive club sports and recreation activities • Objective 2.3: Strengthen relationships to support Aboriginal self-determination and reconciliation • Objective 3.2: Increase volunteering and community participation • Objective 4.1: Increase awareness of the health impacts of climate change • Objective 4.2: Strengthen response to public health threats and emergencies for vulnerable communities • Objective 4.3: Support healthy and sustainable homes, buildings and public spaces • Objective 6.1 Create safe public spaces through Council policy, planning and design
Leisure Strategy 2021 - 2029	This Strategy refers to the high-value coastal scenery, beaches and foreshore offers the community and the importance of these landscapes for mental health, wellbeing and recreation. This strategy includes an action to support CMMP implementation in encouraging recreation and leisure in foreshore areas, through ongoing development and promotion.
Sustainable Development	
Long Term Infrastructure Plan 2021 - 2031	This Plan identifies coastal management as a priority for Frankston, detailing the aspects of the coast that are of value including tourism, recreation, infrastructure, services, and vegetation. This plan includes capital works improvements along the coast and recognises the importance of operational performance and collaborations for effective coastal management. The high cost of storm surge and inundation on coastal infrastructure is recognised in this Plan, as well as the potential asset loss due to sea level rise. CMMP precinct planning needs to consider and align with planned infrastructure works for coastal precincts outlined in LTIP appendices.
Asset Plan 2023 - 2032	The CMMP needs to consider existing and future assets planned for Frankston in the coastal precincts to enable an informed, strategic and coordinated approach to land use planning. This Plan identifies coastal hazards and corrosion as a risk to Frankston's existing and future assets. This Plan also reports the management of open space assets along the 9.5km of Frankston's foreshore meets current service needs. The CMMP considers and plans for future service needs of coastal precincts.
Integrated Water Plan 2016 - 2026	This Plan mentions the impact of salt water intrusion and sea level rise on water management, as well as key issues such as water quality of waterways and the bay. An action in this plan (P-Pol-13) tasks the CMMP with identifying integrated water management priorities for the foreshore and coastal areas, focused on waterway protection. The water quality of waterways and the marine environment was a key issue repeatedly raised by stakeholders during CMMP consultation. Additionally, the future management of coastal precincts should consider water sensitive design to be climate resilient, environmentally sustainable, and responsive to the objectives of the Integrated Water Action Plan (and Climate Change Strategy).
Stewardship and Engagement	
Engagement framework	The Engagement Plan used to plan CMMP precinct planning targeted stakeholder engagement was informed by Frankston's Engagement Framework. This Framework can inform the implementation of continued public participation for CMMP actions over time.



Appendix 3 – Stakeholder roles and responsibilities

Stakeholder	Role/Responsibility/Interest
Frankston City Council (FCC)	Frankston City Council is the appointed Committee of Management for the Port Phillip Foreshore reserve in Seaford, Frankston and Frankston South. The Frankston Planning Scheme applies to this area. Frankston City Council is responsible for administering and enforcing: the planning scheme; building regulations; local laws; and the municipal road and drain network.
Department of Energy, Environment and Climate Action (DEECA)	DEECA is Victoria's lead government agency responsible for sustainable management of public land, water resources, climate change, forests and ecosystems. DEECA administers the <i>Marine and Coastal Act 2018</i> and plays an important role in planning for the coast and approval of marine and coastal uses and developments on Crown Land.
Parks Victoria (PV)	Parks Victoria is the appointed Local Port Manager for Port Phillip, under the <i>Port Management Act 1995</i> , and is also the declared waterway manager for its waters under the <i>Marine Safety Act 2010</i> . Responsibilities include the management and operation of the port including recreational boating activities, as well as the provision and maintenance of navigation aids, piers, jetties and other facilities, including Frankston and Seaford Piers.
Environment Protection Authority (EPA)	Environment Protection Authority Victoria (EPA Victoria) is part of the environment portfolio charged with protecting the Victorian environment. EPA's role is to regulate pollution and administer the <i>Environment Protection Act 1970</i> .
Melbourne Water (MW)	Melbourne Water manages Melbourne's water supply catchments, most of Melbourne's sewage, rivers, creeks and major drainage systems throughout the Port Phillip and Westernport region. Melbourne Water is responsible for Kananook, Sweetwater and Kackeraboite Creeks that enter Port Phillip through the foreshore reserve.
Bunurong Land Council Aboriginal Corporation (BLCAC)	The Bunurong Land Council is a Traditional Owner organisation of the South Eastern Kulin Nation representing the traditional lands of the Boonwurrung language group, ancestors, places and the cultural environment.
South East Water (SEW)	South East Water (SEW) provides water, sewage and recycled water services in the south East of Melbourne. The service region covers 3,620 square kilometres from Port Melbourne to Portsea. They are responsible for managing over 10,000 kilometres of sewer mains and the associated 250 sewage pump stations.
Vic Roads	Vic Roads are responsible for managing the Road Reserve along Nepean Highway. This Road Reserve abuts the foreshore reserve for much of the City's coastline.
Victorian Marine and Coastal Council (VMaCC)	The Victorian Marine and Coastal Council (VMaCC) is established under section 15 of the <i>Marine and Coastal Act 2018</i> . The functions of VMaCC are set out in section 16 (1) of the Act. ²⁴
Association of Bayside Municipalities (ABM)	The Association of Bayside Municipalities (ABM) is a local government association representing the interests of the 10 councils with frontage to Port Phillip on various coastal and marine issues to improve the overall management of the Port Phillip environment. The ABM represents its members through a range of political, community and media outlets.
Department of Transport and Planning (DTP)	The Department of Transport and Planning (DTP) leads the whole-of-lifecycle transport infrastructure strategy, delivers major transport projects, and manages the DTP-operated transport system. DTP brings together planning, building and heritage systems, integrated land use strategies and policies, the administration of statutory planning responsibilities, precinct delivery and policy functions together to have a strong emphasis on place-based community outcomes.

²⁴ The functions of the VMaCC are also listed on their website: www.marineandcoastalcouncil.vic.gov.au/about-us/about-vmacc



Appendix 4 - Consultation and engagement

What	Who	When	Why	IAP2
Stage 1 online engagement	Community stakeholders	February – March 2022	Initial engagement with broader community to introduce the project and understand the values, issues and opportunities associated with each precinct. We received 157 survey responses and 253 interactive map contributions.	Consult
Community pop-up	Community stakeholders	February 2022	Initial engagement with broader community to introduce the project and understand the values, issues and opportunities associated with each precinct.	Consult
Stage 2 online engagement	Community stakeholders; State Agencies	August 2022	Targeted consultation with community and key agency engagement	Consult
Workshop 1	Project Working Group (PWG), Staff	August 2022	Provide update / introduction of the project to internal stakeholders, test engagement activities and gauge responsiveness of PWG.	Inform
Workshop 2	State Agencies	August 2022	Introduce project / progress to date, understand representation of State interests, identify regional values, opportunities, and issues from State perspectives.	Consult
Workshop 3	Community stakeholders	September 2022	Introduce the project & importance, set clear expectations of what community's role / scope of influence is, and enquire of values, opportunities, and issues.	Consult
Workshop 4	Community stakeholders	September 2022	Introduce project & importance, set clear expectations of impact/influence licence holders have, and enquire of values, opportunities, and issues.	Consult
Workshop 5,6 (Committee meetings)	Foreshore Advisory Committee	March 2022 – September 2022	Collaboration with FAC for precinct planning component of CMMP development, reinforce TOR role of FAC in CMMP, and enquire FAC's perspectives on values, issues, and opportunities for precincts.	Collaborate
Workshop 8	Youth	September 2022	Introduce the project & importance, set clear expectations of what community's role / scope of influence is, and enquire of values, opportunities, and issues as well as impacts of climate change.	Consult
Stage 3 online engagement	Community stakeholders	November 2022 – January 2023	Values, issues, opportunities (VIO) report review through an online engagement platform. The report collated input from Stages 1 and 2. Council received 5 online contributions and 5 email submissions to the VIO report.	Inform
Workshop 7	Foreshore Advisory Committee	July 2023	Review of draft CMMP actions and precinct maps	Collaborate
Stage 4 online engagement	Community stakeholders	January – March 2024	Online community engagement on draft CMMP. The consultation period was longer than the legislative requirement of 28 days with a public notice advertised in the Government Gazette and Herald Sun as required under s.60 of the <i>Marine and Coastal Act 2018</i> . 47 submissions were received through Engage Frankston and 30 submissions were received via email.	Consult
One-on-one meetings	State agencies	January – April 2024	Online and in-person meetings with representatives from Melbourne Water, Parks Victoria, Victorian Fisheries Authority, Better Boating Victoria to review draft Plan and implementation.	Consult
One-on-one meetings	Council staff	February 2022 – May 2024	Action planning, draft review and implementation planning	Collaborate



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Executive Summary

12.6 Community Satisfaction Survey 2024

Enquiries: (Caroline Reidy: Corporate and Commercial Services)

Council Plan

Level 1:	6. Progressive and Engaged City
Level 2:	6.1 Ensure sustainable financial management and the strategic allocation of resources to deliver planned infrastructure and services

Purpose

To present Council with the 2024 Local Government Community Satisfaction Survey results.

Recommendation (Director Corporate and Commercial Services)

That Council:

1. Notes the Local Government Community Satisfaction Survey results for 2024 with Frankston City achieving an excellent overall **satisfaction rate of 7.1** (7.0 in 2023). This result is better than the metro average of 7.0 and 2 points better than the South Eastern region councils average of 6.9;
2. Notes Frankston City Council has maintained its historically high overall satisfaction for the past four years and is well above the long-term average since 2012 of 6.3 and is a significant improvement of 16 per cent from 5.5 recorded in 2018;
3. Notes Frankston City Council continues to provide the community with high satisfaction in areas of services for children (up 4%), governance and leadership, waste collection and recycling services, local libraries and aquatic/leisure centres;
4. Notes Frankston City Council are committed to further analysis of the results to implement any actions necessary to address community feedback in areas such as including customer service (down 4%) and planning applications (down 4%); and
5. Releases the results to the community, via various social media channels, on the Council's website, in e-news, in the next available issue of the Frankston City News (FCN) and through media releases.

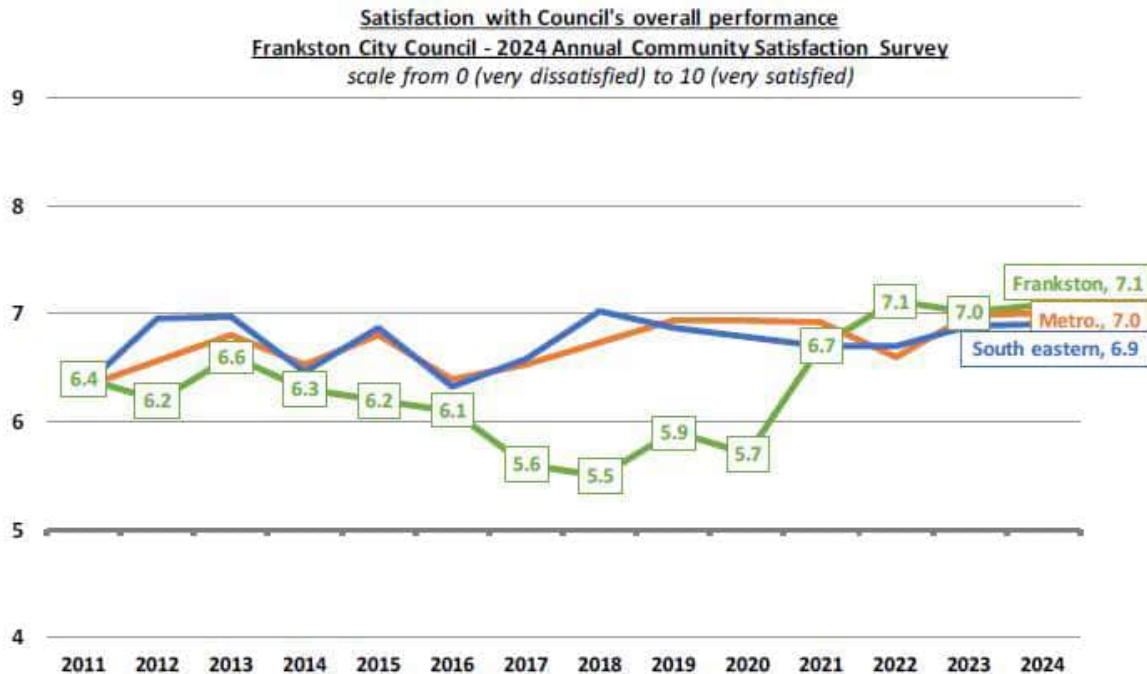
Key Points / Issues

- The 2024 Local Government Community Satisfaction Survey (Survey) results for Frankston City Council provides comparisons to previous years, metropolitan and state-wide results of similar councils.
- 2024 Community Satisfaction Survey results show Frankston City Council achieving an **excellent overall satisfaction rate of 7.1** (7.0 in 2023). This result is better than the metro average of 7.0 and 2 points better than the South Eastern region councils average of 6.9.
- The Survey was conducted during April-May 2024 as a face-to-face doorstop interview. This is the fourth year the survey has been undertaken by independent research company Metropolis Research Pty Ltd. A sample size of 800 residents were drawn proportionally across the municipality.

12.6 Community Satisfaction Survey 2024

Executive Summary

- Metropolis Research reports that Frankston City Council has maintained its historically high overall satisfaction for the past four years and is well above the long-term average since 2012 of 6.3 and is a significant improvement of 16 per cent from 5.5 recorded in 2018.



Of Frankston City Council's 32 services and facilities, respondents rated their importance at 9.0 (up 2% on 2023) with a satisfaction score of 7.7 (7.8 in 2023)

The average satisfaction with the 32 included services and facilities can best be summarised:

- Excellent** – for local library, weekly garbage collection, fortnightly recycling collection, sports ovals, food and garden waste collection, services for children from birth to 5 years of age, aquatic and leisure centres, hard rubbish collection, recycling and recovery centre, Frankston Memorial Park, arts and cultural events, programs, and activities, the provision and maintenance of playgrounds, services for seniors, and the provision and maintenance of parks, gardens, and reserves.
- Very Good** – for community centres/ neighbourhood houses, drains maintenance and repairs, services for people with disability, on and off-road bike paths, animal management, the maintenance and cleaning of shopping strips, Council's website, litter collection in public areas, footpath maintenance and repairs, and Council support for local business.
- Good** – for youth services for 12 to 24 year olds, local traffic management, the Frankston City News, the maintenance and repair of sealed local roads, and parking enforcement.
- Solid** – for public toilets and planning applications.

Services and facilities with the highest community satisfaction:

Local library **Frankston City 8.8 | Metro 8.2**

Weekly garbage collection **Frankston City 8.8 | Metro 8.2**

12.6 Community Satisfaction Survey 2024**Executive Summary**

Fortnightly recycling collection	Frankston City 8.8 Metro 8.2
Sports ovals (inc. facilities and activities)	Frankston City 8.6 Metro 7.9
Food and garden waste collection	Frankston City 8.5 Metro 8.1

Services and facilities with the lowest community satisfaction:

Planning applications	Frankston City 6.3 Metro 6.2
Public toilets	Frankston City 6.3 Metro 6.9
Parking enforcement	Frankston City 6.8 Metro 7.2
Maintenance and repair of sealed local roads	Frankston City 7.0 Metro 7.0
Frankston City News	Frankston City 7.2 Metro 7.5

Council officers are committed to further analysis of the results through the Service Planning process and committed to implement any actions necessary to address community concerns.

Financial Impact

There are no financial implications associated with this report.

Consultation**External Stakeholders**

Metropolis Research conducted the 2024 Survey which was coordinated in line with Local Government Planning and Reporting regulations.

Analysis (Environmental / Economic / Social Implications)

There are no known environmental, economic or social implications for the 2024 Survey results.

Legal / Policy / Council Plan ImpactCharter of Human Rights and Responsibilities

The Charter of Human Rights and Responsibilities has been considered in the preparation of this report but is not relevant to the content of the report.

Legal

There are three mandatory satisfaction measures required to be reported for compliance with the Local Government Planning and Reporting regulations.

Policy Impacts

There are no known policy impacts to the report.

12.6 Community Satisfaction Survey 2024**Executive Summary**Officer's Declaration of Interests

Council officers involved in the preparation of this report have no Conflict of Interest in this matter.

Risk Mitigation

The survey was conducted as a door-to-door interview style survey of 800 households drawn proportionally from across all the suburbs / localities that comprise the municipality.

Trained Metropolis Research fieldwork staff conducted face-to-face interviews of approximately 20 minutes duration with randomly approached householders.

This methodology has produced highly consistent results in terms of the demographic profile of respondents, obtaining a sample of respondents that more closely reflects the underlying population of the municipality than can be obtained using the alternative telephone methodology.

Due to OH&S issues, it was not possible to conduct eight surveys in Langwarrin South by the door-to-door methodology. These surveys were conducted by telephone.

Conclusion

Council thanks those community members who gave their time to participate in the 2024 Community Satisfaction Survey. The feedback and results allow Council to sense-check the sentiment within the community and better understand the importance we play in their daily lives. It allows Council to focus its efforts on what matters most to our community and plays an important role in planning for the future.

The full results of this survey have been made public (in this meeting's agenda) and will be communicated to residents via the Frankston City News, a media release and Council's website. Frankston does make its full report publicly available every year in the interests of transparency and good governance.

ATTACHMENTS

Attachment A: Community Satisfaction Survey 2024 results (*Under Separate Cover*)

Attachment B:[↓](#) Community Satisfaction Survey 2024 Presentation



Frankston City Council *2024 Annual Community Satisfaction Survey*



About Metropolis Research

- Trading since July 1998.
- Specialise in social research for local government:
 - Work with more than **30 Victorian municipalities**, as well as several in other states.
 - Conduct *Annual Community Satisfaction Surveys* for Bayside, Brimbank, Campaspe, Cardinia, Darebin, Frankston, Kingston, Knox, Maribyrnong, Melton, Merri-Bek, Monash, Mornington Peninsula, Nillumbik, and Wyndham.
 - Conduct the state-wide community satisfaction survey for the Local Govt Association of Tasmania, as well as five Tasmanian councils (including Hobart).
 - Conduct our own community satisfaction survey across all 31 metro. Melbourne councils annually since 2010 (*Governing Melbourne*), and across all 48 regional councils since 2023 (*Governing Regional Victoria*).
- Have worked with several **Victorian State Government Departments** (DELWP, DJSIR, DEECA, DHHS, MFB, MPA, and Department of Justice).
- Have worked with several **universities** (Monash, Melbourne, Sydney, Victoria, and Deakin) and **professional bodies** (LGPro and VPELA).



Aims and methodology

Aims:

- Measure importance of and satisfaction with 32 Council's services and facilities.
- Measure satisfaction with governance / leadership, customer service, and overall satisfaction.
- Measure change in overall performance.
- Identify current issues of importance, and how they impact on satisfaction.
- Measure perception of key issues including safety and sense of community.

Methodology:

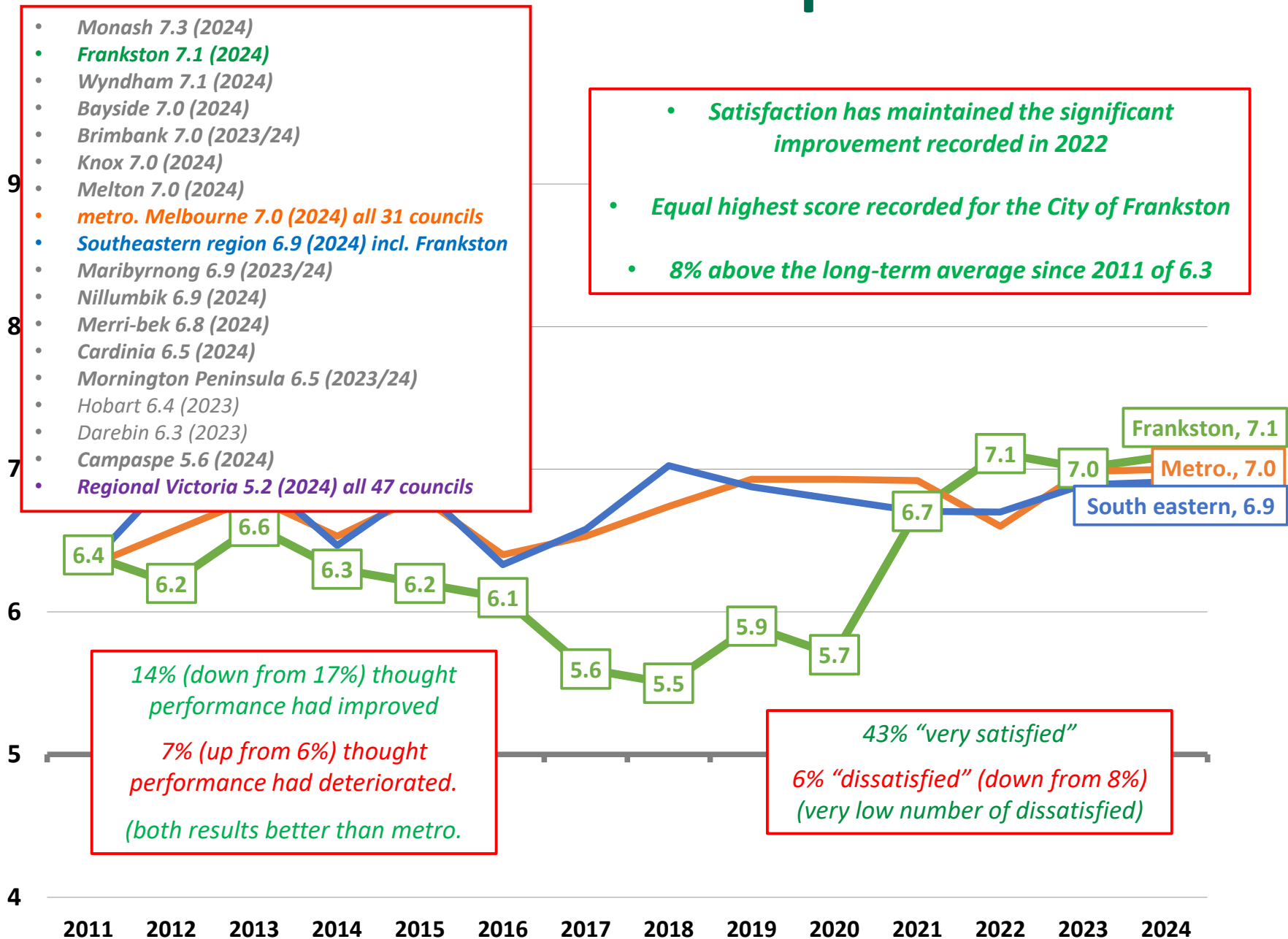
- Face-to-face, door-stop interviews conducted mostly at weekends.
- A large sample size of **800** drawn proportionally from across Frankston City.
- 95% confidence interval of (+/-) **3.4%** (state government survey is **4.9%**).
- Response rate of **41%** (down from 45%) - reflects strong community engagement.

Respondent profile

The sample reflects well the underlying population of Frankston City

- 48% male / 52% female.
- Results weighted by age and gender to reflect *Census* results.
- 76% English speaking, 24% multi-lingual households
 - Mandarin 3%, Hindi 2%, Greek 1%, Italian 1%, French 1%
 - *54 languages represented in 2024.*
- 38% two-parent family, 11% one-parent family, 27% couples, 15% sole person, 8% group households.
- 47% homeowners, 25% mortgagor, 26% private rental.
- 7% new residents (less than one year in Frankston).

Satisfaction with overall performance



Satisfaction with overall performance

This pattern of satisfaction is consistent with results observed elsewhere

More satisfied than average:

- Senior citizens (aged 75 years and over)
- Multilingual households
- Rental households
- Group households
- Sole person households
- New residents (less than one year in Frankston City).
- *Somewhat unusual that young adults were not more satisfied than average.*

Less satisfied than average:

- Respondents from Sandhurst / Skye (6.8) – “good”
- Middle-aged adults (aged 45 to 59 years)
- Respondents who had contacted Council in the last 12 months.

Reasons for dissatisfaction with Council

89 comments from those not satisfied with performance

- General negative comments (24 comments, up from 9)
- Rates and financial management (18 comments, up from 14)
- Council management, governance, and responsiveness (12 comments, down from 19)
- Communication and consultation (11 comments, up from 10)
- Council (various) services and facilities (10 comments, down from 20)
- Roads, traffic and parking (5 comments)
- Planning and development related (4 comments, down from 10)
- General positive comments (2 comments)
- Safety, policing, drugs and alcohol (2 comments, up from 1)
- Other reasons (1 comments, down from 2).

Most important thing to improve performance

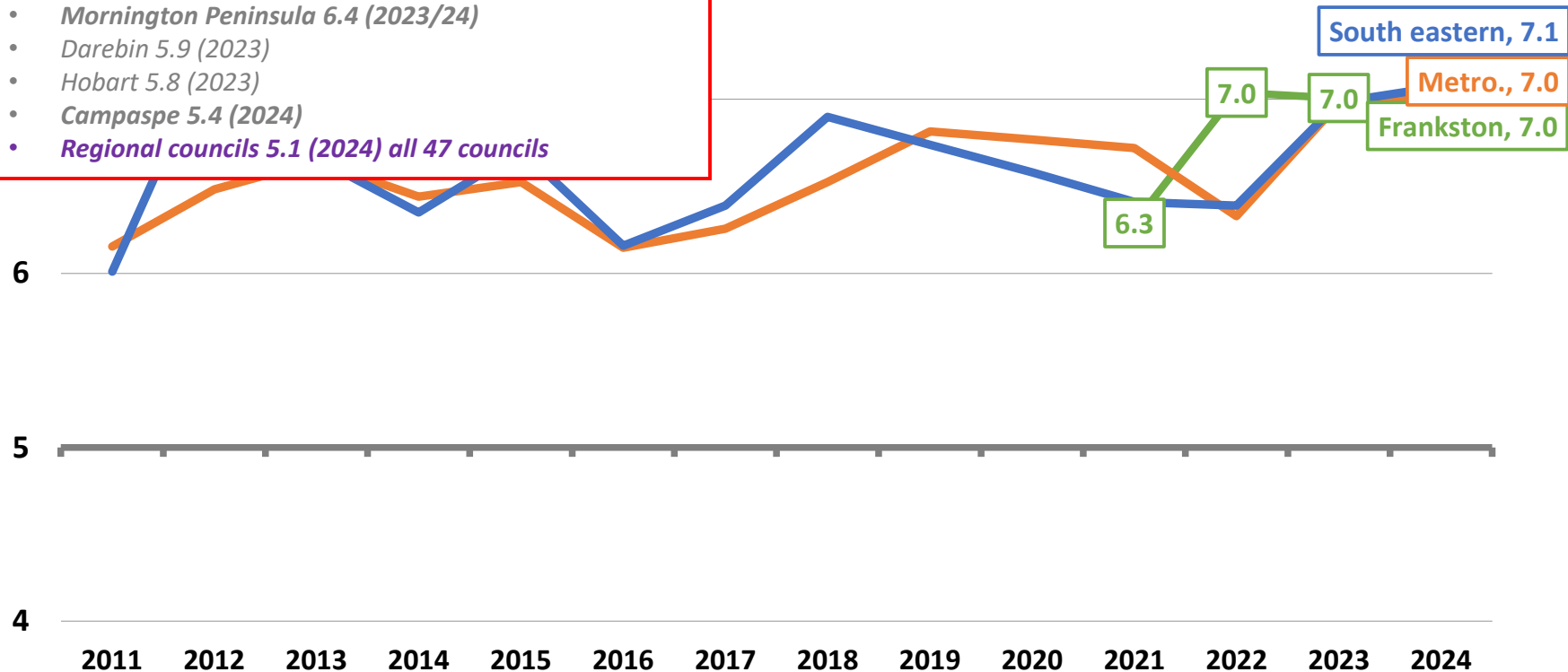
Better engagement with the community the most common improvement

- Better communication, consultation, and engagement (8%, down from 9%)
- Better / more safety and policing (4%, up from 1%)
- Cheaper rates / fees (3%, up from 2%)
- Better / more roads maintenance and repairs (2%, up from 1%)
- Better Council governance, accountability, management (2%, down from 3%)
- Better / more rubbish and waste issues (2%, up from 0%)
- Better customer service / responsiveness (1%, up from 0%)
- All other issues (18%)
- No improvement required or nominated or can't say (61%, down from 67%).

Leadership and Governance

- Brimbank 7.1 (2023/24)
- Monash 7.1 (2024)
- Wyndham 7.1 (2024)
- **Frankston 7.0 (2024)**
- Melton 7.0 (2024)
- **Southeastern region councils 7.0 (2024) incl. Frankston**
- Maribyrnong 6.9 (2023/24)
- **metro. Melbourne 6.9 (2024) all 31 councils**
- Nillumbik 6.9 (2024)
- Bayside 6.8 (2024)
- Knox 6.8 (2024)
- Merri-bek 6.8 (2024)
- Cardinia 6.4 (2024)
- Mornington Peninsula 6.4 (2023/24)
- Darebin 5.9 (2023)
- Hobart 5.8 (2023)
- Campaspe 5.4 (2024)
- **Regional councils 5.1 (2024) all 47 councils**

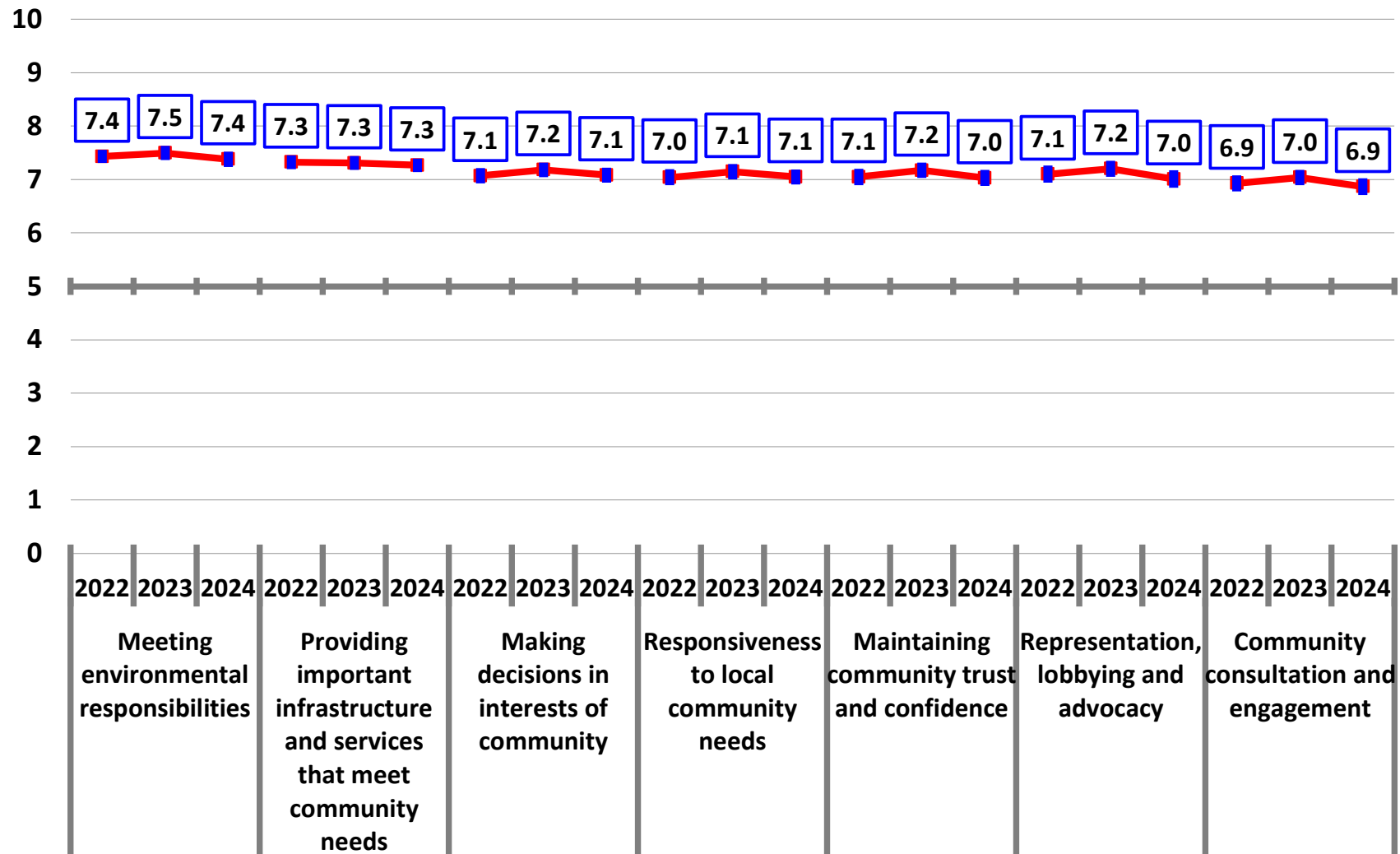
- **Satisfaction has maintained the significant improvement recorded in 2022**
- **Up 7% from unusually low 6.3 in 2021**
- **(reflects well on performance of Frankston City including elected officials)**



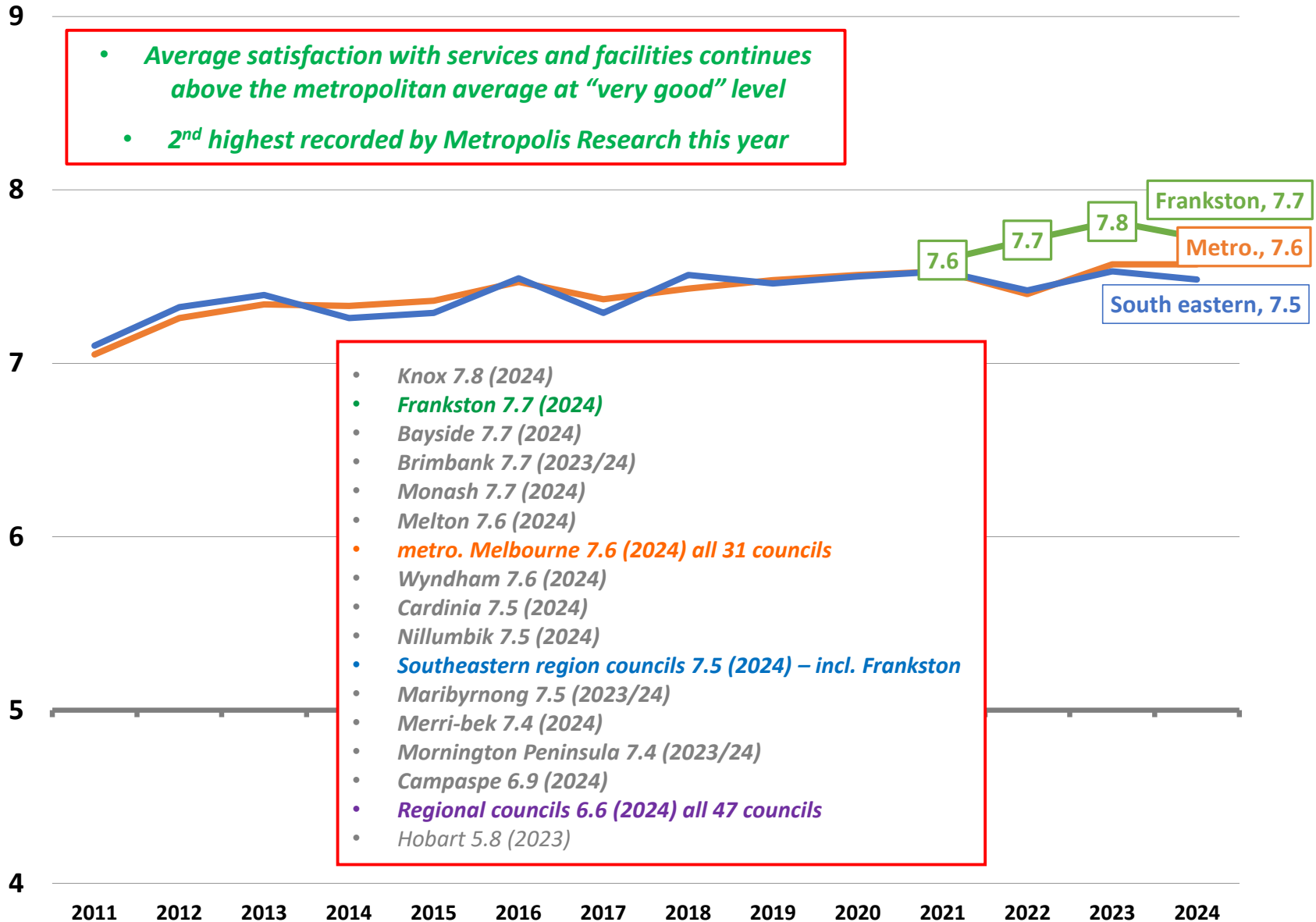
Leadership and Governance

Satisfaction stable this year – identical to the metro. average

Frankston City has maintained the strong improvement recorded in 2022



Average satisfaction with services



Change in services satisfaction this year

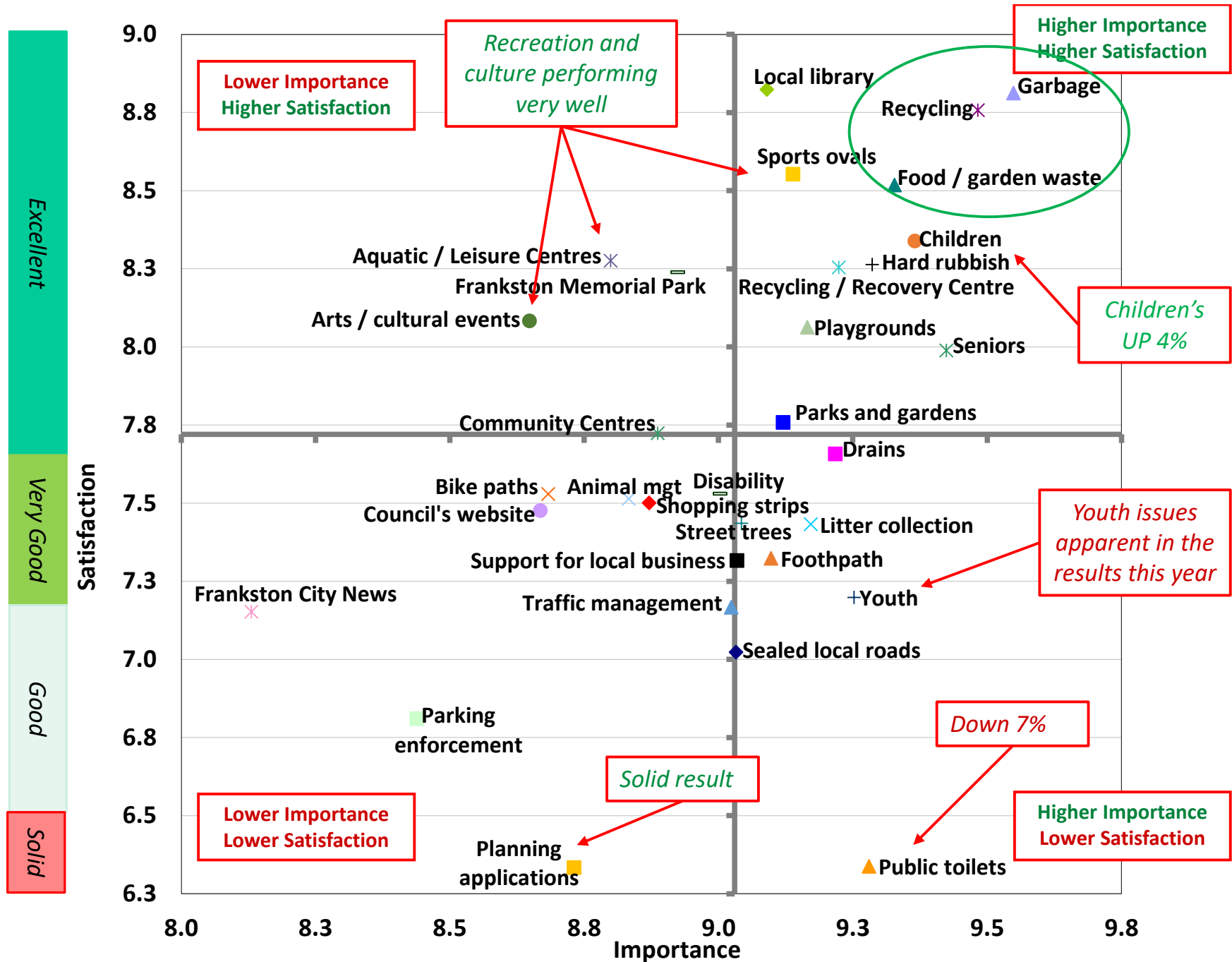
Average satisfaction with 32 services / facilities **7.7** **(down 1%)** (7.6 metro)

Improved satisfaction this year (13 of 32):

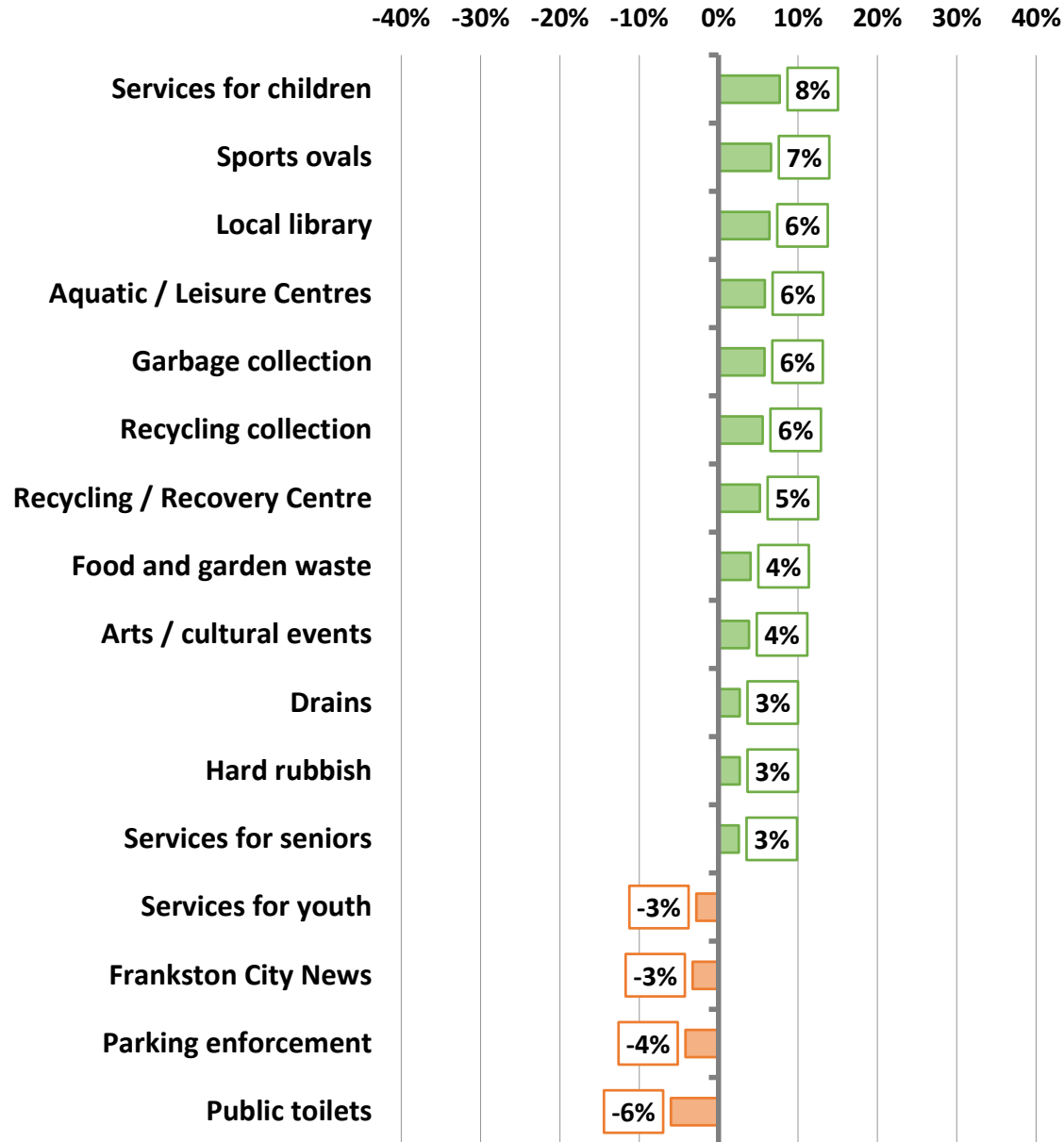
Services for children (n = 159)	8.3	(up 4%)	Excellent
Drains maintenance and repairs	7.7	(up 3%)	Very Good.

Decline in satisfaction this year (17 of 32):

Youth services (n = 79)	7.2	(down 8%)	Good
Public toilets	6.3	(down 7%)	Solid
Community Centres / Neighbourhood Houses	7.7	(down 4%)	Very Good
On and off-road bike paths	7.5	(down 4%)	Very Good
Council's website	7.5	(down 4%)	Very Good
Planning applications	6.3	(down 4%)	Solid
Parking enforcement	6.8	(down 3%)	Good
Animal management	7.5	(down 3%)	Very Good.



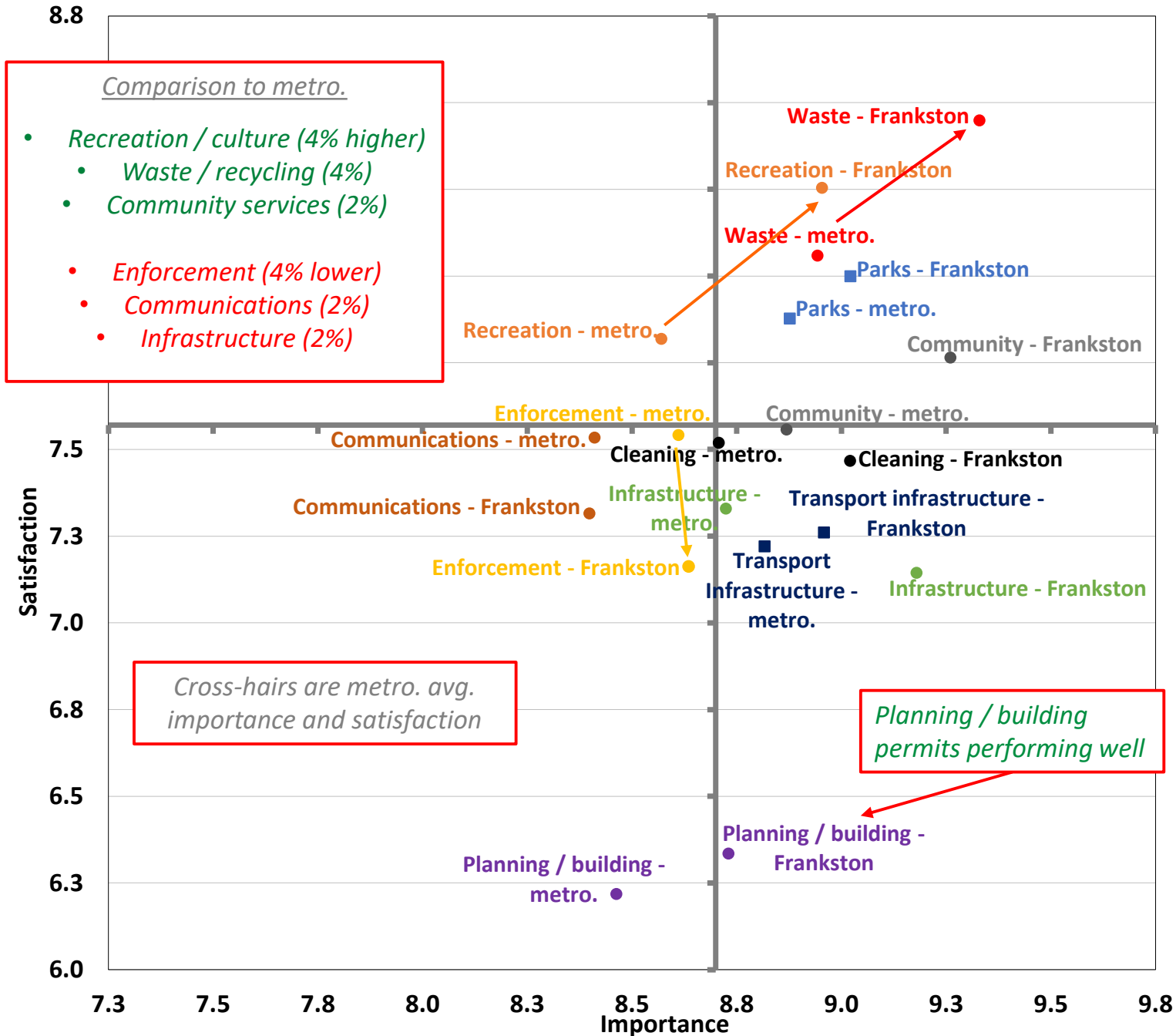
Comparison to metropolitan average



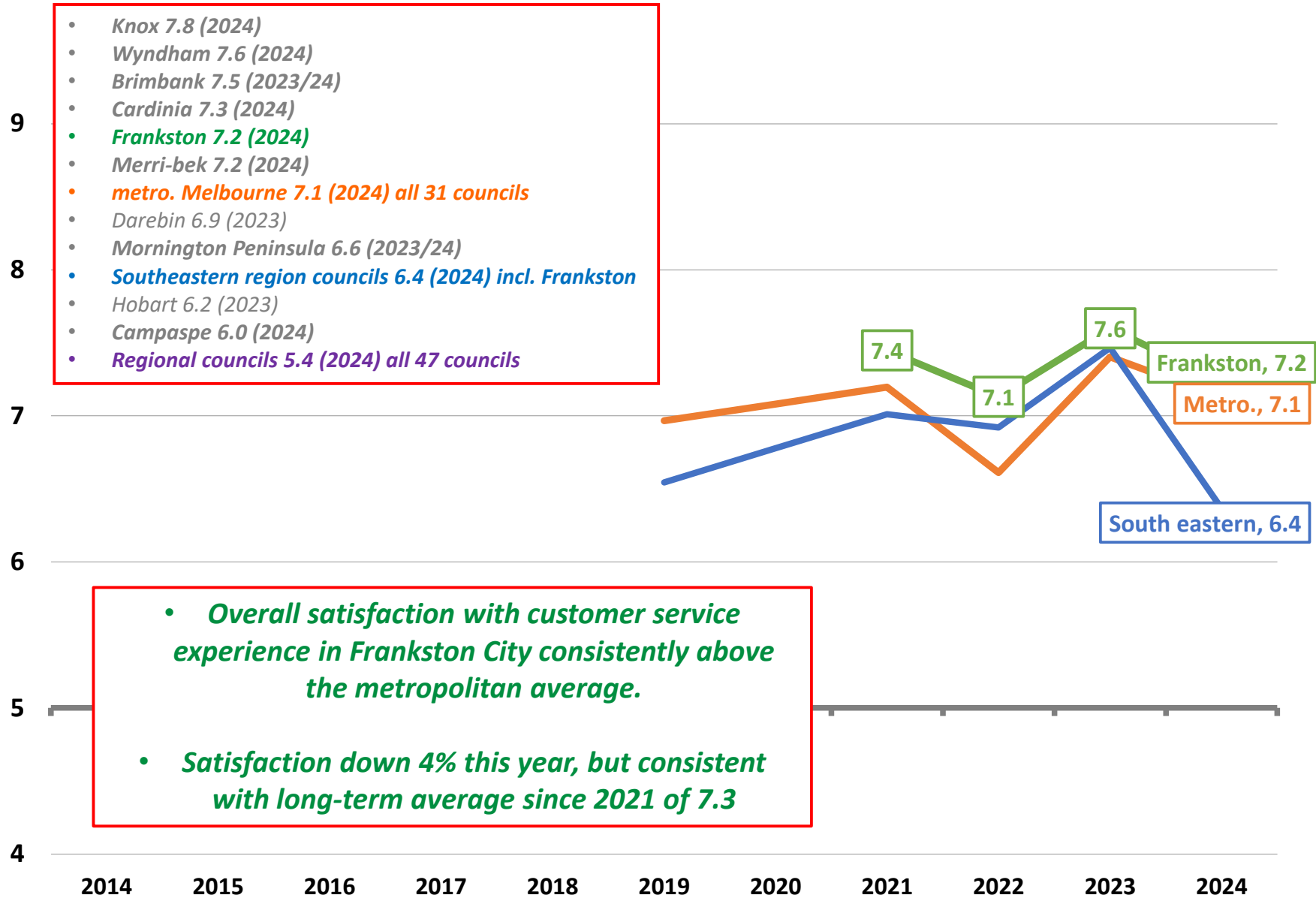
30 of 32 services included in Governing Melbourne, and Frankston City recorded:

Higher satisfaction for 17

Lower satisfaction for 9



Satisfaction with customer service experience



Contact with Council

Overall customer service satisfaction down 4% this year, remains similar to metro.

(variations from year to year can be greater due to smaller sample (292))

- 29% contacted Council in last 12 months.
- Average satisfaction (7.4) with the six aspects **down 4%**, rated “very good”.
 - Courtesy and professionalism (7.8) “excellent”
 - Staff’s understanding of your communication needs (7.8)
 - Provision of accurate information (7.3) “very good”
 - Overall satisfaction with customer service experience (**down 4%**) (7.2) “good”
 - Care and attention to your enquiry (7.1)
 - Speed of service (7.0).
- Average satisfaction (7.3) with five aspects - **1% lower** than metro. avg. (7.2).
- **11%** remains “dissatisfied” with overall customer service experience, including:
 - Speed of service (**18%**)
 - Care and attention (**16%**)
 - Provision of accurate information (**15%**).

Planning, development, and housing

Satisfaction with planning process and outcomes remain above metro avg.

Satisfaction with planning and housing development process and outcomes:

Design of open spaces	7.9	(new)
Design of public spaces	7.6	(down 1%)
The protection of local heritage	7.6	(up 1%)
Appearance and quality of new developments	7.4	(stable)
Height, size, and set-back distances of new developments	7.2	(new)
Planning applications (n = 87 participating)	6.3	(down 4%)

Satisfaction with planning for population growth:

Planning for population growth by all levels of gov't	6.6	(down 4%)
---	-----	-----------

below metro. (7.0) and southeastern regions (7.1) results.

Housing availability / affordability:

Availability of housing meets community needs	6.3	(down 5%)
Affordability of housing	5.4	(down 5%).

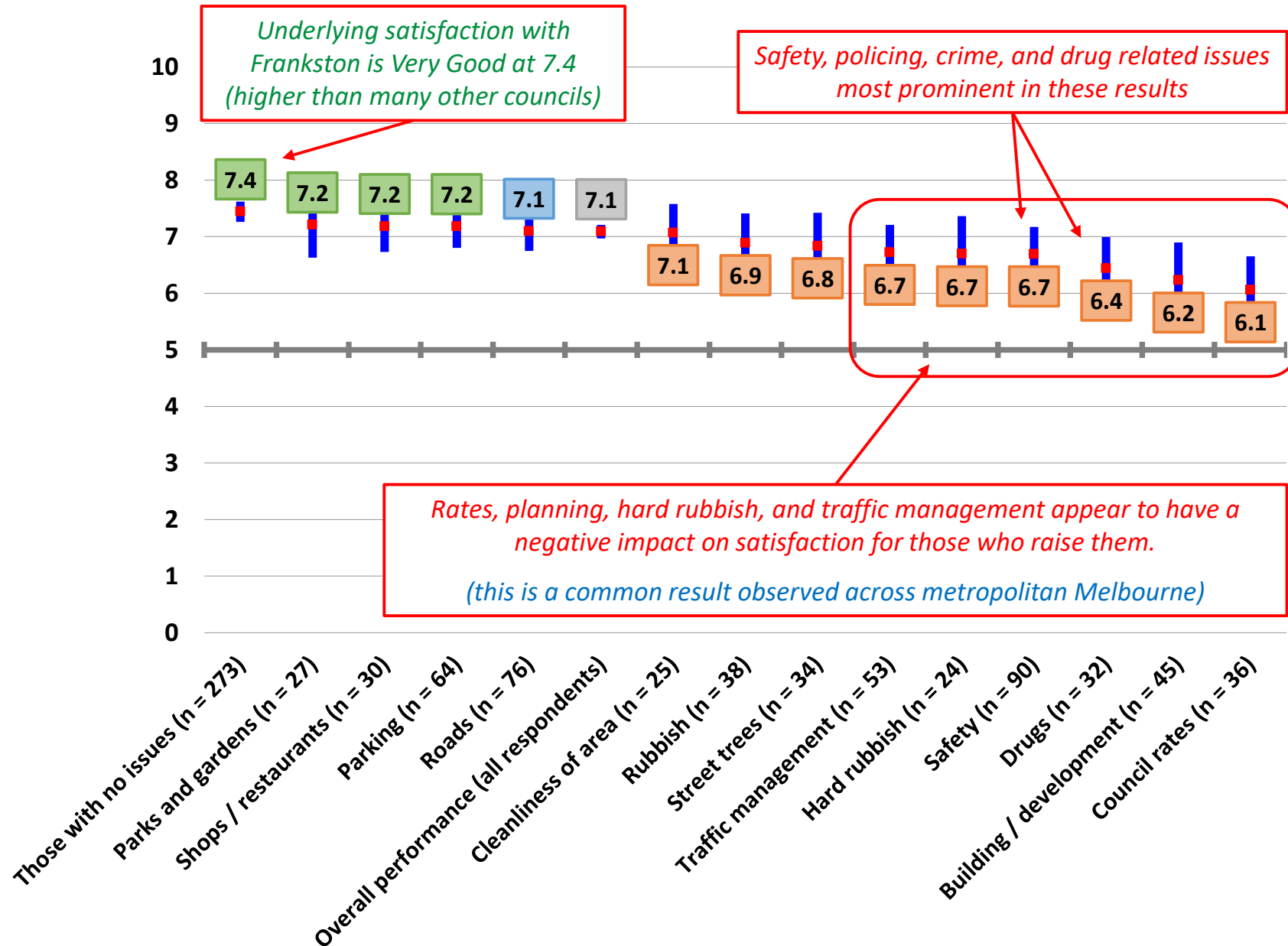
Concerns around housing availability and affordability appear related to decline in satisfaction with planning for population growth (about increase in population increasing pressure on housing supply)

Top issues to address for Frankston

Frankston City			Metro. Melbourne
2022	2023	2024	2024

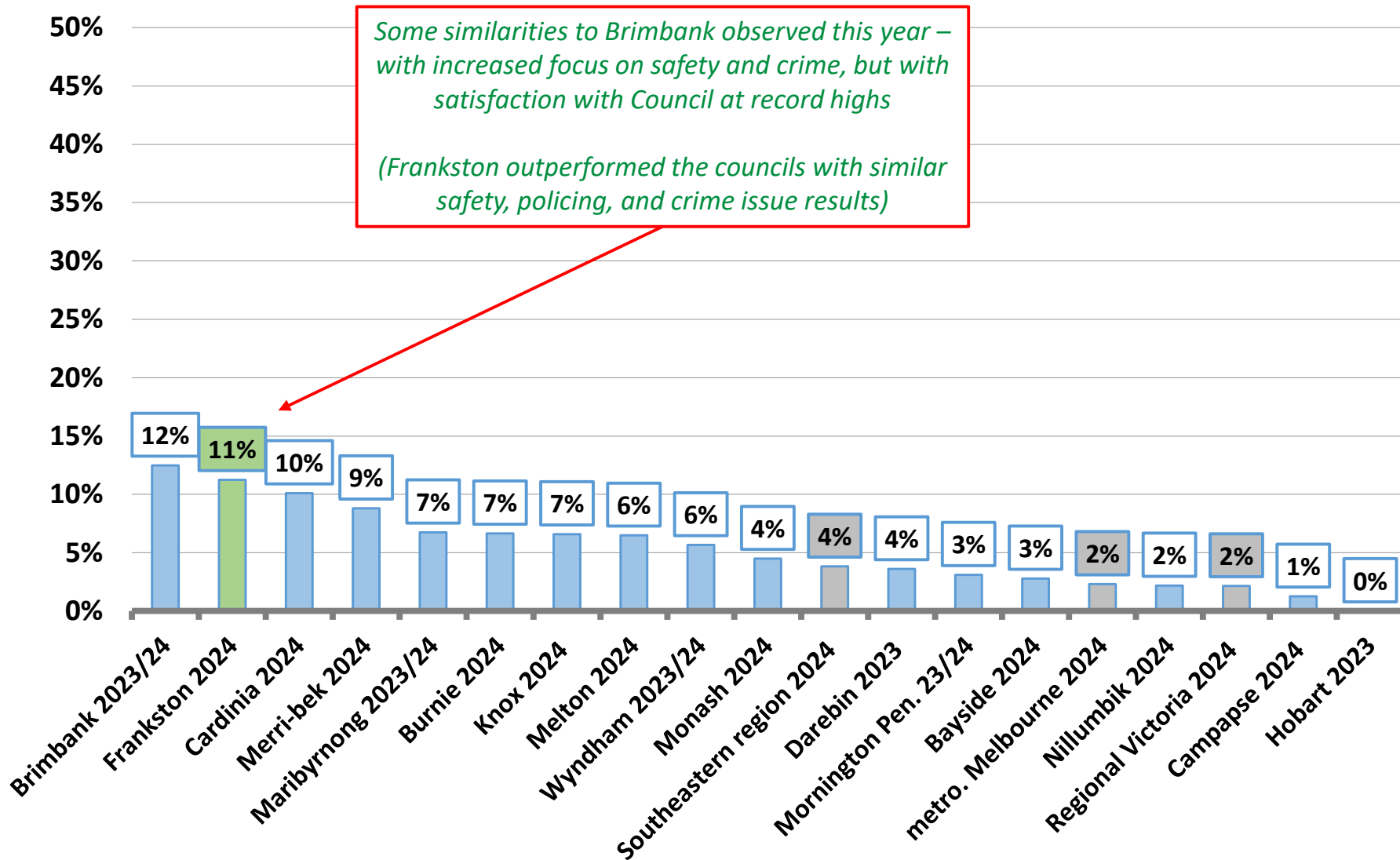
Safety, policing and crime	8%	11%	11%	↑	2%	
Roads and maintenance and repairs	5%	8%	↑	10%	↑	7%
Car parking	6%	7%	8%		7%	
Traffic management	9%	12%	↓	7%	↓	14%
Building, planning, housing and development	3%	6%	6%	↑	2%	
Rubbish and waste issues including garbage collection	2%	3%	↑	5%	6%	
Council rates	5%	4%	5%		6%	
Provision and maintenance of street trees	4%	5%	4%		6%	
Drugs and alcohol issues	2%	2%	↑	4%	↑	1%
Shops, restaurants, bars and entertainment venues issues	3%	2%	↑	4%	↑	1%

Relationship between issues and satisfaction



Safety, policing, and crime issues

Safety, policing, and crime issues significantly more prominent in Frankston



Safety in public areas of Frankston City

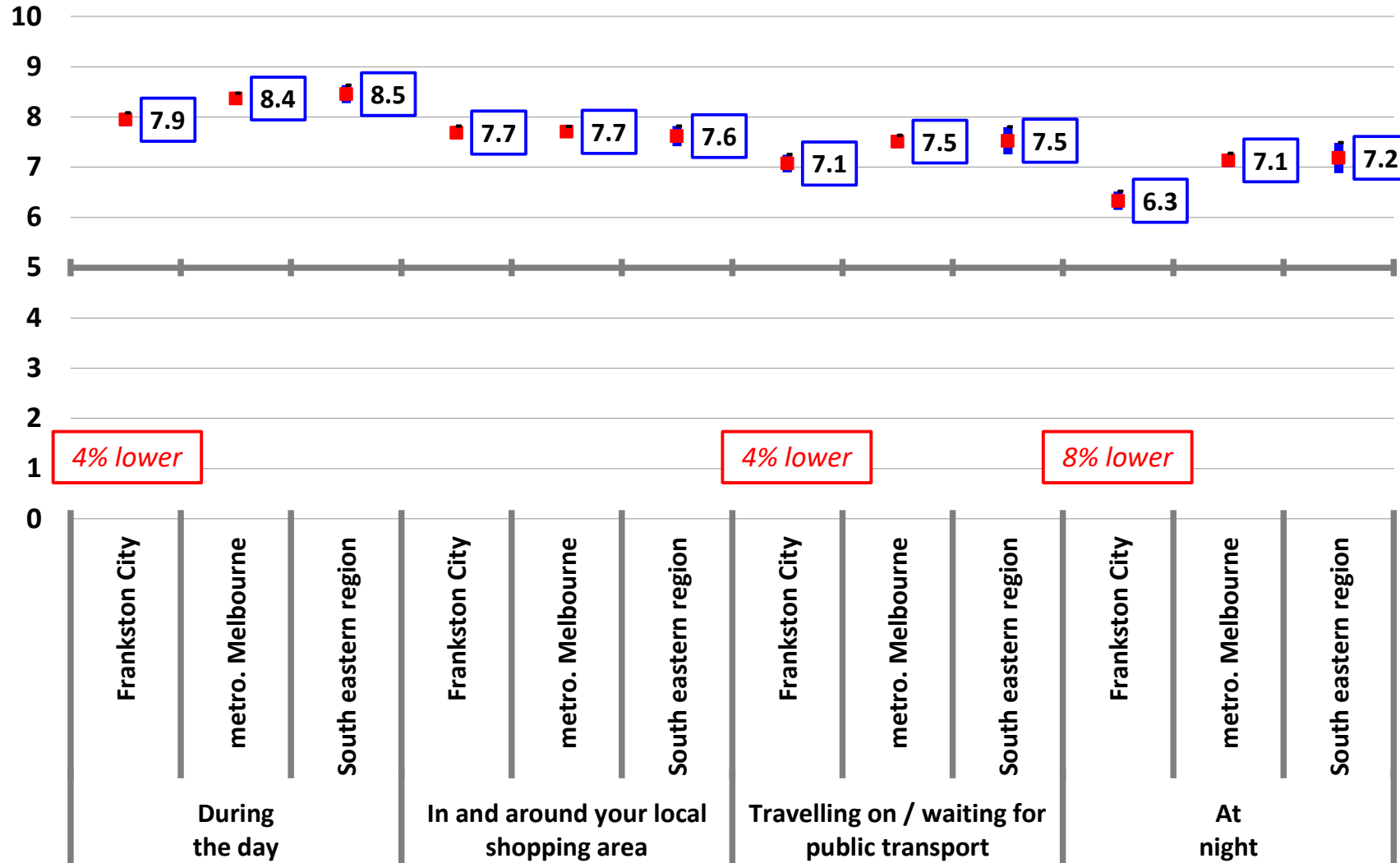
Feeling safe remains of concern to some in the Frankston City community.

	Felt Unsafe		
– During the day	7%	7.9	
– In parks and open spaces	3%	7.9	
– At the beach and foreshore	4%	7.9	
– In and around your local shopping area	5%	7.7	
– How safe you feel overall	5%	7.6	
– Wells Street Entertainment Precinct	8%	7.3	
– Bayside shopping area	10%	7.3	(down 2%)
– Travelling on / waiting for public transport	10%	7.1	(down 2%)
– At night	22%	6.3	(down 2%)

- Female respondents felt **12%** less safe in public areas at night than males (*larger gender-gap than has typically been observed elsewhere this year*).
- Carrum Downs respondents (**5.7**) felt the least safe in public areas at night.
- Drugs and alcohol (**38%**), concerns about types of people (**26%**), crime and policing (**11%**), and safety at night / lighting (**8%**) the most common reasons.

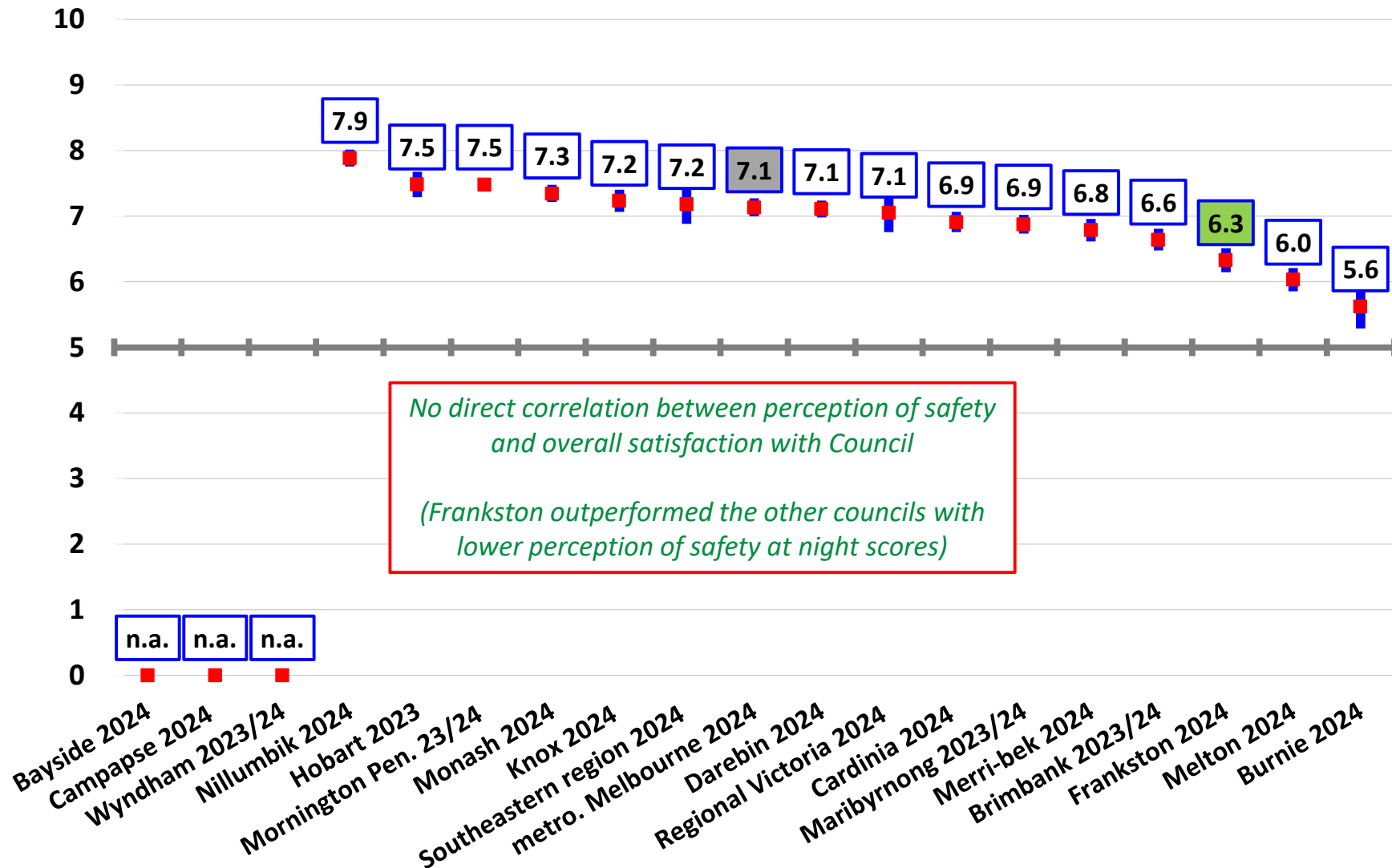
Perception of safety

The perception of safety in Frankston City remains measurably lower than metro



Perception of safety at night

Perception of safety at night measurably lower than metropolitan average



Sense of community

Average agreement with these statements relatively consistent over time

(*) average agreement increased 3%

I / we are proud of and enjoy living in the area *	75% agreed / 3% disagreed
Frankston City is an "age-friendly" community *	70% agreed / 3% disagreed
Frankston City is a "child-friendly" community *	68% agreed / 3% disagreed
Community is welcoming / supportive of diverse cultures people *	66% agreed / 2% disagreed
In times of need I / we could turn to the neighbours for help	66% agreed / 6% disagreed
Community is accessible and inclusive for people with disability	63% agreed / 4% disagreed
Frankston community is vibrant, accessible and engaging	59% agreed / 2% disagreed
I / we are satisfied with the travel options around municipality	57% agreed / 6% disagreed
I / we feel part of the local community	55% agreed / 8% disagreed.

Key findings

- **Key positives for Council:**

- Satisfaction with Frankston City remained “good” **at equal highest score recorded**, up 1% from last year, including **43% “very satisfied”** and **6% (down from 8%) “dissatisfied”**.
- Satisfaction was **8% above** the long-term average since 2011 (6.3), and **up 16%** since the most recent low-point of 5.5 back in 2018, and now above the metropolitan average (7.0).
- Most broad areas of performance remained relatively stable this year, but customer service down a little (**down 3%**), however it remains above the metro. average.
- A key positive is that Frankston City continued to maintain the 7% increase in satisfaction with governance and leadership recorded in 2022 over the lower 2021 results (remains above metro.).
- **Satisfaction with Frankston Council remains at historical highs, with most areas at / above metro.**

- **Key challenges / emerging issues in the Frankston community:**

- Housing affordability and availability (**down 5%**), and planning for population growth (**down 5%**).
- Safety, policing, and crime issues – (**11% nominated as issue**), safety at night (**down 2%**), **8% below metro** – with concerns around drugs & alcohol (**7% less satisfied overall**), people, crime, policing.
- Public toilets (**down 8%**) reversing increase last year, now **6% below** metropolitan average.
- Sealed local roads (**10% nominated as issue**), but satisfaction stable around metro. average (roads was prominent as an issue across much of Victoria this year), but no impact on overall satisfaction.
- Planning and development (**6% nominated as issue**), and they were **9% less satisfied overall**), however satisfaction with planning processing and development outcomes at or above metro.

2024 Annual Community Satisfaction Survey

Fieldwork completed : April / May 2024

All components of the project undertaken by:

Metropolis Research

Prepared and presented by:

Dale Hubner



14.1 2024/NOM15 - Seaford Foreshore Significance.

On 4 July 2024 Councillor Aitken gave notice of his intention to move the following motion:

That Council:

1. Notes Seaford Foreshore is a rare piece of surviving coastal environment, the only of its kind, along the length of Port Phillip Bay in the context of the Metropolitan Melbourne area. It is unique and much loved. The Seaford Foreshore extends 5 kilometres in length and 50 hectares in area. It is a vital link in terms of biodiversity with Kananook Creek and the Ramsar Wetlands;
2. Notes since early settlement, there has been a history of encroachment upon the foreshore, its native vegetation and biodiversity, by human visitors along with entrenched weed infestation;
3. Notes the Seaford Foreshore remained largely intact until the 1920s when the area became more well-known and far more accessible. Council has made major contributions in respect of weed removal, maintenance and planting along with tremendous support from volunteers;
4. Notes the popularity and accessibility of the Seaford Foreshore has increased exponentially since World War II, when the area became better accessible by cars and the surrounding areas became more populous as a result of residential development and settlement. As the area became more popular, so too did the Seaford Foreshore, which became an area of welcome respite, especially during hot weather. Cars were freely able to drive and park on the foreshore, to the detriment of vegetation, including ti-trees and banksia. Beachgoers walked over and across the dunes, unimpeded to access the water. This caused damage to the dune structure and vegetation, eroding the foreshore as its wind protection was negatively impacted through uncontrolled access;
5. Acknowledges in the mid-1970s, the State Government funded significant rehabilitation of the Seaford Foreshore by employing a small and dedicated team to undertake work, which included rebuilding dunes and planting vegetation to cover an area from Long Island Frankston to the northern side of Station Street Seaford;
6. Writes to the State Government to seek their commitment to the Seaford Foreshore by confirming its State Significance and make in-roads to assist or fund weed eradication and preservation of the Foreshore. This advocacy letter is to be accompanied by three attachments, namely the *Foreword*, photographs of the Seaford Foreshore showing how glorious, irresistible and magnificent it is, and a publication from May 1993 entitled "The Vertebrate Fauna of the Seaford Foreshore Reserve" by Brunner and Wallis; and
7. Writes to the Bunurong Land Council to inform them of Council's advocacy on this matter, in recognition of their spiritual and traditional connection to Country, an area of value and importance to the Bunurong Peoples.

COMMENTS BY Director Communities

The Seaford Foreshore is an invaluable natural asset within the Port Phillip Bay, and has seen a vast amount of rehabilitation, care and curation in recent times.

14.1 2024/NOM15 - Seaford Foreshore Significance.

Over the past 20 years or so, Council officers have completed extensive restoration work as an ongoing commitment by Council and the Natural Reserve Rangers. If not for this rehabilitation, the area would not have recovered or improved to its current standard, which was damaged from previous encroachment and loss of native vegetation

The proposal to advocate for the Seaford Foreshore's recognition as a site of State Significance is timely and strategic. The endorsement of this motion would align with ongoing conservation efforts and enhance the support for initiatives aimed at eradicating invasive species and preserving the foreshore's natural habitat. Writing to the State Government to seek their commitment and funding would bolster these efforts, ensuring the long-term protection and sustainability of this precious environmental resource.

Officers do not believe that there will be a financial impact to Council for the letter to be written to the State Government to request State Significance.

Question for Consideration	
1. Has the NoM been discussed with the CEO and/or the relevant Director or Manager?	YES Comments: Yes the NoM has been discussed with the Director Communities
2. Is the NoM substantially different from any notice of motion or rescission motion that has been considered by Council and lost in the preceding six months?	YES Comments: Yes, this is the first of its kind
3. Is the NoM clear and well worded?	YES Comments: Yes, the Directors comments add the rehabilitation work completed by Council Officers
4. Is the NoM capable of being implemented?	YES Comments: Yes, Officers are able to prepare this letter to the State Government
5. If the NoM is adopted, will a meeting be required with the relevant Director and Manager and Council officers in order to progress its implementation?	YES Comments: Yes, Offices will be required to draft the letter and prepare the package of information for approval of the Councillor and Mayor.
6. Is the NoM within the powers of a municipal Council?	YES Comments: Nil
7. Is the NoM free from overlap with matters for which the State and/or Federal Government are responsible?	NO Comments: The NoM is requesting that Crown Land be of State Significance
8. Is the NoM consistent with all relevant legislation?	YES Comments: Nil

14.1 2024/NOM15 - Seaford Foreshore Significance.

Question for Consideration	
9. Is the NoM consistent with existing Council or State policy or position?	YES Comments: Nil
10. Is the NoM consistent with Council's adopted strategic plan?	NO Comments: Nil
11. Can the NoM be implemented without diversion of existing resources?	YES Comments: Letter can be prepared without diversion of resources
12. Can the NoM be implemented without diversion of allocated Council funds?	YES Comments: Letter can be prepared without diversion of funds
13. Are funds available in the adopted budget to implement the NoM?	YES Comments: Nil
14. What is the estimated cost of implementing the NoM?	NO

ATTACHMENTS

- Attachment A: [↓](#) Forward by Cr Glenn Aitken
- Attachment B: [↓](#) Photos of Seaford Foreshore
- Attachment C: [↓](#) Publication: The Vertebrate Fauna of the Seaford Foreshore Reserve by Brunner and Wallis, May 1993



Forward

By Cr Glenn Aitken

Seaford Foreshore Reserve is one of the most remarkable stories of Vegetation and habitat survival in Victoria. Situated within the City of Frankston it is the only remaining natural frontal dune environment of some 5kms long and approx. 50 hectares of the finest Coastal Banksia Woodland in Melbourne.

Its importance must be accurately measured against the backdrop of the 19th, 20th and 21st centuries contextually within what is now the Greater Melbourne metropolitan area.

Of the earlier 19th century and beyond that, its importance is intricately measured against the shifting tides and times of thousands of years, an inherent part of the spiritual, social and food gathering cycle of the Aboriginal people.

The Boonwurrung Tribe, Boonwurrung meaning "FROG PEOPLE"; are the traditional owners of the Port Phillip Region. Five Aboriginal tribes used the foreshore area to forage and live. The tribes included the Boonwurrung, Wurundjeri, Taungurung, Wathaurong and Dja Dja Wurrung.

Seaford Foreshore was legislated as crown land in 1860 and subsequently put aside for public use in 1873.

OFFICIALLY RE-RESERVED in 1987 for the purposes of conservation and recreation and actively managed by a Committee of Management since 1937.

Early European settlement saw industries such as woodcutting and intensive fishing along with felling of red gums and building material and sale to Melbourne markets.

Frankston area and Seaford specifically were distant from Melbourne in terms of mileage being reached by commercial horse drawn coaches or private horse-drawn vehicles or by sailing vessels.

August the 1st 1882 saw the opening of railway Frankston to Melbourne which opened the general area up to Melbourne and emerging suburbs.

This brought a major influx of visitors to the Frankston area as a direct result of increased accessibility, bearing in mind that Frankston township expanded from 173 people in 29 houses to 794 in 160 houses between 1881 and 1891.

Frankston, and Seaford, gradually became a prominent seaside destination with the population expanding exponentially into the thousands throughout the warmer months and holiday periods.

With the outbreak of World War I in 1914 the use of the rail network was greatly utilised and early motorised vehicles, by the end of the war had become a common sight. This brought another significant shift in the ease of personalised access of mobility which saw travellers, holidays makers and commerce having the ability to make a direct and specific journey in a way that was previously unable to be done.

The economic collapse of 1929 and the years of the Great Depression which followed, saw the outbreak of World War II in 1939-1945. The experiences of war and

mobilisation through these years saw the revolutionising of transport never witnessed previously and saw closure of the horse-drawn era (with the last Cobb & Co coach run having occurred in Queensland 21 years previous, in August 1924).

As of the end of the war, 1945, automotive transport was entrenched and permanently changed the dynamics of travel. It was particularly during the post war years that Seaford Foreshore as a destination experienced a massive influx of beach goers and camping holiday makers as had never been seen before.

Hundreds of thousands visited the reserve and this must also be considered within the context that most people had no air conditioning in their home, nor for that matter in their car and given that many areas still did not have access to reticulated water and also had no access to inground or above ground pools.

As a result, especially during very hot weather and most naturally during extensive heatwaves the beach was the only place to have some relief apart from dams, creeks, or waterholes. These prevailing circumstances along with newly created mobility placed immeasurable pressure upon Seaford Foreshore.

Beachgoers parked cars along the length of the foreshore, driving directly off Nepean highway and parked amongst the vegetation. This obviously had a profoundly negative impact with young growth being driven over and crushed along with small trees and others larger still uprooted or otherwise pushed over to accommodate the tight squeeze of vehicles. Cars becoming bogged in the sand dunes was frequent and by the time digging and towing took place even more environmental damage had occurred.

Along with the repetitious brutalising of the larger vegetation and the smaller more sensitive flora, hundreds of thousands of visitors made their way through the coastal growth directly over the crown of the primary dune and then down the beach.

What this ultimately did was disturb, damage and finally destroy the stability of the of the dunes, compromising the stability through loss of fine root networks of localised coastal grasses allowing sand to move and shift with wind and storm action.

Consequently, by the late 1960's and early 70's the entire dune structure was collapsing with sand drifts shifting directly across Nepean Highway requiring tractor driven equipment to clear the road to allow cars passage. It was finally actioned as part of the Regional Employment Development Scheme under the auspices of the Port Phillip Authority and Seaford Foreshore Committee of Management that an extensive project to rebuild the dunes and planting of grass took place to save the foreshore. This project also centred upon extensive fencing to stop parking. The project was successful and covered a far greater area than had been expected.

Today the Seaford Foreshore sits in a state of remarkable preservation, an integral biodiversity link with Kananook Creek and the RAMSAR listed wetlands. It is enshrined as an irreplaceable part of our City Heritage and inseparably linked to our Aboriginal community, their culture, and customs. Middens still survive under the dune structure and the spirit of their presence remains.



Seaford Foreshore has survived throughout three centuries of European settlement. It has survived the age of settlement and the age of industrialisation. It has survived plans in the 1950's/1960's of commercial subdivision and a brazen attempt to bulldoze another car lane through it to widen Nepean Highway, which plans have been repeatedly fought off by local residents.

Seaford Foreshore's survival into the modern era is, in any language, incredible.

The elevation of the Foreshore's status from "Regional" to "State Significance" is long overdue.







































**THE VERTEBRATE FAUNA OF THE SEAFORD
FORESHORE RESERVE**

Final Report

by

**Hans Brunner and
Robert L. Wallis**

A report prepared for the Seaford Foreshore Committee of Management
Inc., by the Applied Australian Ecological Research Unit, Deakin University
- Rusden Campus, Clayton, Victoria, 3168.

May, 1993

Table of Contents

List of Figures	iii
List of Tables	iii
Abstract and Recommendations	iv
1.0 INTRODUCTION	
1.1 Introduction to the Study	1
1.2 The Site	
1.2.1 Location	3
1.2.2 Status	3
1.2.3 Geology	3
1.2.4 History	3
1.2.4 Original Vegetation	4
2.0 THE ORIGINAL FAUNA	
2.1 Introduction	7
2.2 Mammals	7
2.3 Birds	9
2.4 Reptiles and Amphibians	9
3.0 THE EXISTING FAUNA	
3.1 Mammals	
3.1.1 Methods	11
3.1.2 Results	13
3.1.3 Discussion	16
3.2 Birds	17
3.3 Reptiles and Amphibians	
3.3.1 Methods	18
3.3.2 Results	18
3.3.3 Discussion	21
4.0 WILDLIFE MANAGEMENT	
4.1 Management Objectives for Native Fauna	23
4.2 Introduced and Nuisance Species	
4.2.1 Introduction	24
4.2.2 Foxes	24
4.2.3 Rabbits	26
4.2.4 Cats	26
4.2.5 Dogs	27
4.2.5 Rats and Mice	29
4.2.6 Birds	29
4.2.8 Insects	30
4.2.9 Conclusion	30
4.3 Provision of Artificial Nest Sites for Wildlife	31
4.4 Monitoring Wildlife	33
4.5 Interpreting Wildlife	33
4.7 Wildlife Management Actions	34

Acknowledgements	39
References	41

LIST OF FIGURES

- | | |
|--|---|
| 1. Seaford Foreshore Reserve, showing major features and the three study zones | 6 |
|--|---|

LIST OF TABLES

- | | |
|---|----|
| 1. Historical and recent records of mammals in the Seaford area | 8 |
| 2. Food categories analysed in the scats of predators (and three hair tufts) collected from the Seaford Foreshore Reserve | 13 |
| 3. Mammalian prey identified in predator scats collected in each of the three sites at Seaford Foreshore Reserve | 13 |
| 4. Trapping results | 15 |
| 5. Results from the 219 hair tubes set in the Reserve | 16 |
| 6. Reptiles and amphibians either recorded or which are potentially present at Seaford Foreshore Reserve | 20 |
| 7. Management actions for significant species | 37 |

- Minimise habitat damage by all management activities particularly track and fire protection works.
- Monitor the effects of visitor use on wildlife.
- Monitor numbers of introduced rodents.
- Monitor and, if necessary, control competition for nest hollows (and nest-boxes) by Starlings, Common Mynas and European Honeybees.
- Investigate the creation of a safe environment for nesting Little Penguins. Improve access to protected areas for these birds.
- Utilize storm water to create small freshwater ponds near some drains for frog habitat.
- Destroy hives of introduced bees and wasps.
- Investigate the effects of borers on the health of Banksias.
- Arrange for a survey of the Reserve's invertebrate fauna.
- Develop and implement a "Responsible Pet Ownership Campaign", aimed at reducing predation by companion animals on wildlife in the Reserve.
- Provide guided interpretation activities. Develop an "Interpretative Plan".
- Prohibit the riding of bicycles in the Reserve.
- If fire is to be used to eradicate weeds and to promote regeneration of native plants, then only small patches be bunt and the effects on the fauna from the fire be seriously evaluated first.
- We do not recommend the re-introduction of native vertebrate species which have become lost from the Reserve, at this stage.

ABSTRACT AND RECOMMENDATIONS

A vertebrate fauna survey was undertaken at the Seaford Foreshore Reserve. This report presents an analysis of historical records of vertebrates at Seaford, as well as details of species which are known to occur in the Reserve. The combined species list compiles data from all known sources, as well as results from our own surveys which were undertaken between August 1992 and February 1993. There was found to be only one species of native mammal and at least five species of introduced mammal living in the Reserve. Nearby, at least one other native possum is known to live and several species of insectivorous bats are known to live close to the Reserve, but could not be detected in this survey. Evidence of five species of domesticated mammals was found.

One hundred and seventeen species of birds, including 16 introduced species have been recorded for the Seaford Foreshore Reserve. At least 12 of the native species are rare visitors only. Of the 15 species known to breed in the Reserve, eight are native species.

Only one species of frog occurs in the Reserve, although 13 reptile species are known to occur here. The high diversity and density of lizards in the Reserve is significant.

A number of regionally or locally important species were recorded during this survey. We believe the Little Penguin, Australian Hobby, Yellow Thornbill and Eastern Yellow Robin are important birds, while the Delicate Skink, Bougainville's Skink, White's Skink and the Southern Scaly-foot are important lizards living in the Reserve. It is possible that the White-lipped Snake is also present, but our survey failed to detect it.

It is important that management options are selected that enhance the survival of these and other native vertebrate populations. A number of specific guidelines are presented which should assist in conserving viable populations of the fauna. The Seaford Foreshore Reserve is an example of remnant habitat which is very important in ecological terms, especially since it is located in developed urban landscape.

Recommendations

- Implement the management actions listed in Table 7 for important species.
- Develop a "Habitat Rehabilitation Plan" in conjunction with revegetation programs (this should follow the recommendations being prepared by Walker).
- Identify all significant habitat trees (i.e. trees with hollows suitable as nest sites) and protect them from detrimental management actions.
- Investigate the introduction of nest boxes and bat boxes at appropriate locations. Monitoring the success of these actions is essential.
- Control Foxes, Dogs and Cats and eradicate Rabbits.
- Encourage research on the distribution and ecological requirements of important species.

CHAPTER 1: INTRODUCTION

1.1 Introduction to the Study

The environmental consequences of European settlement in Victoria have been dramatic. For instance, it has been estimated that in the 150 years since European settlement in Victoria

- over 60% of the State's forests have been cleared
- 95% of native grasslands have been lost or severely degraded
- of the two-thirds of the State which is privately owned, only 5% retains its bushland cover
- of the original forest cover, 56% has been cleared, and 70% of the remaining forest has been severely modified
- one sixth of the State's original species of mammals have been lost (Department of Conservation, Forests and Lands, 1986).

Increasing urbanization of many parts of formerly rural and native Australia has left patches of remnant habitat which become increasingly important in the conservation of indigenous flora and fauna. In its various policy and strategy documents, the Victorian Government has recognized the importance of areas like the Seaford Foreshore Reserve in providing valuable open space for recreation and as habitat for native plants and animals (Victorian Government 1987, 1988a, 1988b). Zelman (1993), for instance, notes that in the Port Phillip and Westernport region, there is a continuing and incremental loss of flora and fauna because of what he terms "increasingly competitive land use demands and lack of community awareness", and that the worst impact is in close proximity to urban areas.

Seaford Foreshore Reserve was permanently reserved as a site for public use in 1873 and re-reserved in 1987 for "the purposes of conservation of an area of natural interest and public recreation" (DCE & SFRCOM, 1991 p. 1). A management plan was prepared by the Seaford Foreshore Reserve Committee of Management Incorporated and the Melbourne region of the Department of Conservation and Environment in 1991 which aimed to achieve the following management objectives:

- preserve and protect the natural landscape, particularly indigenous flora and fauna, and the coastal landform and landscape;
- protect features of cultural, historical and archaeological significance;
- provide a range of coastal recreational opportunities in a manner which is consistent with protection of the natural environment;
- provide access for all people through the appropriate design of facilities;
- protect the Reserve, its visitors and adjacent landholders from wildfire while protecting the natural integrity of the Reserve;
- ensure adequate precautions are taken for public safety;
- rehabilitate and restore the natural character of areas degraded by inappropriate land use and activities;
- control pest plants and animals including domestic pets.

One section of the Management Plan was devoted to Fauna Management. The Plan stated (p.9) that effective fauna management could be brought about by the

- protection and re-establishment of natural habitat
- control of pest animals and pest plants
- regulation of visitor activities, and by adopting
- sympathetic management practices.

Although a comprehensive bird list already exists for the Reserve, the Management Plan noted that "information on [its] mammals, reptiles, amphibians, fish and invertebrate fauna" was limited (p. 10) and it was recommended that a fauna survey be undertaken as part of a broader Conservation Plan for the Reserve.

Specifically, the Management Plan recommended the following actions be undertaken:

- the fauna of the Reserve be surveyed
- development of management prescriptions for any significant or locally threatened species
- monitoring the effects of visitor use and management practices on wildlife
- controlling feral dogs, foxes, cats and rabbits
- identification of significant habitats for wildlife.

It is these recommendations that form the basis of this consultancy report. Specifically, this project's objectives are to

- survey the vertebrate fauna in the Reserve
- assess the habitat quality for wildlife
- recommend management and control measures for introduced and nuisance fauna, and
- make recommendations about the enhancement of habitat for native fauna.

The surveying of all animal life in the Reserve could not be satisfactorily achieved in the limited time we had available and with the resources that have been allocated to the project. Accordingly, we suggested that a survey be undertaken only of the Reserve's vertebrate fauna (excluding fish) on the basis that a knowledge of the vertebrate fauna will allow us to make a reasonable assessment of ecological quality and habitat value.

As well as a fauna survey, the Management Plan recommended the development of a Conservation Plan for the Reserve identifying

- vegetation communities and areas of significant vegetation
- management objectives for each vegetation community and site of significance
- rehabilitation and regeneration techniques
- weeds and weed control techniques in line with the Weeds of Native Vegetation In Victoria Database format
- fauna present in the Reserve and areas of important habitat
- areas where access should be restricted
- erosion and siltation priorities
- sites of significant species and prescriptions for management.

Accordingly the National Trust of Victoria (through its Save the Bush Group) is conducting a vegetation management study of the Reserve (Walker, pers.

comm). It is hoped that by combining this vegetation report with our own, a management plan for habitat restoration will be developed for the Reserve.

This vertebrate fauna study has been undertaken by Hans Brunner and Rob Wallis, members of the Applied Australian Ecological Research Unit at Deakin University. Three students in the Bachelor of Education (Environmental Studies) program assisted in the data collection and analysis as part of the requirements for the subject Environmental Studies 302 at the Rusden Campus: Vicki Linnell, Nicola Mather and Lyndal Wright.

1.2 The Site

1.2.1 Location

The Seaford Foreshore Reserve is a linear, coastal reserve which occupies about 50 ha. It is located 38 km south east from the City of Melbourne. The Reserve is bounded by Nepean Highway to the east, Keast Park to the north, Port Phillip Bay to the east, and by the Long Island Tennis Club to the south. The linear strip reserve extends about 4.6 km. It is located on Maps 97 and 99 of Melways (edition 20).

The reserve was divided into three study zones, A, B and C. These zones and the Reserve's major features are shown in Fig. 1.

1.2.2 Status

The Reserve is Crown Land, having being permanently reserved for public purposes in 1873. "The Reserve was re-reserved in 1987 pursuant to Section 4 of the Crown Land (Reserves) Act 1978 for the purposes of conservation of an area of natural interest and public recreation" (DCE & SFRCOM, 1991 p. 1).

1.2.3 Geology

Walker (unpublished document, citing Geological Survey of Victoria, 1980) notes that the dunes (up to 7 m high) are formed from Quartzose sand over a mix of marine, lagoonal and alluvial deposits over deeper Tertiary sands.

On the landward side of the beach are low sand dunes which form a set of parallel ridges comprised of wind-blown sand resting on beach deposits (Whincup, 1944). Kananook Creek flows between two such ridges, and Cullen (1973) notes that the Melbourne-Frankston railway line is actually built on one of the ridges.

1.2.4 History

Historical accounts of the Frankston, Chelsea and Mornington Peninsula areas can be located in Anon (1971), Calder (1986), Chaplin (1985), Douglas (1985), Jones (1989), McGuire (1965, 1985), Moorehead (1971), Pressland (1985), Rowland (1979, 1980), Steel (1977) and Tuck (1971).

Most timber cutting (initially for lime kilns) started around the 1840's (shortly after the founding of Melbourne) and extended with settlement of the region in the 1850's. Certainly the transport links of Nepean Highway (with a Cobb and Co. service, 1860) and the rail link to Frankston (1880) speeded settlement and habitat modification. By the early 1900's land use changes had caused silting of nearby Kananook Creek and there was intensive recreational pressure on the coastal dunes at Seaford by the 1920's. Bathing boxes (similar to those still present at Middle Brighton Beach) were built then on the beachfront and the Seaford pier constructed in 1929.

An article published in *The Victorian Naturalist* in 1927 noted that the tea-tree at Seaford was then in a healthy condition and that the present track which runs the length of the Reserve was in use at that time (Anon, 1927). An excursion twenty years later by the Field Naturalists Club of Victoria reported that the vegetation had deteriorated somewhat, especially the banksias which seemed to be attacked by insect larvae which drilled holes in the wood (French and Lee, 1947). These authors also noted that Tea-tree and Sheoaks were also suffering from borer attack. Walker (unpublished) suggests that reduced predation by birds, and stress on the vegetation by traffic and pollution would have exacerbated the problem. By 1973 Cullen (1973, p. 4) had noted that the "Banksias are in a very poor state due to the action of the borers. The Tea-tree is now over-mature in some areas, and since there is little natural regeneration, is dying out. Due to car parking and foot traffic to and from the beach, young Tea-trees and Banksias have little chance of developing."

A major restoration program was commenced in 1968. Blow-outs were revegetated, tracks fenced and car parking restricted to the current site near the pier. The species used as stabilizers were included Marram Grass (*Ammophila arenaria*), Pigface (*Carpobrotus aequilaterus*), Sea Wheat Grass (*Thinopurum junceum*), Kikuyu (*Pennisetum clandestinum*), Couch (*Cynodon dactylon*) and Buffalo Grass (*Stenotaphrum secundatum*); these are not indigenous to the area.

Fire has been an important factor in shaping the community at the Reserve. Major occasional fires occurred before European settlement, but nowadays fires are frequent and often deliberately lit (DCE & SFRCOM, 1991). Five fires occurred in 1990. The last major fire was in 1985 when 0.4 ha of the Reserve to the north of the pier was burned.

The Reserve has a history of permitted occupancies. In 1923 the Long Island Tennis Club established a court and more were built in 1952. The Seaford Life Saving Club formed in 1936 built the present clubhouse in 1968. A Fish Monger sells from a stall opposite the Riviera Hotel. The business began in 1976.

1.2.5 Original Vegetation

Walker (unpublished) suggests that the pioneer species closest to the shoreline would have once been Coast Fescue (*Austrofestuca littoralis*), Coast Spinifex (*Spinifex sericeus*), Coast Saltbush (*Atriplex cinerea*), Coast Sow Thistle (*Acitias megalocarpa*), Prickly Salwort (*Salosa kali*), Knobby Club Sedge (*Isolepis nodusus*) and Karkaila (*Carpoloratus vassii*). The mid-

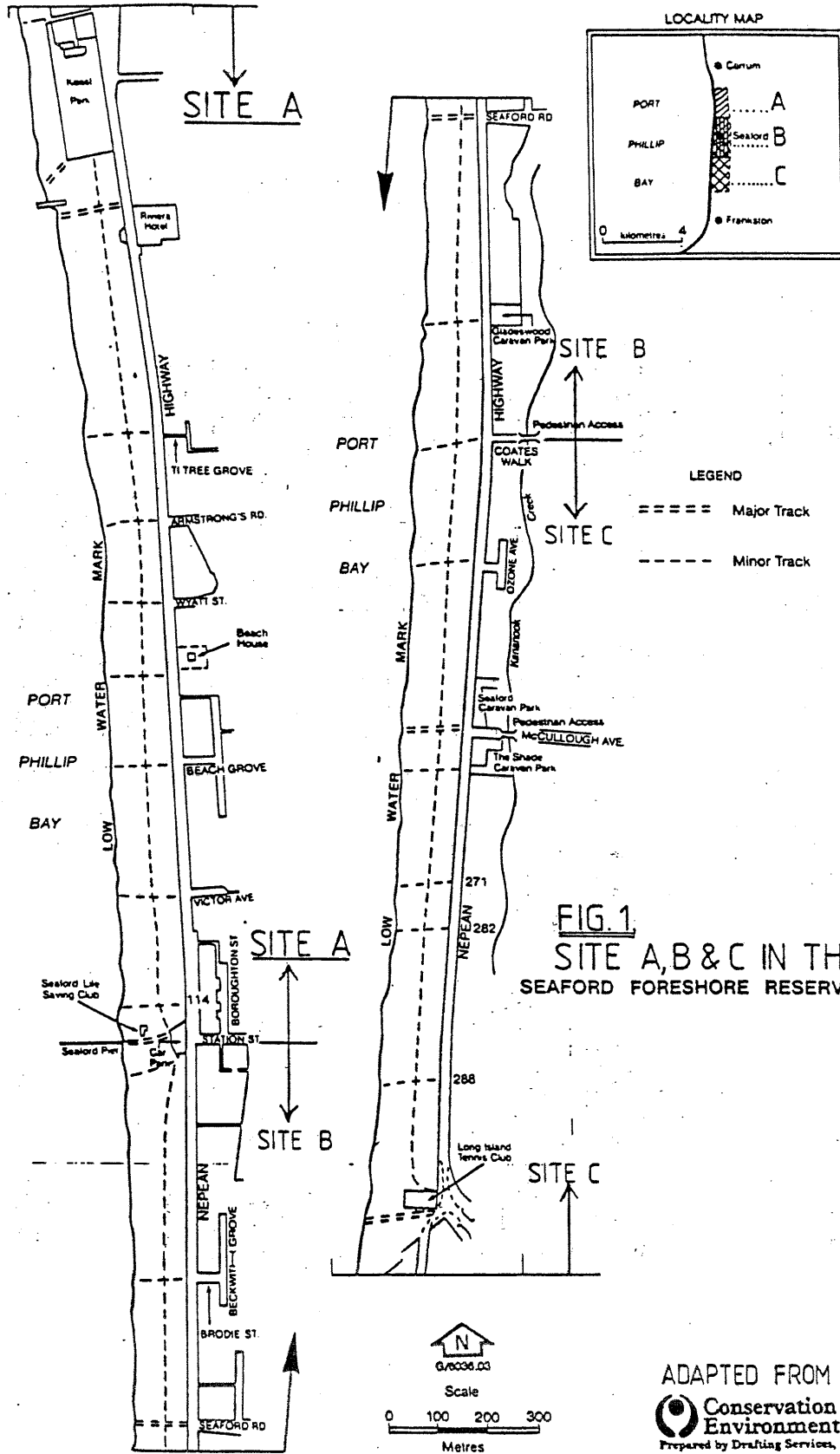
seral stage would have been comprised of shrubs such as Coastal Teatree (*Leptospermum laevigatum*) and Coast Wattle (*Acacia sophorae*), as well as Sea Box (*Aluxia buxiflora*), White Correa (*Correa alba*), Coast Everlasting (*Ozothamnus turbinatus*), Coast Daisy Bush (*Olearia axillaris*) and the occasional banksia (*Banksia integrifolia*). This latter group of species would have been present on the top of the foredune.

On the lee side of the foredune Walker suggests that there would have been dense thickets of many of the shrubs listed above, as well as Boobialla (*Myoporum insulare*), Coast Beard heath (*Leucopogon parriflorus*) and Drooping Sheoak (*Allocasuarina verticillata*). A number of native creepers would have also been present.

The climax community would have been dominated by mature Coast Banksia and Drooping Sheoak, with some Coast Manna Gum (*Eucalyptus pryoriana*). Native grasses and flax lillies would have made a continuous understorey in a community best described as coastal woodland. Heath was likely to have been present in the most northern parts of the Reserve, with species such as Showy Bossiaea (*Bossiaea cinerea*) and Sand-hill Sword-sedge (*Leptosperma concarum*) present.

There would thus (and still are to some extent) three vegetation communities represented at the Reserve: Coastal Banksia Woodland, Coastal Scrub and Coastal Grassland (DCE & SFRCOM, 1991). Of the 192 plant species that have been recorded in the Reserve recently, 56 are locally indigenous, 21 local native species of an unknown seed source, and there are 115 exotic species.

Ten indigenous species are considered to be regionally significant in conservation terms. Of the introduced species, ten are declared noxious weeds and 56 are environmental weeds (DCE & SFRCOM, 1991).



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CHAPTER 2: THE ORIGINAL FAUNA

2.1 Introduction

Three vegetation communities probably constituted what is now the Foreshore Reserve: Coastal Banksia Woodland (with Coast Banksia and Drooping Sheoak in the upper canopy), Coastal Shrub (with Coastal Teatree, Coast Wattle, Coast Beard Heath) and Coastal Grassland. These communities would have provided important habitat for native vertebrates. Some of the animals present in historical times have been described in various sources (Steel, 1977; Calder, 1986; McGuire, 1965; Jones, 1989; Tuck, 1971; Wheelwright, 1979; Kenyon, 1930). Brunner *et al.* (1992a) reported on the likely original vertebrate fauna in the land around what is now the Moorooduc Quarry Flora and Fauna Reserve, some 11.2 km south of Seaford. All these sources have been used to predict the likely original vertebrate fauna of the foreshore system near Seaford.

2.2 Mammals

Early reports stressed the abundance of kangaroos (Eastern Grey Kangaroos, *Macropus giganteus*) in the region. For instance

"Kangaroos were everywhere and there was plenty of other game. A hunter who spent two seasons shooting kangaroos for their skins, shot over 2000. They were not only shot for their skins but for food. In the early days of the gold fever meat was scarce and pickled kangaroo hams were readily sold." (Steel, 1977, p. 12).

Also

"The Great Grey or Forester Kangaroo (*Macropus gigantea* sic) was present in thousands and abounded in the undisturbed forests. 'An Old Bushman' who saw them during the early 1800's, stated that 'it seems as if they could never be shot out'. The forests may have been their breeding grounds, from which the animals apparently migrated periodically into the more open country north of Frankston." (Calder, 1986, p. 29).

Calder also noted that Red-necked Wallabies (*Macropus rufogriseus*), Swamp Wallaby (*Wallabia bicolor*) and the Tasmanian Pademelon (*Thylogale billarderi*) also lived in the area. Tuck (1971) and Cavill (1986) have also commented on the presence of kangaroos in the area. Cavill (pers. comm.) believes kangaroos were present around Mount Eliza until the early 1940's and that Swamp Wallabies were there until 1984.

There have been frequent historical reports of Eastern Quolls (*Dasyurus viverrinus*) inhabiting the region. Wheelwright (1979) found them to be very common, whilst their presence has also been reported by Kenyon (1930), Calder (1986) and Steel (1977). Another dasyurid, the Brown Antechinus (*Antechinus stuartii*) would also have lived in these coastal forests (Brunner

et al., 1992a). White-footed Dunnarts may also have lived in recently disturbed sites (Brunner *et al.*, 1992b).

Possums in the area would have included Common Brushtail Possum (*Trichosurus vulpecula*) and Common Ringtail Possum (*Pseudocheirus peregrinus*) (present study), as well as Sugar Gliders (*Petaurus breviceps*) and Feathertail Gliders (*Acrobates pygmaeus*) (Brunner *et al.*, 1992a). Calder's (1986) suggestion that Squirrel Gliders (*P. norfolcensis*) is unlikely; it is probable she meant Sugar Gliders. Koalas (*Phascolarctos cinereus*) almost certainly lived in the large trees in the mature woodland (Calder, 1986; Cavill, 1986). Other likley species include Common Wombat (*Vombatus ursinus*), Southern Brown Bandicoot (*Isodon obesulus*), Bush Rat (*Rattus fuscipes*), Swamp Rat (*R. lutreolus*), Dingo (*Canis familiaris dingo*) and Short-beaked Echidna (*Tachyglossus aculeatus*). A number of insectivorous bats would have also lived in the region, some of which still occur today. Kananook Creek might well have been home to Platypus (*Ornithorhynchus anatinus*) and Eastern Water Rat (*Hydromys chrysogaster*).

Table 1. Historical and recent records of mammals in the Seaford area.

Common Name	Scientific name
Short-beaked Echidna	<i>Tachyglossus aculeatus</i>
Platypus	<i>Ornithorhynchus anatinus</i>
Eastern Quoll	<i>Dasyurus viverrinus</i>
Brown Antechinus	<i>Antechinus stuartii</i>
White-footed Dunnart	<i>Sminthopsis leucopus</i>
Southern Brown Bandicoot	<i>Isodon obesulus</i>
Common Brushtail Possum	<i>Trichosurus vulpecula</i>
Feathertail Glider	<i>Acrobates pygmaeus</i>
Sugar Glider	<i>Petaurus breviceps</i>
Common Ringtail Possum	<i>Pseudocheirus peregrinus</i>
Tasmanian Pademelon	<i>Thylagale billardieri</i>
Long-nosed Potoroo	<i>Potorous tridactylus</i>
Eastern Grey Kangaroo	<i>Macropus giganteus</i>
Red-necked Wallaby	<i>M. rufogriseus</i>
Swamp Wallaby	<i>Wallabia bicolor</i>
Koala	<i>Phascolarctos cinereus</i>
Common Wombat	<i>Vombatus ursinus</i>
Grey Headed Flying Fox(?)	<i>Pteropus poliocephalus</i>
White-striped Mastiff Bat	<i>Tadarida australis</i>
Gould's Wattled Bat	<i>Chalinolobus gouldii</i>
Lesser Long-eared Bat	<i>Nyctophilus geoffroyi</i>
Large Forest Eptesicus	<i>Vespadelus (=Eptesicus) sagittula</i>
Little Forest Eptesicus	<i>V. vulturnus</i>
Eastern Water-rat	<i>Hydromys chrysogaster</i>
Swamp Rat	<i>Rattus lutreolus</i>
Bush Rat	<i>R. fuscipes</i>
Black Rat*	<i>R. rattus</i>
Brown Rat*	<i>R. norvegicus</i>
House Mouse*	<i>Mus musculus</i>
Dingo	<i>Canis familiaris dingo</i>
Dog*	<i>Canis familiaris familiaris</i>
Fox*	<i>Vulpes vulpes</i>
Cat*	<i>Felis catus</i>
Rabbit*	<i>Oryctolagus cuniculus</i>

Although no bats have been detected in this survey, bats live in the surrounding area and we would suggest that at least five common, insectivorous species would have been present.

The historical records and more recent records of mammals living in the area have been summarized in Table 1. We suggest that there may have been up to 26 native mammal species living in the locality (including bats, the Platypus and Eastern Water Rat), although we admit that the evidence for some species might be tenuous.

2.3 Birds

Calder (1986) lists a number of species of birds which once frequented the region's coasts. These include the Australian Pelican (*Pelecanus conspicillatus*), Little Penguin (*Eudyptula minor*), gulls (*Larus* spp.), oystercatchers (*Haematopus* spp.), terns (*Sterna* spp.), cormorants (*Phalacrocorax* spp.) and sandpipers (*Calidris* spp.). In the coastal woodlands, it is possible that the following birds lived near Seaford: Australian Spur-winged Plover (*Vanellus miles*), bronzewings (*Phaps* spp.), Kookaburra (*Dacelo gigas*), Wedge-tailed Eagle (*Aquila audax*), falcons (*Falco* spp.), owls (*Tyto* spp.), parrots, cockatoos, honeyeaters and the Emu (*Dromaius novaehollandiae*) (Calder, 1986). Yellow-tailed Black Cockatoos (*Calyptorhynchus funereus*) were also present and thought to be important in preying on Longicorn beetles that bore into the trunks of banksias (McGuire, 1965; Jones, 1989). Significantly, this species requires large tree hollows for nesting (Emerson *et al.*, 1987).

In a recent address to the Mornington Peninsula Field Naturalists Club Robinson has estimated that about 50% of birds which originally existed on the Mornington Peninsula are now either locally extinct or are threatened. He cites as examples, that only 40 Babblers and 100 Scarlet Robins are now thought to live on the Peninsula. He believes that ground nesting birds and ground feeding birds have declined in particular, since these species require dense ground cover (such as Wallaby Grass) for protection from predators. Another cause for the decline in birds has been the loss of hollow bearing trees - many trees left on the Peninsula are still too young to bear hollows. He cites the loss of she-oaks as one cause for the decline in numbers of the Glossy Black-cockatoos. Many species require large home ranges which cannot be satisfied by small, isolated remnants. For example, Powerful Owls are thought to need around 1000 ha of mature, relatively undisturbed forest as a home range (Peake, 1991). Robinson's comments for the Mornington Peninsula are certainly applicable to the Seaford area.

2.4 Reptiles and amphibians

Some of the early European settlers described their frequent encounters with large goannas, up to "six feet in length" (Cavill, 1986). Cavill also noted that many other reptiles were very common, including Red-bellied Black Snakes¹, Eastern Tiger Snakes, Southern (Blotched) Blue-tongue Skinks

¹probably mis-identified Lowland Copperheads

and several types of small skink. Snakes are often reported in historical accounts of the fauna at Seaford (e.g. Steel, 1977), but the identity is rarely mentioned.

In their vertebrate fauna survey of the Melbourne Region - 2, Lumsden *et al.* (1991) reported that coastal vegetation provides habitat for 21 reptile and seven amphibian species. They noted that coastal woodland supported the most diverse herpetofauna, with 77% of the species found in this community. Some of the species mentioned in association with this community included the Southern Water Skink (CTF) (*Sphenomorphus* [= *Eulamprus*] *tympanum*), Delicate Skink (*Lampropholis delicata*), Eastern Small-eyed Snake (*Cryptophis nigescens*), Eastern Three-lined Skink (*Leiopisma duperreyi*) and Southern Toadlet (*Pseudophryne semimarmorata*). Importantly, Lumsden *et al.* (1991) noted that the Common Scaly-foot (*Pygopus lepidopodus*) still occurs in a remnant population on the Mornington Peninsula in grassy tussocks and cracking soils.

We recorded 13 species of reptiles either living or potentially living in nearby Moorooduc Flora and Fauna Reserve (Brunner *et al.*, 1992a). Of these, 11 species (including six skink species) could have once lived near Seaford.

Seven species of frog were also found in the same survey. Whether frogs actually lived in what is now the Reserve would depend on the availability of fresh water for breeding.

CHAPTER 3: THE EXISTING FAUNA

3.1 Mammals

3.1.1 Survey methods

3.1.1.1 Predator scat analysis

A number of standard techniques were used to survey mammals in this study. Further details can be found in Wallis and Brunner (1986).

In this study predator scat analysis involved the collection, processing and analysis of scats (droppings) of two introduced species of Carnivora. Predator scat analysis offers many advantages in a survey such as this:

- in urban areas, intrusive fauna survey techniques involving trapping may prove to be unpopular with the public. As well, equipment left overnight can be interfered with by residents or their children.
- predator scat analysis has often proved successful in detecting the presence of rarer or more difficult to find species (Brunner and Wallis, 1986).
- predator scat analysis provides useful data on the diets of the predators. This is important for this particular study - one of the aims of this report has been to investigate the effects introduced carnivores have on the future conservation of native vertebrates in the Reserve.

Scats were collected on special collecting trips as well as during other routine survey periods. Most were collected along the sea-side of the primary dune and on tracks. They were identified using smell, size and shape characteristics (Triggs, 1984; Triggs *et al.*, 1984; Lunney *et al.*, 1990) and placed in small manilla envelopes on which was recorded details of site, date and predator. Only scats which appeared to contain the remains of mammals or birds were collected. Scats were allocated to the three study areas.

The scats were sterilized at 100°C for at least 24 hours to destroy parasites. They were then washed through a fine sieve into a large white tray. Presence of various food categories was then recorded.

Mammalian remains were then removed, dried and identified. Skeletal remains and teeth were compared with reference collections held at Deakin University (Rusden) and hair was microscopically analysed and the prey species identified using the keys in Brunner and Coman (1974) and Wallis (1984) as well as comparing the specimens with hair from known mammals.

A total of 246 predator scats were collected and analysed.

3.1.1.2 Live trapping

Small mammals were trapped using Elliott type A (33 x 10 x 10 cm) folding aluminium traps and wire mesh cage traps (36 x 20 x 16 cm) baited with a

mixture of rolled oatmeal, honey and peanut butter. Traps were placed at sites to maximize the chances of capture - hence they were placed under cover, at the base of trees, besides logs and on higher ground and in dense grass on the fore dune. Traps were set near dusk and cleared as soon as possible after dawn. They were also left open during the daytime and cleared in the late afternoon. Trapping was carried out under permits from the Department of Conservation and Natural Resources (91- 156).

Trapping was carried out in November of 1992. Traps were set in each of the three study sites.

Traps were set in all habitat types over three consecutive nights. They were cleared at both dusk and dawn. A total of 1560 traps were set (780 night and 780 day).

One harp trap was set in late summer to capture bats.

3.1.1.3 Direct observation and signs

Some mammals were seen during the day while collecting predator scats. Indirect signs of mammals were also recorded - these included bones, carcasses, diggings, nests (dreys) and scats. Triggs (1984) was used to aid in the identification of many of the indirect signs.

3.1.1.4 Hair tubes

A hair tube is a piece of PVC piping cut into lengths of about 15 cm which bears on its upper, inner surface, double sided strongly adhesive tape. A muslin covered ball of bait (peanut butter, rolled oatmeal and honey mixture) is fastened in the middle inside of the tube.

219 tubes were set, 72 in sites A and C and 75 in site B. Tubes were placed mainly on the ground, although a few were set in trees. Tubes were left in situ for two weeks during October (1992) and then collected. The tapes were removed and examined for hairs. Any hairs were microscopically examined and identified.

Only straight lengths of piping were used; the modifications suggested by Winnett and Degabriele (1982) and Scotts and Craig (1988) were not used.

3.1.1.5 Spotlighting

This technique involves one or two members of the team walking quietly along tracks at night with a hand-held spotlight and binoculars. Spotlighting was conducted in January (1993). About ten spotlight hours were spent at each site.

3.1.2 Results

3.1.2.1 Predator scat analysis

The results of the analysis of the 246 predator scats are presented in Table 2.

Table 2. Food categories analysed in the scats of predators (and three hair tufts) collected from the Seaford Foreshore Reserve. The data for the three sites have been pooled.

FOOD TYPE	NUMBER	%
Mammals	190	77
Birds	83	34
Reptiles	12	5
Insects	131	61
Crustaceans	1	<1
Molluscs	2	<1
Plant material	7	2

Table 3. Mammalian prey identified in predator scats collected in each of the three sites at Seaford Foreshore Reserve.

	SITE A	B	C	SUM
Common Ringtail Possum	69	29	25	123
Black Rat	18	6	8	32
Rabbit	17	12	1	30
House Mouse	5	3	1	9
Fox	5	2	2	9
Common Brushtail Possum	2	1	-	3
Cat	4	-	2	6
Sheep	1	1	1	3
Brown Rat	2	-	-	2
Dog	3	-	-	3
Human	2	-	-	2
NUMBER OF SCATS (& HAIR TUFTS)	138	61	47	246

Table 2 shows that most (190) of the scats contained the remains of mammals, although an almost equally high number (131) contained insect remains. 34% of the scats also had feathers.

Of the scats which contained mammalian remains, over half (123) contained hair of the Common Ringtail Possum. The Black Rat and Rabbit, both introduced species, appeared in almost equal frequency (32 and 30), although their occurrence in scats collected from the different sites were not equal. For instance, only one Fox scat from site C contained the remains of Rabbit. This agrees with the absence of signs of Rabbits in sites B and C compared with Site A.

The presence of Sheep could be explained by a stock truck being involved in an accident and some sheep escaped or were killed. The wool obtained from the fox scats was not woven and we suggest the fox(es) consumed actual sheep carcasses. A local worker also reported that at least one sheep has been ritually killed and its unused remains dumped in the Reserve.

Of the 246 scats analysed, 203 were from Fox, 39 from Cat and one from a Dog. There were a large number of Dog scats in the Reserve which were not collected since they contained processed pet food. Most Cat scats (29) were collected from site A. Of the 203 Fox scats, 107 came from site A, 54 from site B and 42 from site C.

Foxes and Cats showed some differences in their diets. For instance, Cats had a relatively higher occurrence of bird remains in their scats than Foxes (48% compared with 32%). On the other hand, the major mammalian prey species (Common Ringtail Possum, Black Rat and Rabbit) appeared in roughly equal frequencies in scats from both predators.

There were two occurrences of bird feathers obtained from Fox scats which we believe could possibly have been from Little Penguin. Both scats were collected on the same day (21/8/92), although one came from site A and the other from site C.

3.1.2.2 Trapping

Only two species of small mammal were trapped, although a number of lizards were taken.

In site A, 15 House Mice and one Black Rat were taken. One of the mice were trapped during the day. One Blotched Blue-tongued Lizard was also trapped during the day. In site B, two House Mice were trapped (zero daytime captures) and seven skinks, while from site C we trapped 10 House Mice (all evening captures). At site C, six skinks (all Southern Water Skink) were also trapped. The data are given in Table 4.

Table 4. Trapping results

	Site A	Site B	Site C
Traps set	260	260	260
House Mouse	14	2	10
Black Rat	1	-	-
(Lizards)	1	7	6

3.1.2.3 Direct observation and signs

Foxes and Rabbit were seen during the day. Signs of the following species were also evident in the Reserve: Horse, Dog, Cat, Fox, Rabbit, Common Ringtail Possum, rodent. As well, scats of Asian Elephants (*Elephas maximus*) were found in the northern part of the Reserve! It seems keepers dumped the elephant's droppings in the Reserve during the visit nearby of a circus. Elephant, Horse and Fox droppings could contain viable weed seeds.

One Common Brushtail Possum was seen in a Banksia tree on the opposite side of Nepean Highway.

3.1.2.4 Hair tubes

Ten long PVC hair tubes were set out in the Reserve by members of the Committee of Management or by Reserve workers. In five of the tubes, hair of the introduced rodent *Rattus rattus* (Black Rat) was present on the tape. In another three tubes, the tape was still present but there was no hair, and in the other two tubes there was no tape present.

The results from the hair tubes we set are presented in Table 5. Not counting contaminants (human hair and wool from operators and their clothing), there were 62 tubes with vertebrate remains (hair or feathers). Some of these tubes contained evidence of more than one species; hence there were 72 records of vertebrates from the 219 tubes.

Evidence of the Black Rat was obtained in 45 tubes. The next most frequent species were the Fox whose hair was found in 10 tubes and the Common Ringtail Possum whose hair was found in only seven tubes.

Rows of tubes were set in three parts of each site - along the road, in the middle and near the beach. More records were obtained from the latter two parts (27 and 28 respectively) than for the lines set nearer the road (17 records). Furthermore, site C produced more records (35) than sites A (16) and B (21). This is mainly because there were 28 tubes containing hair of Black Rat from C and only six and 11 from A and B respectively.

It should be noted that most tubes had an internal diameter of 3.5 cm or greater. This would have prevented hairs of House Mouse reaching the tape on the upper surface as frequently as those of larger species such as Black Rats

Table 5. Results from the 219 hair tubes set in the Reserve.

	Site A	Site B	Site C	TOTAL
Number of tubes set	72	75	72	219
Tubes with vertebrate remains	15	20	37	72
Black Rat (<i>R. rattus</i>)	6	11	28	45
Fox (<i>V. vulpes</i>)	3	4	3	10
Common Ringtail Possum (<i>P. peregrinus</i>)	2	3	2	7
House Mouse (<i>M. musculus</i>)	3	2	1	6
Bird	1	-	1	2
Cat (<i>F. catus</i>)	-	1	-	1
Dog (<i>C. familiaris</i>)	1	-	-	1
TOTAL	16	21	35	72

3.1.2.5 Spotlighting

Spotlighting conducted at each site only yielded Common Ringtail Possums and the introduced Rabbit and Fox. Eighteen possums were seen in site A, 13 in site B and 11 in site C. This translates to a figure of about four possums per spotlight hour.

3.3.3 Discussion

In Chapter 2 we suggested that up to 26 native mammal species might well have once lived in the Seaford area. Our data suggest that the number now present has dramatically declined. Indeed, we have only found evidence of one native mammal (Common Ringtail Possum) actually living and breeding in the Reserve. Nearby, several species of insectivorous bats and the Common Brushtail Possum are almost certainly present, but we found no evidence of these species in the Reserve. One animal was seen on the other side of Nepean Highway. Suggestions for their absence and for the decline of mammals in the region are presented in Chapter 4 of this report.

Several introduced species of mammals now live in the Reserve, including two rodents (House Mouse and Black Rat) which are indicative of both the high level of disturbance at the site and of urbanization of the surrounding landscape. Three species of introduced Carnivora either live in the Reserve (Fox) or its surrounding habitat (Cat) including houses (Dogs, Cats). There were more Fox scats collected at Site A than in the other sites. It is possible that Fox activity is greater in Site A because of the presence of Rabbits here.

House Mice were trapped, but not in a frequency to suggest the species lives in huge densities in the Reserve. Black Rat was only trapped on night three and only at one site. This is not unexpected. Our experience suggests Black Rats are often quite wary of traps initially and that trap success rates for this species seem to increase the longer traps are left *in situ*. Black Rat hair was, however, found in 26% of predator scats analysed and in 22% of the hair tubes.

Common Ringtail Possums were reasonably common and their densities as measured by spotlighting (about 4/ spotlight hour) are comparable with

densities elsewhere in the Melbourne area (e.g. 1.0 per spotlight hour in the Dandenong Valley Metropolitan Park; Wallis *et al.*, 1990).

3.2 Birds

The Management Plan lists 113 species of birds in the Reserve (DCE & SFRCOM, 1991). The Atlas of Victorian Wildlife lists an additional four species for the the one minute grid containing part of the Reserve, viz.

Striated Thornbill
Yellow Thornbill
Brown Thornbill
Noisy Miner.

Of the total 117 species recorded for the Reserve, 101 are native species. However, a number of the species are probably "vagrant" in the sense that they are either aviary escapees (e.g. Zebra Finch) or rare visitors (e.g. Azure Kingfisher). The Management Plan lists twelve such vagrant species for the Reserve.

Fifteen species of birds are known to breed in the Reserve (DCE & SFRCOM, 1991). Eight of these species are introduced species:

Common Mynah
Common Starling
House Sparrow
Tree Sparrow
Blackbird
European Greenfinch
European Goldfinch
Spotted Turtle-dove

The management plan for the Reserve suggests that the Eastern Spinebill also breeds in the Reserve, but in the report's Appendix 1 this species is listed as a "vagrant" only (DCE & SFRCOM, 1991).

The seven other native species which are known to breed in the Reserve are:

Little Raven
Australian Magpie-lark
Little Wattlebird
Rufous Whistler
Grey Fantail
Australian Crake
Silvereye

(DCE & SFRCOM, 1991).

The Little Penguin is listed as an Irregular species for the Reserve. The species is important economically to the tourist industry although its status is deemed secure by Emison *et al.* (1987). Nevertheless, we regard the species as locally significant and under threat from introduced predators and habitat disturbance at Seaford.

In our study at nearby Moorooduc Quarry Flora and Fauna Reserve we rated the populations there of the Australian Hobby (Little Falcon) and Eastern Yellow Robin as locally significant (Brunner *et al.*, 1992a). The latter species is a regular visitor at the reserve, although there have been no reports of its breeding there (DCE & SFRCOM, 1991).

The Atlas of Victorian Wildlife lists the presence of Yellow Thornbills either at the Reserve or within 1km of it. Although the Atlas of Victorian Birds lists a block on the Mornington Peninsula as containing a high reporting rate for Yellow Thornbills, the species is most abundant in cypress pine and box-buloke woodlands and box-ironbark forests in the drier foothills of northern Victoria (Emison *et al.*, 1987). Accordingly, we would rate this species as locally important as well.

Four species of honeyeater are regularly seen in the Reserve. Although none of the species is regarded as threatened, we regard the species suite as important aesthetically and in chapter 4 make recommendations to enhance the survival of the group by habitat improvements.

3.3 Reptiles and Amphibians

3.3.1 Survey methods

A pre-survey ground inspection was undertaken to determine the different vegetation associations. This was then followed by systematic searches that included all main vegetation communities and substrate types. The most effective technique involved the inspection of micro-habitats in or under rocks, stones, fallen logs and bark, and within the litter layer for sheltering or cryptic animals. All specimens located were collected by hand, identified and then released at the site of capture. No voucher specimens were collected.

35 pitfall traps were set. These consisted of plastic buckets (depth 24 cm, internal diameter at top 25.8 cm) sunk into the soil so the top was at ground surface level. Of the 35 traps set, 13 were in site A, ten in B and 12 in C. Traps were left for two days and checked each morning and late afternoon.

3.3.2 Results

The Reserve has very high numbers of lizards. We regularly saw many White's Skink, Blotched Blue-tongue Lizards and Southern Water Skinks basking on logs or exposed earth. Small skinks were also seen, but quickly sought shelter under leaf litter.

Southern Water Skinks were the most frequently captured skink in the pitfall traps. All lizards captured in pitfalls were obtained during the daytime. At site A, six lizards were caught (three Southern Water Skinks and three *Lampropholis guichenoti*.) while at sites B and C we caught seven and six

Southern Water Skinks respectively. As well, fourteen lizards (mainly Blotched Blue-tongue Lizards) were trapped in the Elliott aluminium traps.

A Southern Bullfrog was captured by hand during an evening in late Spring at Site C.

The results of the survey of reptiles and amphibians are presented in Table 6. We have included in the table, some species which although not actually found in our survey, are potentially present.

Table 6. Reptiles and amphibians either recorded or which are potentially present at Seaford Foreshore Reserve.

(#) denotes locally and regionally significant species in the Greater Melbourne area.

(!) denotes potentially present, but not recorded in current survey.

(*) denotes unconfirmed report(s) by resident(s) or worker at Reserve.

AMPHIBIA

Family LEPTODACTYLIDAE

Southern Bullfrog

Limnodynastes dumerillii

REPTILIA

Family SCINCIDAE

Blotched Blue-tongued Lizard

#White's Skink

Garden Skink

Weasel Skink

#Delicate Skink

Eastern Three-lined Skink

#Bougainville's Skink

Southern Water Skink

(Cool Temperate Form)

Tiliqua nigrolutea

Egernia whitii

Lampropholis guichenoti

Lampropholis mustelina

Lampropholis delicata

Leiopisma duperreyi

Lerista bougainvillii

Sphenomorphus tympanum

Family PYGOPODIDAE

*#Southern Scaly-foot

Pygopus lepidopodus

Family ELAPIDAE

*Lowland Copperhead Snake

*Tiger Snake

* Red-bellied Black Snake

* Common Brown Snake

(!)Eastern Small-eyed Snake

(!)White-lipped Snake

Austrelaps superbus

Notechis scutatus

Pseudechis porphyriacus

Pseudonja textilis

Cryptophis nigrescens

Drysdalia coronoides

ABSTRACT AND RECOMMENDATIONS

A vertebrate fauna survey was undertaken at the Seaford Foreshore Reserve. This report presents an analysis of historical records of vertebrates at Seaford, as well as details of species which are known to occur in the Reserve. The combined species list compiles data from all known sources, as well as results from our own surveys which were undertaken between August 1992 and February 1993. There was found to be only one species of native mammal and at least five species of introduced mammal living in the Reserve. Nearby, at least one other native possum is known to live and several species of insectivorous bats are known to live close to the Reserve, but could not be detected in this survey. Evidence of five species of domesticated mammals was found.

One hundred and seventeen species of birds, including 16 introduced species have been recorded for the Seaford Foreshore Reserve. At least 12 of the native species are rare visitors only. Of the 15 species known to breed in the Reserve, eight are native species.

Only one species of frog occurs in the Reserve, although 13 reptile species are known to occur here. The high diversity and density of lizards in the Reserve is significant.

A number of regionally or locally important species were recorded during this survey. We believe the Little Penguin, Australian Hobby, Yellow Thornbill and Eastern Yellow Robin are important birds, while the Delicate Skink, Bougainville's Skink, White's Skink and the Southern Scaly-foot are important lizards living in the Reserve. It is possible that the White-lipped Snake is also present, but our survey failed to detect it.

It is important that management options are selected that enhance the survival of these and other native vertebrate populations. A number of specific guidelines are presented which should assist in conserving viable populations of the fauna. The Seaford Foreshore Reserve is an example of remnant habitat which is very important in ecological terms, especially since it is located in developed urban landscape.

Recommendations

- Implement the management actions listed in Table 7 for important species.
- Develop a "Habitat Rehabilitation Plan" in conjunction with revegetation programs (this should follow the recommendations being prepared by Walker).
- Identify all significant habitat trees (i.e. trees with hollows suitable as nest sites) and protect them from detrimental management actions.
- Investigate the introduction of nest boxes and bat boxes at appropriate locations. Monitoring the success of these actions is essential.
- Control Foxes, Dogs and Cats and eradicate Rabbits.
- Encourage research on the distribution and ecological requirements of important species.

3.3.3 Discussion

In Victoria the abundance of both native reptile and amphibian species has undergone a significant decline in the last 100 years, with some species now being uncommon in the Greater Melbourne Area. In recent years there has been concern expressed for the apparent sudden decline in a number of amphibian species.

Probable reasons for the decline in reptile and amphibian numbers would include:

- habitat loss, through destruction, modification or fragmentation;
- influx of weeds and change in floristics and structure of vegetation, this may have profound effects on heliothermic species, due to excessive shading;
- heavy predation from introduced predators, the effect of this predation can be exacerbated by the confined nature of the populations in the Reserve;
- genetic isolation leading to local extinction;
- chemicals entering the food chain and affecting fertility and survival;
- limited mobility of many species, therefore they are unable to re-colonise the area once they have become locally extinct;
- the confined nature of the populations leave them open to the effects of environmental, demographic and genetic stochasticity.

Seaford Foreshore Reserve has three important species of skink, Bougainville's Skink, Delicate Skink and White's Skink. In their report on sites of zoological significance in the Upper Yarra Valley and Dandenong Ranges, Mansergh *et al.* (1989) reported these species in fewer than 10% of their study cells.

As well, there have been two independent but as yet unconfirmed reports of the presence of the Southern Scaly-foot (S. Smith, pers. comm.; HB discussions with local resident). Lumsden *et al.* (1991) note that there are historic records of this species from Bunyip to Bittern but within the Melbourne 2 study area it is now confined to isolated populations on the Peninsula. Sally Smith, a worker with the Seaford Foreshore Committee of Management, reported the lizard's presence in a shallow depression near the Highway where there is a tap, near the fish-monger's site. The water from the tap has made a depression, about 45 cm wide and about one metre long. The lizard has a small burrow in the side of this depression. Both people who reported the lizard's presence picked it up and handled it; we cannot tell if it was the same animal.

Lampropholis delicata (Delicate Skink) is listed as locally threatened in the Greater Melbourne area (Mansergh *et al.*, 1989), and care should be taken not to degrade its habitat, which consists of fallen timber, leaf litter and ground vegetation. This species occurs in sympatry with *Lampropholis guichenoti* (Garden Skink) and the two species are known to communally nest.

We have evidence to suggest that the *Lampropholis mustelina* (Weasel Skink), a shade-loving and heat sensitive species, appears to be replacing

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We have evidence to suggest that the *Lampropholis mustelina* (Weasel Skink), a shade-loving and heat sensitive species, appears to be replacing

the Garden Skink (*Lampropholis guichenoti*) (a sun-loving and heat tolerant species) on the Mornington Peninsula where the environmental weed *Pittosporum undulatum* is invading (Brunner *et al.*, 1992a). Although *Pittosporum* is not a major problem in the Reserve, it is nevertheless important that environmental weeds which shade out potential basking sites for heliotherms be controlled.

Seaford Foreshore Reserve is a significant habitat for the conservation of high numbers of native reptiles. The density of lizards is the highest we have encountered in all of our recent studies in the Melbourne area and on the Mornington Peninsula. The possible presence of five species of conservation significance makes it especially important that threats to the Reserve's herpetofauna are minimized. Such threats include

- heavy predation by Cats and Foxes;
- habitat changes such as
 - erosion (people walking through the dunes; Rabbits)
 - excessive growth of weeds reducing basking sites
 - fire or other changes which reduce litter layer
 - removal of fallen logs for firewood
 - people collecting lizards.

The Southern Bullfrog is a common frog of the Melbourne Region. If more surface water (ponds, creeks) were available, we would suggest the Reserve could support populations of other common frogs such as *Ranidella signifera* (Common Froglet), *Limnodynastes tasmaniensis* (Spotted Marsh Frog), *Litoria verreauxi* (Verreaux's Tree Frog) and *Litoria ewingi* (Southern Brown Tree Frog). These frogs, as well as the less common *Pseudophryne semimarmorata* (Southern Toadlet) were all found in the wildlife and wetlands areas at "the Briars", some 19 km south of the Seaford Foreshore Reserve (Brunner *et al.*, 1992b).

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CHAPTER 4: WILDLIFE MANAGEMENT

4.1 Management Objectives for Native Fauna

This chapter concentrates on a number of issues related to the effective management of wildlife at the Seaford Foreshore Reserve, and the development of management prescriptions aimed at retaining and improving wildlife values.

Wildlife management in the Reserve should be undertaken to achieve the following management objectives:

- To protect, improve and/or restore wildlife habitat, including the rehabilitation of degraded habitat.
- To actively manage locally threatened or significant species e.g. Bougainville's Skink, White's Skink, Little Penguin.
- To control pest animals such as the Rabbit, Fox, Dog and Cat.
- To undertake continuing research and surveys of native wildlife, in particular threatened or significant species, and to conduct periodic surveys of the extent and quality of habitat to determine gains and losses.
- To increase community awareness regarding methods and strategies essential for the conservation of wildlife.

At its simplest, wildlife management is the manipulation of populations or habitats to achieve desired goals. Caughley (1977) lists these goals as being:

- (1) to increase a population's density,
- (2) to remove individuals from a population on a sustained yield basis,
- (3) to stabilize or reduce the population.

Caughley labelled these goals respectively as conservation, sustained yield harvesting, and control. Wildlife management within the Reserve should deal primarily with conservation goals, however, some control measures against vertebrate pests will have to be undertaken to achieve these goals.

Wildlife management generally involves manipulating numbers of individuals (increasing or decreasing the birth rate, or increasing or decreasing the death rate) or manipulating the habitat to influence the species distribution or density. The simplest and most efficient technique to manage wildlife in the Reserve is to improve the overall quality of habitat values. In general terms the Reserve should be managed so as to maximize plant species richness and structural diversity, taking due account of the requirements of significant species where appropriate. As far as is possible, characteristic age classes of each plant association should be adequately represented, however, given the shape and size of the Reserve this may not be practicable in all cases. To achieve these goals intensive habitat manipulation may be required.

For the majority of wildlife species at Seaford this will require no specific actions to be carried out, other than to provide a diversity of natural vegetation communities and ensure the continuation of natural ecological processes.

4.2 Introduced and Nuisance Species

4.2.1 Introduction

The Seaford Foreshore Reserve provides ideal habitat for introduced predators such as the Fox, Cat and Dog. Individual Foxes and Cats probably utilize both the nearby bushland along Kananook Creek as well as the foreshore area. We believe there are good reasons to control the numbers of these species. Furthermore, we would argue that pet Dogs which are allowed to roam the Foreshore Reserve should be controlled.

Perhaps the pest vertebrate which causes most damage in the Reserve is the Rabbit. Fortunately its distribution seems to be restricted to the northern third of the reserve (our site A). We strongly recommend Rabbit control measures be implemented. Other introduced nuisance mammals include the Black Rat, Brown Rat and House Mouse. None of these species appears to be in high densities within the Reserve, but their numbers would need to be monitored when predator numbers were being reduced.

The Reserve is home to several species of introduced birds such as Spotted Turtle Dove, Blackbird, House Sparrow, Common Mynah and Common Starling. They can compete with native species for food and nesting sites.

European Wasps and European Honeybees have also been detected in the Reserve, but only in small numbers.

The Frankston City Council's Conservation Strategy has recognized the important and deleterious effects feral and domestic species can have on indigenous wildlife. One of its recommendations is for Council to

- "protect native fauna from predation by feral and domestic animals including Foxes, by
- developing programs to exclude feral and domestic animals from natural areas, and
- rigorously enforcing Council's by-laws" (Anon, 1991, p. 27).

4.2.2 Foxes

The Seaford Foreshore Reserve is sometimes referred to as a "haven for Foxes". We have directly observed two Foxes during the day one another during the night while spotlighting. One dead Fox was found by staff working at the Reserve. Indirect signs (scats, footprints) were very common, especially along the crest of the primary dune.

Marks (pers. comm.) believes that Fox densities in the Melbourne area reach as high as 10/km². Given that the size of the Seaford Foreshore Reserve is about 0.5km² and that it is very linear in shape, it is possible that up to six Foxes could be present in the Reserve at any one time. Their presence could well be one of the contributing factors to the extirpation of native small mammals and birds, which are confined to what is essentially an island of suitable woodland habitat.

This predation is still continuing. Predator scat data presented in chapter 3 of this report suggest that around 77% of Fox scats contained mammalian remains and about 34% had bird remains. The high predation of Common Ringtail Possum (50% occurrence in scats) is disturbing, especially since it is likely that this species is the only native mammal actually living in the Reserve. The consumption of insects was also high; insects were detected in 65% of Fox scats. Nine Fox scats contained the remains of lizard. We believe that this is an underestimate as lizard remains may well have been overlooked in the analysis, which was really geared to detecting mammalian prey. Birds were also common prey items and were found in 30% of Fox scats. A decapitated Little Penguin was found during the survey period within a fenced area just north of the tennis club (in site C) (W. Partington, pers. comm.). We are uncertain if this predation was by a Fox or Cat. Two Fox scats contained feathers which we have tentatively identified as belonging to the Little Penguin. Any attempt to re-establish a Little Penguin colony at Seaford would be doomed to failure unless there was an active and effective predator control program.

It has been suggested that Foxes can be effective in limiting numbers of introduced mammals such as Rabbits, rats and mice. The very fact that these introduced mammals continue to survive in the Reserve suggests that whilst their numbers might perhaps be limited, Foxes are most unlikely to be able to eliminate these other nuisance species. It is, however, the Foxes' predation on native prey (such as possums) that is most cause for concern.

Foxes can also spread Blackberry (Brunner *et al.*, 1981) and probably Boneseed. In a study at Mount Martha Park, Brunner *et al.* (1992c) collected about 50 Fox scats which only contained seeds.

Another aspect of management of Foxes in the area is that some local people have been reported as feeding Foxes regularly. Again, this would help increase the number of Foxes that the Reserve is capable of supporting.

We strongly recommend that measures be taken to control Foxes in the Reserve. A number of measures are available.

Fumigation of dens is recommended. Since few active dens are in the Reserve itself, those along Kananook Creek should be fumigated.

A poisoning program should also be carried out in the Reserve. Ideally, a multidose anticoagulant should be used - at present these are not yet registered for use in Australia, although they are available in the USA. The Department of Conservation and Natural Resources has made available a bait (FOXOFF) which contains the poison 1080. The baits are buried in

fenced areas where Dogs will not gain access. Proper prebaiting trials should be used (with unpoisoned bait) to test the effectiveness first of the bait stations.

Treadle snares are sometimes used for Fox capture, but would be inappropriate considering the high public presence in the Reserve. Cage trapping and shooting are other inappropriate techniques used elsewhere in the control of Foxes.

It is essential that if a poisoning program is implemented, that control measures be followed through to restrict the establishment of new individuals in the Reserve to replace Foxes that have been killed.

4.2.3 Rabbits

Rabbits currently only seem to be present in the most northern part of the Reserve. However, we suspect that if this population is not controlled, there is a strong possibility Rabbits will spread into the other parts of the Reserve.

Rabbits selectively feed of certain plants and can alter the floristic composition of an area. Rabbits have been reported elsewhere, for instance, to consume orchids and to prevent regeneration of native grasses and shrubs. With their close feeding, digging and scratching Rabbits can destabilize dunes by erosion and contribute to blowouts. It is believed that Rabbits can contribute to the loss of native mammals in an area by either direct competition or by habitat change. Rabbits can also attract predators such as Foxes into an area; the Foxes then take prey besides the Rabbits.

Revegetation and restoration of habitat can only be effective if Rabbits are removed. There has been much research on Rabbit control by the Department of Conservation and Natural Resources (at the nearby Keith Turnbull Research Institute). We would recommend that a combination be used of warren fumigation and spot poisoning. Warrens can be fumigated with a power fumigator operated by licenced personnel. Spot poisoning involves laying poison carrot bait, with multidose Pindone (which is harmless to Dogs) as the poison. The baits should be coloured blue or green to deter consumption by birds. The area to be baited should have the soil lightly disturbed by raking with a hand tool; this attracts Rabbits to the site. Follow up poisoning will usually be necessary.

It is important that Fox control be commenced straight after the control of Rabbits to avoid excessive predation on possums, birds and lizards as alternative prey to Rabbits.

4.2.4 Cats

Most Cats in the Reserve are domestic animals. We have observed, for instance, one Cat walk from the far side of Kananook Creek over the footbridge at McCulloch Avenue and cross the highway before it entered the Reserve. It is also possible that some feral animals live in the Reserve.

The data from predator scat analysis suggest that Cats prey heavily on birds and the Common Ringtail Possum. Indeed, 50% of the Cat scats analysed contained the remains of birds, and a similar percentage had possum remains. Although only one Cat scat analysed contained lizard remains, we believe that many remains would have not been detected by the methods used in this survey. Cats are efficient hunters of lizards (Brunner *et al.*, 1992c; P. Brown, pers. comm.).

Another significant aspect of Cat predation is the number of prey animals taken by domestic Cats which do not actually eat the prey as food. Some prey may be taken home by the Cat and left uneaten; other prey are captured and then released, but die from shock or disease soon after. Brown (1989) demonstrated that pet (and not feral) Cats were the major predator of the endangered mainland population of the Eastern Barred Bandicoot (*Perameles gunnii*), and suggested that they were one of the most important causal factors in the species' continued decline in Victoria. The killing of native prey which is not actually eaten would thus distort the impact Cats have on wildlife in Seaford Foreshore Reserve if we were to use dietary data alone.

The threat Cats pose to wildlife has been well documented (see Brown, 1989 and Wallis *et al.*, 1990 for reviews). It must be stressed that, in an area such as the Seaford Foreshore Reserve, any predator control program aimed at feral Cats would be rendered useless if the surplus production of domestic Cats were not controlled at the same time and this, in turn, highlights the need for community education and adequate control of domestic cats. We suggest that a "Responsible Pet Ownership Campaign" aimed at the broad community (but at the same time specifically targeting residents at Seaford) may be one approach towards solving the problem (refer to Brown, 1989 for details of such a campaign). Unfortunately, the problem of generating attitudinal change in the community is not an easy task, and in this particular case one that is made all the more difficult due to the emotional and complex nature of the problem (i.e. society's attitude to pets and pet ownership). The Department of Conservation and Natural Resources has also begun a program called "Protect Your Cat, Protect Your Wildlife" which aims to complement the Department of Food and Agriculture's Responsible Pet Ownership Campaign. "Community awareness of the impact of pet cats on wildlife is an essential precursor to community support for compulsory identification, registration and desexing. A Statewide requirement for these factors will effectively separate the pet and feral (or stray) population and reduce recruitment into wild populations" (Anon, 1992a, p. 133).

4.2.5 Dogs

Many people who use the Seaford Foreshore Reserve do so with their Dog(s). Not only do local people use the Reserve for this form of recreation, but many people drive some considerable distance to the Reserve in order to walk their Dog.

Withell (1992) has summarized the adverse effects Dogs have on coastal environments:

"Dogs are a potential source of annoyance and distress to many coastal visitors, especially in high use recreation areas or during peak visitor periods. In many areas the natural assets are one of the main attractions to visitors who may object to seeing dogs as they are not part of this environment. Dog excrement on beaches and paths may also be hazardous and offensive.

Additionally, the sound and scent of dogs often scares wildlife on beaches, particularly shore birds. Unrestrained dogs pose a serious threat to wildlife especially ground dwelling species; cases of killing and maiming have been reported. Damage to flora and erosion problems have been caused by dogs running and digging in fragile coastal environments, particularly primary dunes" (Withell, 1992, p. 1).

Dogs can have a devastating effect on wildlife. Their barking, scent and harassment has been reported as detrimental elsewhere to native vertebrates (Wallis *et al.*, 1990). The extent of Dog predation has been highlighted by Beale (1990) who cites a recent case from New Zealand where a single German Shepherd killed up to 500 *Apteryx australis* (Brown Kiwi) over a six week rampage. Scientists working on the project estimate that this particular population of Kiwis (originally the largest-known population of this species, being between 800-1000 individuals) will take between eight to twenty years to recover from this one incident.

At present Dogs in the Reserve must be leashed. Dogs are not permitted in the Reserve from 1 November till 30 April during the day. Nevertheless we frequently encountered Dogs loose (even inside the fenced areas). One resident boasted how she exercised her Dog by letting it chase the birds on the beach.

A major problem concerns the amount of Dog excrement. Not only is it offensive, it can enter the water of Port Phillip Bay and contribute to pollution. Frankston City Council considered the problem so bad that it has proposed

- requiring Dog owners to remove the Dog excreta when it is deposited on the foreshore;
- a prohibition of Dogs from beaches from December to March; and
- to trial Dog toilets in the City reserves (Anon, 1992b).

This same report notes that at a meeting of Dog owners in February 1992, city rangers discussed the introduction of bans and the compulsory removal of Dog faeces. Only 33% of owners supported the ban and 52% supported the excrement removal proposal (Anon, 1992b).

Clearly there has to be a public education campaign about the deleterious effects of Dogs on Frankston's beaches in general, and in Seaford Foreshore Reserve in particular. We would recommend such a program be started, and that the restricted access be enforced more strictly, perhaps adopting Withell's (1992, p. 5) recommended handling of infringements:

- "for the first offence (where the visitor is co-operative and the offence is not of a very serious nature) explain the reasons for the restriction and note the offender's name and address;
- second and further offences prosecute under the appropriate legislation."

Withell (1992) sets out the various legislative controls that currently exist.

4.2.6 Rats and Mice

Three species of introduced rodents currently live in the Reserve. Two of them were trapped - House Mouse and Black Rat, while remains of the third species (Brown Rat) were found in predator scats. Although Black Rats were reasonably common in predator scats (remains in 32 predator scats, or 13%) and House Mice were the most commonly trapped small mammal (26 trapped), we believe that the overall numbers of introduced rodents in the Reserve are not sufficiently high to warrant control measures being undertaken. Furthermore, we believe that even with a reduction in Fox and Cat numbers, that densities of the rodents will not increase markedly.

Certainly introduced rodents could have been a contributing factor to the extirpation of indigenous small mammals at Seaford such as the Bush Rat and the Brown Antechinus. For instance, Braithwaite *et al.* (1978) and Watts and Aslin (1981) have suggested that Black Rats outcompete native rats and House Mice outcompete Brown Antechinus in disturbed habitats.

One interesting observation concerns the data from hair tubes. Of an overall 219 tubes, 45 contained hairs of the Black Rat. Importantly, several tubes placed in trees had Black Rat fur on tapes. The scansorial nature of Black Rats has been reported elsewhere (e.g. Watts, 1983), but since they have been known to prey on nesting birds, their young or eggs, it is likely that the rat could become a nuisance species in time. Accordingly, we recommend that activity and numbers of Black Rats be monitored by a hair tube program, especially in areas where native birds are known to nest. Black Rats and mice can be controlled with anticoagulant poison in specially designed bait stations (see Brunner, 1979).

4.2.7 Birds

The following introduced birds have been recorded as breeding in the Reserve (DCE & SFRCOM, 1991):

Common Mynah
Common Starling
House Sparrow
Tree Sparrow
Blackbird
European Greenfinch
European Goldfinch
Spotted Turtle-dove

As well, the same report lists the Feral Pigeon as a regular visitor to the reserve which is an exotic species.

The Common Mynah (*Acridotheres tristis*) was introduced into Melbourne in 1862 (Jenkins, 1977) and is now common in the suburbs. It has been shown elsewhere to be a vector of parasites and disease (Long, 1981) but the main

threat to native species in the Reserve appears to be the competition by Common Mynahs with native species for tree hollow nesting sites (Traill and Melma, 1985). The Common Starling (*Sturnus vulgaris*) also usurps the nests of native birds and causes extensive agricultural damage. The species is now very well established in eastern Australia following its introduction in 1862 (Balmford, 1978). Control of these two bird pests is extremely difficult and costly.

Sparrows (*Passer* spp.) were released in Melbourne in 1863 at the Botanic Gardens (Ryan, 1906). This common suburban species has been implicated overseas with displacing native birds, spreading disease (to humans), defacing and damaging buildings, and damaging or consuming fruits and grain crops (Long, 1981). It is difficult to predict the effects these species have on the native fauna at the Reserve, but one would certainly expect them to be competing for resources with indigenous birds.

The Blackbird (*Turdus merula*) appears only to damage fruit; Long (1981) mentions no threat they might pose to native species.

The Spotted Turtle Dove (*Streptopelia chinensis*) has established feral populations in Melbourne's suburbs from early introductions in the 1860's (Ryan, 1906) and from escaping from captivity. It can transmit disease to humans and to birds, and can cause damage to young seedlings in parks such as the seaford Foreshore Reserve (Long, 1981).

A native bird that can be a pest in the Reserve is the Silver Gull (*Larus novaehollandiae*). This species thrives on garbage at dumps (Long, 1981) and is also attracted to popular picnic spots where food is readily available. Thus at many picnic spots along the Foreshore Reserve, Silver Gulls can be very common and a nuisance to people. Silver Gulls have also been observed harassing other bird species and Long (1981) believes the species poses a health risk to humans because they can spread infections such as *Salmonella*.

4.2.8 Insects

Two hives of European Honeybee have been detected in the Reserve. One of them is in a Banksia tree close to the main walking track. These introduced bees are known not only to compete with native insect pollinators, but also to restrict access to valuable potential nest sites for birds and mammals.

Occasionally we saw European Wasps but no hive could be found.

4.2.9 Conclusion

Control of most nuisance species is made difficult by the proximity of residences and the emotions some pest destruction methods engender, especially those for Cats. Nevertheless, resources have to be made available to mount a comprehensive pest management program. Accordingly we would recommend Frankston City Council undertake an

education program of ratepayers, especially targeted at residents who live near the Reserve, to undertake a "Responsible Pet Ownership" campaign.

This might involve

- a voluntary curfew on Cats to confine them during the evenings
- encouragement (financial and supportive) of de-sexing their Cats and Dogs
- limiting the number of Cats and Dogs per household.

It is also important that residents be provided good reasons for these suggestions, and that they be shown the deleterious effects of Dogs entering the Reserve, even if held on a leash.

We recommend that an appropriate employee of the City of Frankston (e.g. the Conservation Officer) be given the responsibility of mounting the community education campaign to alert residents to the deleterious effects of Cats and Dogs on wildlife, and the benefits of installing nest boxes in their own gardens to encourage possums, bats and birds (see next section).

4.3 Provision of Artificial Nest Sites for Wildlife

Many Australian birds and arboreal mammals utilize tree hollows as nesting and roosting sites, with many of these species being obligate hollow-users. A number of species found in the Reserve use tree hollows, these include at least 13 species of bird and Common Ringtail Possum. Furthermore, we contend that a likely reason for the absence of bats and Common Brushtail Possum (when they are known to live nearby) is lack of suitable nesting sites - especially tree hollows.

Due to the clearing of habitats in the area there now appears to be a shortage of suitable nest sites available to these species. This shortage is exacerbated by the fragmented nature of the remaining native vegetation. There are few mature trees with hollows present in these remnants, the majority of hollows being found in dead trees, and once these fall the problem facing hollow using species will only increase further.

Another factor that limits the availability of hollows to native fauna is potential competition from introduced birds, such as Starlings (*Sturnus vulgaris*) and Common Mynas (*Acridotheres tristis*) (Traill and Melma, 1985), and European Honeybees (*Apis mellifera*) (Pyke, 1990).

A nest box program is an obvious management option available for maintaining populations of hollow dependent species. The use of nest boxes is a well established technique in wildlife management (e.g. Schemnitz, 1980; Calder *et al.*, 1983; Menkhorst, 1984). Although it is doubtful that such a program would be practical over a large area, it is well suited to an area the size of the Seaford Foreshore Reserve.

We recommend that a program to supply possum boxes be established and developed further to include the provision of bat boxes at suitable sites in the Park. A number of bat box designs are available (refer to Greenhall, 1982; Stebbings and Walsh, 1985; Waterman *et al.*, 1988); however size and

shape do not appear to be important, but the width of the entry space should not exceed 2.5 cm (Greenhall, 1982).

The specific requirements of bat roost sites are not well known, but it is known that many species change roost sites throughout the year, usually in response to breeding and over-wintering requirements (Reardon and Flavel, 1987). Therefore, we suggest that a number of different designs of bat boxes be employed when implementing a bat box program.

The Yarra Valley Metropolitan Park has already implemented a bat box program, but occupancy rates are not encouraging, with only one individual bat being found to use the bat boxes in three years. However, during the same period a number of bats were found in possum boxes in the Park (Brunner *et al.*, 1992a). On the other hand a bat box erected at Yalambie had been used by four species within twelve months (I. Temby, pers. comm., cited in Brunner *et al.*, 1992a). Given these somewhat inconclusive results we recommend the trialling of a number of designs. However, we support Brereton *et al.* (in prep.) and do not recommend the use of hollow branches from fallen timber for nest boxes, as this fallen timber provides habitat and shelter for a variety of terrestrial species (e.g. small mammals, reptiles and frogs).

The use of bat boxes as a conservation measure is relatively new and there is clearly a need for experimentation with new designs. However, such projects need to produce results which allow comparison between designs and different situations, if they are going to be of any value to wildlife managers (Mitchell-Jones, 1987). Stebbings and Walsh (1985) suggest that boxes initially be checked every month, but once the project is established one or two visits each summer to check, clean and repair the boxes (and hopefully count the bats) should be sufficient.

If the Council does implement a nest box program it is of the utmost importance that it is adequately monitored to assess its success. If the Council is unable to monitor the program, it would be ideally suited for use as a student research project and the authors would be pleased to supervise such a project if undertaken by a student attending Deakin University (Rusden Campus). Local Field Naturalist, Bird Observer, Friends groups and the Committee of Management might also be interested in providing assistance with such a project.

The provision of nest boxes is proposed as a measure to help conserve Frankston's local wildlife. The City of Frankston's Local Conservation Strategy recommends Council

"investigate the feasibility of providing man-made habitat for the nesting, feeding and resting requirements of native fauna (e.g. nesting boxes), while re-establishing the natural habitat" (Anon, 1991, p. 27).

Given that the use of artificial nest boxes is a labour intensive and expensive remedial measure, and one that is temporary at best, we also recommend the investigation of techniques which have been shown to promote the formation of hollows in trees. These include such techniques as inoculation

with fungi (Connor *et al.*, 1981) and even the use of explosives (Bull *et al.*, 1981; Smith and Lindenmayer, 1988).

Finally, the establishment of a range of boxes suitable for birds could also be undertaken. The Bird Observers Club of Australia has an excellent brochure on nest boxes, which includes details on the boxes' placement, inspection, dimensions, important structural features and the control of use by pest species (McCulloch and Thomas, 1989).

4.4 Monitoring of Wildlife

We recommend that the Committee of Management should commission a further detailed survey of the vertebrate fauna of the Reserve in ten years to determine whether the conservation objectives of the Reserve have been fulfilled. In the mean time the Committee should encourage tertiary institutions to undertake student research projects within the Reserve, especially those aimed at providing information on the biology and management of important native species such as White's Skink, Bougainville's Skink and Southern Scaly-foot. The establishment and monitoring of bird, bat and possum nest boxes should have high priority. Local residents and Management Committee members and staff can also play an important role in monitoring wildlife, both indigenous and especially exotic pest species. In terms of the latter species it is important that control of Rabbits should be effected and that House Mice, Black Rats and exotic birds be monitored and controlled if necessary. We also recommend that there be a central repository for lodgement of data so collected by interested parties and research groups.

Every management program implemented in the Reserve must have clearly defined objectives which can be monitored to assess whether these objectives are being met. It is essential that monitoring of all management actions be undertaken to enable the success of these actions to be assessed and modified if needed. Often management programs or actions are not adequately monitored and evaluated, resulting in inefficient use of resources or even the failure of what potentially could have been a successful program.

4.5 Interpreting Wildlife

Effective communication plays an essential role in achieving management goals and as such the process of communicating with the public should be considered as an important management tool, and one which can potentially provide many benefits to the wildlife in the Reserve.

An enlightened and sympathetic public is essential for the effective, long-term conservation of fauna at Seaford. It is hoped that an informed public will make the job of managing wildlife in the Reserve easier.

An effective public education/interpretation campaign is also seen as perhaps the best method of minimizing detrimental impacts on wildlife, e.g.

the potential value of a "Responsible Pet Ownership Campaign" in reducing predation on wildlife.

Elsewhere in Victoria, nature walks such as "possum prowls" have become very popular (Wallis *et al.*, 1990). When conducting interpretative activities, such as guided walks, it is crucial that the interpretor emphasises the entire nature experience rather than judging the success of an activity on the number of possums, birds or lizards that were observed. A "Possum Prowl" that fails to see any possums need not be deemed unsuccessful if the public leave having had an informative, entertaining and educational night walk through the Park. The objective of the public leaving with a greater appreciation of the Park and its inhabitants can be achieved without sighting a single possum. Even the terminology (i.e., "Possum Prowl") should be carefully considered when developing and promoting an interpretative program, as other alternatives (e.g., "Night Walks" or "Wildlife Wanders") have less influence on the expectations of the participants. In the Seaford Foreshore Reserve, it might be more appropriate to conduct "Day Walks" since there is a high likelihood of birds and skinks being observed.

Innovative interpretative and educational activities, such as those outlined above, should be considered as valuable management tools, and as such they deserve an ongoing commitment throughout the year. These could be suitable activities for summer holiday programs run by the Council's Conservation Officer.

We also recommend the establishment of interpretive signs and displays to inform the public about the Reserve's wildlife. Interpretive displays could include information on the history of the Reserve (including some historical photographs) and identification guides to some of the more common vertebrates. The displays should also advise the public on the damage they can do by straying from the paths, by bringing their Dogs into the Reserve and by dumping of refuse and garden cuttings.

4.6 Wildlife Management Actions

For the majority of wildlife species in the Reserve no specific actions will need to be carried out, other than to protect the diversity of natural vegetation communities and ensure the continuation of natural ecological processes. However, we have identified a number of actions that will enhance wildlife populations and their habitat in the Reserve, these include;

High/ongoing	Implement the management actions listed in Table 7 for important species.
High	Develop a "Habitat Rehabilitation Plan" in conjunction with revegetation programs (this should follow the recommendations being prepared by Walker).
High	Identify all significant habitat trees (i.e. trees with hollows suitable as nest sites) and protect them from detrimental

	management activities. Techniques which promote the development of tree hollows should be investigated.
High	Investigate the introduction of nest boxes and bat boxes at appropriate locations. Monitoring the success of these actions is essential.
High	Control Foxes, Dogs and Cats and eradicate Rabbits.
High/ongoing	Encourage research on the distribution and ecological requirements of important species.
Ongoing	Minimise habitat damage by all management activities particularly track and fire protection works.
Ongoing	Monitor the effects of visitor use on wildlife.
Ongoing	Monitor numbers of introduced rodents.
Medium	Monitor and, if necessary, control competition for nest hollows (and nest-boxes) by Starlings, Common Mynas and European Honeybees.
Medium	Investigate the creation of a safe environment for nesting Little Penguins. Improve access to protected areas for these birds.
Medium	Utilize storm water to create small freshwater ponds near some drains for frog habitat.
Medium	Destroy hives of introduced bees and wasps.
Medium	Investigate the effects of borers on the health of Banksias.
Medium	Arrange for a survey of the Reserve's invertebrate fauna. Invertebrates are not only important food sources for birds, lizards and bats, but particular species may be significant in conservation terms in their own right.

In addition we recommend that the following interpretative actions be undertaken:

High

Develop and implement a "Responsible Pet Ownership Campaign", aimed at reducing predation by companion animals on wildlife in the Reserve.

High

Provide guided interpretation activities. Develop an "Interpretative Plan" incorporating:

- a strategy for efficient distribution of Reserve information;
- provision of facilities and activities designed for visitors with disabilities; self-guided walks;
- establish holiday activities to include a range of "Wildlife Wanders" etc.
- activities designed to educate the public about the deleterious effects of dumping wildlife, dumping garden refuse and litter, collecting lizards, walking unleashed Dogs etc.

Table 7: MANAGEMENT ACTIONS FOR SIGNIFICANT SPECIES
 (Including species that may no longer occur in the Park, these species are denoted with • before their names).

Significant Species	Ecological Requirements	Management Actions
Mammals		
Bat species	Utilise tree hollows as roost sites.	Restore mature woodland habitat. Implement a bat box program using a variety of designs. Investigate methods shown to promote the formation of tree hollows.
Birds		
Honeyeaters	Inhabit woodland, feeding on foliage and flowers. Nest in low shrubs or saplings. Need tree canopy cover.	Maintain a range of understorey vegetation. Revegetate where necessary, using species which will provide suitable foods
•Little Penguin	Feed on mainly inshore waters. Nest in burrows under vegetation cover.	Provide access to safe nesting areas. Control introduced predator numbers and prevent access to Reserve by Dogs.
Reptiles		
Delicate Skink	Occurs in a variety of habitats, but appears to require fallen timber and leaf litter in areas with good ground vegetation.	Maintain dense ground cover and leave fallen logs on ground (no collecting of firewood). Control introduced predators, especially Cats.
•White's Skink •Bougainville's Skink	As above	Essential to retain leaf litter and fallen branches. However, it is also important to retain open sites nearby for basking. Ensure weeds do not dominate and cover basking sites. Provide additional flat cover for both species in grassy sites of foredune. This cover could be in the form of more rocks and logs.
Southern Scaly-foot	Climbs low dense shrubs and grasses seeking spiders and insects. Usually nest under rocks or logs.	As above. Shrub, tussock grass layer very important.

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17. CONFIDENTIAL ITEMS

Section 3(1) of the *Local Government Act 2020* enables the Council to close the meeting to the public if the meeting is discussing any of the following:

- (a) Council business information that would prejudice the Council's position in commercial negotiations if prematurely released;
- (b) Security information that is likely to endanger the security of Council property or the safety of any person;
- (c) Land use planning information;
- (d) Law enforcement information;
- (e) Legal privileged information;
- (f) Personal information;
- (g) Private commercial information;
- (h) Internal arbitration information;
- (i) Councillor conduct panel information
- (j) Information prescribed by the regulations to be confidential information for the purposes of this definition;
- (k) Information that was confidential information for the purposes of section 77 of the *Local Government Act 2020*
- (l) A resolution to close the meeting to members of the public pursuant to section 66(2)(a).

Recommendation

That the Council Meeting be closed to the public to discuss the following Agenda items and all documents associated with the consideration and discussion of it, that are designated confidential information by me, pursuant to Section 3(1) of the *Local Government Act 2020* on the following grounds.

C.1 South East Metropolitan Advanced Waste Project (SEMAWP)

Agenda Item C.1 South East Metropolitan Advanced Waste Project (SEMAWP) is designated confidential under Part 1 of the *Local Government Act 2020* (the Act), the South East Metropolitan Advanced Waste Project (SEMAWP) is confidential as it is:

(g) private commercial information, being information provided by a business, commercial or financial undertaking that—

(i) relates to trade secrets; or

(ii) if released, would unreasonably expose the business, commercial or financial undertaking to disadvantage.

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Signed by the CEO